

BASELINE HILLSIDE TABULATION

LOT AREA= 21,642.9 S.F.
R15-1 ZONE = SLOPE BAND ANALYSIS
A. ALLOWABLE FLOOR AREA = 21,642.9 5,133.9 S.F.
SUMMARY
A. BUILDING CODE AREA (E) = 2,778 S.F.
B. (N) FIRST FLOOR HABITABLE AREA = 1,281 S.F.
+ 755 S.F.+2,036 SF.
C. TOTAL HABITABLE AREA = 4,814 S.F.
D. GARAGE AREA (E) = 755 S.F.
F. GARAGE AREA EXEMPT = 400 S.F.
G. TOTAL GARAGE AREA = 485 S.F.
H. UNCOVERED PATIO AREA = 0 S.F.
I. PATIO AREA EXEMPT = 250 S.F.
J. TOTAL COVERED PATIO AREA = 0 S.F.
K. TOTAL AREA = 4,814 S.F.

(E) ONE-STORY SFD
2,778 S.F.

(N) ROOF
DECK
718 S.F.

(N) ONE-STORY
ADDITION
1,281 S.F.

CONVERT (E) 3-CAR
GARAGE TO LIVING SPACE
755 S.F.

(N) 1,000 S.F.
DECK

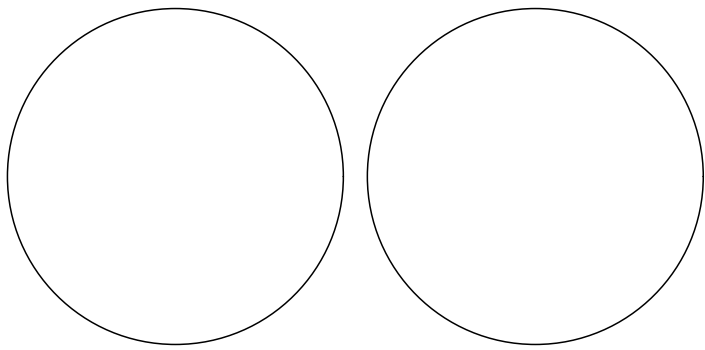
CONVERT (E)
FAMILY ROOM
TO (N) TWO-CAR
GARAGE 495 S.F.

BUILDING AREA SUMMARY

(BUILDING CODE DEFINITION)
(R3) OCCUPANCY
R-3 BUILDING CODE AREA = 904 S.F.
GARAGE (CARPORT) U OCCUPANCY
GROSS AREA = 495 S.F.
TYPE OF CONSTRUCTION = V-B
OCCUPANCY =R-3/U
SPRINKLERS-NO

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CONSULTANTS



MAY
REMODEL/
ADDITION

16100 ANOKA DR.
PACIFIC PALISADES,
CA 90272

LOT 8, TR. 15948
APN#: 4420-006-006

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MARK	DATE	DESCRIPTION
	11/24/2014	

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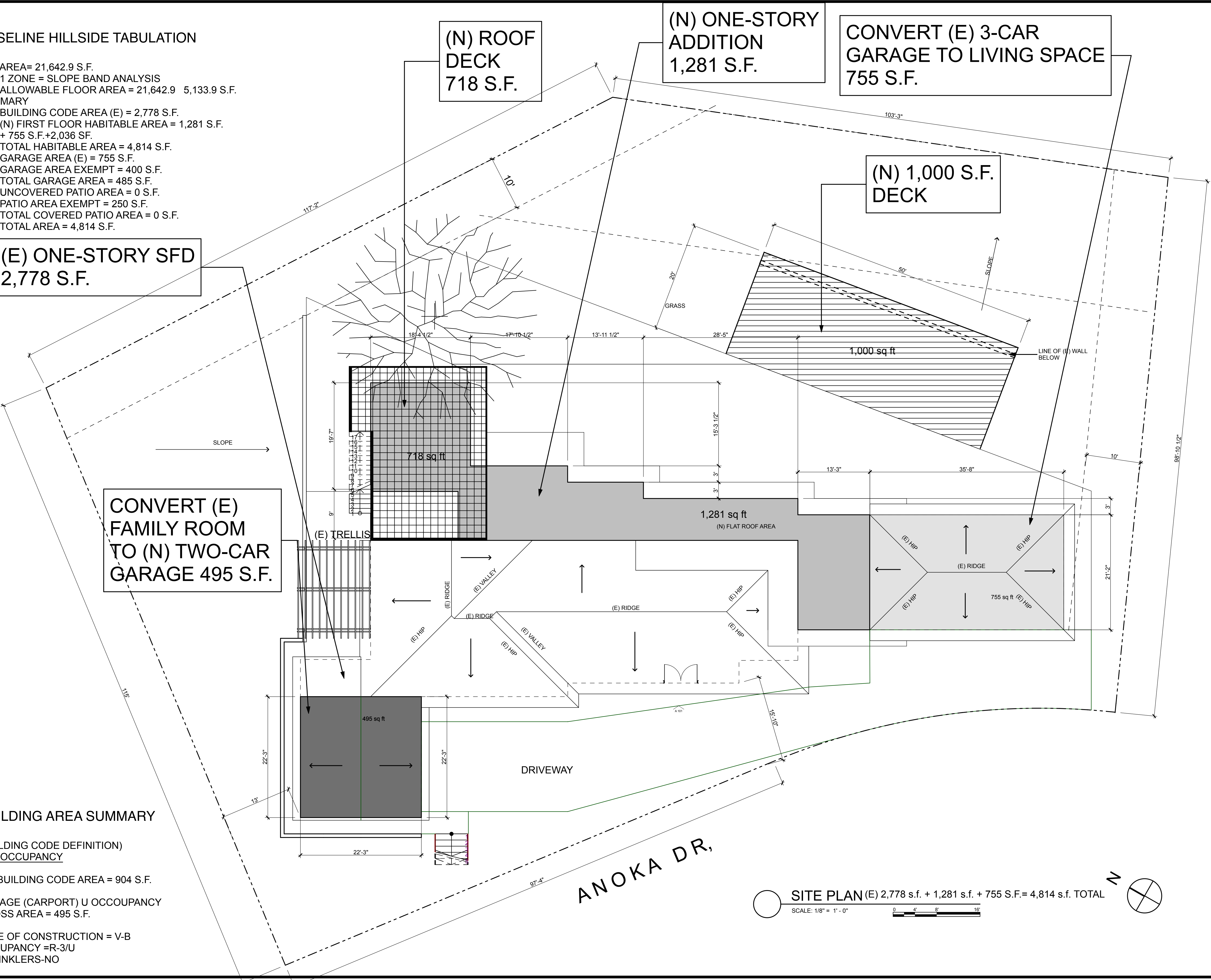
SHEET TITLE

SITE PLAN

A-001

SHEET 1

OF 9



SITE PLAN (E) 2,778 s.f. + 1,281 s.f. + 755 S.F.= 4,814 s.f. TOTAL
SCALE: 1/8" = 1' - 0"

