



# OROSCO RESIDENCE

LADBS PLAN CHECK SUBMITTAL  
PALISAIR PLACE HOA SUBMITTAL



ARCHITECT

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STAMP

LICENSED ARCHITECT  
OONAGH C. RYAN  
C33156  
02.28.17  
RENEWAL DATE  
STATE OF CALIFORNIA

CONULTANT

DRAWING ISSUE

01	PLAN CHECK SUBMISSION	04.10.15
02	HOA SUBMISSION	04.16.15

OWNER/CLIENT

PILIP AND RACHEL OROSCO

1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272

PROJECT

PALISAIR PLACE  
RESIDENCE

1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272

PROJECT NO.14-09

DRAWING TITLE.

COVER

SHEET NO.

A0.000

ISSUE

HOA SUBMISSION

DATE

04.16.15







GENERAL

1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:  
(A) THESE GENERAL NOTES UNLESS NOTED OTHERWISE ON THE PLANS.  
(B) ALL CURRENT APPLICABLE LOCAL AND STATE CODES, ORDINANCES, RULES AND REGULATIONS OF GOVERNING AGENCIES.  
(C) LOS ANGELES CITY BUILDING AND ZONING CODES, CURRENT ENFORCED EDITIONS.  
(D) ALL APPLICABLE UTILITY COMPANY REQUIREMENTS (TELEPHONE, GAS, WATER, POWER, CABLE T.V., ETC.).

2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCING WITH THE WORK.

3. WRITTEN DIMENSIONS ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS - DO NOT SCALE DRAWINGS. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.

4. ALL CONDITIONS NOTED AS EXISTING OR SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE DRAWINGS. THE DRAWINGS SERVE AS A GUIDE TO EXISTING CONDITIONS FOUND AT THE PROJECT AND ALSO PROVIDE DESIGN DIRECTION AND DETAIL AS TO HOW THE BUILDING AND ITS PARTS WILL APPEAR WHEN COMPLETED. SHOULD CONDITIONS BECOME APPARENTLY DIFFERENT FROM SHOWN HEREIN, AFTER WRITTEN NOTIFICATION BY THE CONTRACTOR, THE ARCHITECT WILL PREPARE ADDITIONAL DRAWINGS TO ACCOMMODATE THE CONDITIONS.

5. ANY ASTM, ICBO, CBC DESIGNATIONS, ETC., NOTED ON THESE PLANS SHALL BE AS AMENDED TO THE LATEST DATE OF ISSUE.

6. THE CONTRACTOR AND/OR SUBCONTRACTORS AND/OR THEIR WORK FORCE, SUPPLIES, ETC., SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE THROUGHOUT THE DURATION OF CONSTRUCTION AND SHALL KEEP THE SITE FREE OF TRASH AND DEBRIS AND WILL IMPLEMENT THE CITY OF LOS ANGELES' BEST MANAGEMENT PRACTICES (BMP) IF REQUIRED.

7. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.

8. IF REQUIRED, CONTRACTOR TO PROVIDE TEMPORARY POWER POLE AND METER FOR THE DURATION OF THE WORK. CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQUIRED FOR THE DURATION OF THE WORK.

9. IF REQUIRED, CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.

10. NO TRENCHES OR EXCAVATIONS OVER 5'-0" IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND SHALL BE CONSTRUCTED WITHOUT A PERMIT FROM THE CALIFORNIA STATE DIVISION OF INDUSTRIAL SAFETY.  
NOTE: IN THE EVENT THAT EXCAVATION REVEALS UNFAVORABLE SOIL CONDITIONS, A SOILS ENGINEER AND/OR GEOLOGIST'S SERVICES MAY BE REQUIRED FOR THE WORK. TEMPORARY SHORING IS REQUIRED FOR EXCAVATIONS THAT REMOVE THE LATERAL SUPPORT FROM A PUBLIC WAY OR AN EXISTING BUILDING OR PORTION THEREOF.

11. THE CONSTRUCTION SHALL NOT RESTRICT A 5 FT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITY (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UPS. THE CONSTRUCTION SHALL NOT BE WITHIN 10 FT OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY.

12. OBTAIN PERMITS FROM PUBLIC WORKS PRIOR TO CONSTRUCTION FOR:  
(A) TEMPORARY PEDESTRIAN PROTECTION AS REQUIRED BY LABC SECTION 303.7  
(B) FOR ANY CONSTRUCTION NEAR ANY STREET OR PUBLIC AREA

13. NO PART OF THE STRUCTURE SHALL BE OVERLOADED BEYOND ITS SAFE CARRYING CAPACITY BY THE PLACING OF MATERIALS, EQUIPMENT, TOOLS, MACHINERY OR ANY OTHER ITEM.

14. ARCHITECT MAKES NO WARRANTIES OR GUARANTEES FOR THE WORK PROVIDED BY OTHER CONSULTANTS, I.E., SURVEY, SOIL, STRUCTURAL, ETC.

15. PROVIDE TERMITE PROTECTION AND SOIL TREATMENT AS REQUIRED BY GOVERNING AGENCIES BY A REGISTERED OR LICENSED PEST CONTROL CONTRACTOR PRIOR TO FOUNDATION AND SLAB WORK AND TO BE PART OF THE GENERAL CONTRACTOR'S SCOPE OF WORK.

CONSTRUCTION

1. EVERY DWELLING UNIT SHALL HAVE AT LEAST ONE HABITABLE ROOM WITH AT LEAST 120 SQUARE FEET OF GROSS FLOOR AREA.

2. HABITABLE ROOMS, EXCEPT KITCHENS, SHALL HAVE A FLOOR AREA OF AT LEAST 70 SQUARE FEET.

3. HABITABLE ROOMS, EXCEPT KITCHENS, SHALL NOT BE LESS THAN 7 FEET IN ANY HORIZONTAL DIMENSION.

4. REQUIRED CEILING HEIGHT IS 7'-6" MINIMUM AND 7'-0" MINIMUM IN KITCHENS, BATHROOMS, STORAGE ROOMS AND LAUNDRY ROOMS (1208.2).

5. THE MINIMUM CEILING HEIGHT FOR HABITABLE SPACE, HALLWAYS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL BE NOT LESS THAN 7 FEET.

6. A CORROSION RESISTANT WEEP SCREED IS REQUIRED BELOW THE STUCCO A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA.

7. DAMPPROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN CBC SECTION 1805.

8. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER CBC SECTION 2304.11 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWP A U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWP A U1.

9. THE FOLLOWING NONSTRUCTURAL PRODUCTS SHALL COMPLY WITH AN APPROVED ICC EVALUATION REPORT OR LOS ANGELES CITY RESEARCH REPORT.

☐ DECK COATING

☐ SKYLIGHTS

☐ ROOFING MATERIALS

☐

☐ DAMP PROOFING MATERIAL

☐ RIGID INSULATION

☐ PRE-FABRICATED FIREPLACES

10. A COPY OF EVALUATION REPORTS AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

11. FIELD VERIFY ALL CABINET, CASEWORK, AND FIXED GLASS DIMENSIONS, PRIOR TO FABRICATION. SUBMIT SHOP DRAWINGS FOR DESIGNER AND OWNER REVIEW.

DOORS AND WINDOWS:

1. ALL NEW GLAZED OPENINGS SHALL HAVE INSULATED GLASS PER CURRENT TITLE 24 REQUIREMENTS.

2. OWNER TO SELECT AND CONTRACTOR TO PROVIDE ALL NEW DOOR AND WINDOW HARDWARE AND FINISHES.

3. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF CBC SECTION 2406.1 (SEE EXCEPTIONS):

(A) FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.

(B) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

(C) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.

2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.

3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.

4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.

(D) GLAZING IN RAILINGS.

(E) GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

(F) GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.

(G) GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS.

(H) GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.

4. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED).

5. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH CBC SECTION 2405.

6. VEHICULAR ACCESS DOORS/GATES SHALL COMPLY WITH CBC SECTION 3110.

ELECTRICAL:

1. PROVIDE ELECTRICAL OUTLETS ALONG THE WALLS OF COUNTER SPACE, ISLAND AND PENINSULA COUNTER SPACE IN KITCHENS AT MAXIMUM SPACING OF 48 INCHES. (CEC, SECTION 210-52).

2. THE LIGHTS IN NEW AND REMODELED BATHROOMS AND KITCHEN SHALL BE ENERGY EFFICIENT TYPES MEETING MINIMUM 40 LUMENS PER WATT, E.G. FLUORESCENT TYPES. (TITLE 24, SECTION 150(K)).

3. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHT OUTLET SHALL BE INSTALLED (A) IN EVERY HABITABLE ROOM AND BATHROOM, (B) HALLWAYS, (C) STAIRWAYS, AT EACH FLOOR LEVEL OF SIX STEPS OR MORE, (D) ON THE EXTERIOR SIDE OF OUTDOOR, GRADE-LEVEL ENTRANCES AND EXITS, (E) STORAGE OR EQUIPMENT ROOMS.

4. CONTRACTOR TO VERIFY AMPERAGE REQUIREMENT AND ACCESSIBILITY.

5. ALL EQUIPMENT AND OUTLETS INSTALLED OUTDOORS AND/OR EXPOSED TO THE WEATHER SHALL BE WATERPROOF.

6. RECEPTACLES SHALL BE INSTALLED VERTICALLY AT 12" A.F.F. UNLESS NOTED OTHERWISE.

7. WALL SWITCHES SHALL BE INSTALLED AT 42" A.F.F. UNLESS NOTED OTHERWISE.

8. ALL ELECTRICALLY OPERATED FIXTURES, OUTLETS, EQUIPMENT OR DEVICES SHALL BE FULLY CONNECTED TO PROPER ELECTRICAL SERVICES.

9. ALL OUTLETS SHALL BE GROUNDED.

10. PROVIDE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION FOR ALL 125-VOLT, SINGLE PHASE, 15- AND 20-AMP BATHROOM, GARAGE, OUTDOOR AND BASEMENT RECEPTACLES, COUNTER-TOP RECEPTACLES WITHIN 6'-0" OF A WET BAR SINK, ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS INCLUDING ISLAND AND PENINSULA COUNTERS AND ONE OUTDOOR OUTLET, FRONT AND REAR (CEC, SECTION 210-8(A), 210-52(C)). THE BATHROOM OUTLETS SHALL BE FED FROM A DEDICATED 20 AMP CIRCUIT AT THE PANEL. (CEC, SECTION 210-52(D)).

11. PROVIDE OUTLET AND SWITCH PLATE GASKETS AT ALL EXTERIOR WALLS TO PREVENT LEAKAGE.

12. PROVIDE AN ARC-FAULT CIRUIT-INTERRUPTER IN ALL SLEEPING ROOMS.

13. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.

EXITS

1. OCCUPIED ROOFS SHALL BE PROVIDED WITH EXITS AS REQUIRED FOR STORIES.

2. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE EXTERIOR OF THE DWELLING AT THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE.

3. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MINIMUM - 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5.0 SF AT GRADE LEVEL) & 44" MAXIMUM TO SILL.

4. PROVIDE MINIMUM 9 SF WINDOW WELLS (WITH FIXED LADDER) AT ESCAPE AND RESCUE OPENING WINDOWS BELOW GRADE.

5. AT LEAST ONE DOOR SHALL BE 36" WIDE BY 80" HIGH.

6. PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS.

7. THE ENTRY/EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1.5" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LANDING SHALL BE NOT MORE THAN 7.75" BELOW THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS.

8. LANDING AT A DOOR SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NO LESS THAN 36".

9. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75 INCHES IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5 INCH FOR OTHER DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 0.25 INCH AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50% SLOPE) (1008.7).

STAIRWAYS

1. FOR HABITABLE LEVELS OR BASEMENTS LOCATED MORE THAN ONE STORY ABOVE OR MORE THAN ONE STORY BELOW AN EGRESS DOOR, THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM SUCH HABITABLE LEVEL OR BASEMENT, SHALL NOT EXCEED 50 FEET.

2. PROVIDE GUARDRAILS AT FLOOR AND ROOF OPENINGS, LANDINGS, BALCONIES, AND AT OPEN SIDES OF STAIRWAYS 42" ABOVE ADJACENT FLOOR. GUARDRAILS MUST COMPLY WITH THE FOLLOWING:

(A) A MAXIMUM OF 4" CLEAR SPACING BETWEEN INTERMEDIATE RAILS.

(B) OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.

(C) GUARDRAIL CONNECTIONS TO WITHSTAND A 20 POUNDS-PER-FOOT LATERAL LOAD.

3. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CBC SECTION 2407. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4 INCH. (2407)

4. STAIRS SHALL BE CONSTRUCTED WITH THE FOLLOWING DIMENSIONS:

(A) 7.75" MAXIMUM RISE & MINIMUM 10" RUN.

(B) MINIMUM 6'-8" HEADROOM CLEARANCE MEASURED VERTICALLY FROM A PLANE PARALLEL AND TANGENT TO THE STAIRWAY TREAD NOSING OR LANDING AREA.

(C) MINIMUM 36" CLEAR WIDTH.

(D) HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING

(E) HANDGRIP PORTION OF HANDRAIL SHALL BE 1 1/2" CLEARANCE TO WALL, SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS AND WITH ENDS RETURNED TO WALL OR TERMINATE AT NEWEL OR SAFETY POST

(F) MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS.

5. WINDER TREADS SHALL COMPLY WITH CBC SECTION 1009.7.

6. SPIRAL STAIRS SHALL COMPLY WITH CBC SECTION 1009.12.

7. RAMP SLOPES SHALL NOT EXCEED 1:12 (8%).

8. A LANDING SHALL BE PROVIDED AT THE TOP AND BOTTOM OF STAIRWAYS AND SHALL HAVE A DIMENSION IN THE DIRECTION OF TRAVEL EQUAL TO THE WIDTH OF THE STAIRS (MAXIMUM 44" FOR STAIRS IN A STRAIGHT RUN).

9. HANDRAIL CONNECTION DETAILS ADEQUATE TO:

(A) WITHSTAND A 20 POUNDS-PER-FOOT LATERAL LOAD.

(B) 200 POUND POINT LOAD IN ANY DIRECTION AT ANY POINT.

10. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.

11. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD.

FIRE SAFETY

1. PROVIDE 1-HR FIRE-RESISTANCE EXTERIOR WALLS IF FIRE SEPARATION DISTANCE IS LESS THAN 5', OR LESS THAN 3' IF THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH CBC SECTION 903.3.

2. OPENINGS ARE NOT ALLOWED WITHIN 3' FIRE SEPARATION DISTANCE.

3. MAXIMUM 25% OPENING AREA IS ALLOWED WHEN THE FIRE SEPARATION DISTANCE IS >3' AND ≤ 5'.

4. PROJECTIONS BEYOND THE EXTERIOR WALL SHALL COMPLY WITH CBC SECTION 705 AND SHALL NOT EXTEND:

(A) TO A POINT CLOSER THAN 2 FEET FROM INTERIOR LOT LINE.

(B) MORE THAN 4 INCHES AT THE ROOF EAVE FOR DETACHED GARAGES ACCESSORY TO A DWELLING WHEN LOCATED WITHIN 2 FEET OF A LOT LINE.

(C) OVER THE LOT LINE FOR ACCESSORY STRUCTURES THAT ARE EXEMPT FROM PERMITS.

5. DWELLING UNITS IN TWO-FAMILY DWELLINGS SHALL BE SEPARATED FROM EACH OTHER BY WALL AND/OR FLOOR ASSEMBLIES HAVING NOT LESS THAN A 1-HR FIRE-RESISTANCE RATING WHEN TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263.

6. THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH CBC SECTION 714.3.1 THROUGH 714.3.3 AND 714.5 (714.3).

7. MEMBRANE PENETRATIONS SHALL COMPLY WITH CBC SECTION 714.3.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED (714.3.2).

8. FOR ATTACHED GARAGE OR CARPORT:

(A) THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH CBC SECTION 406.3.4.

(B) SELF CLOSING, TIGHT-FITTING (MINIMUM 1-3/8" THICK), SOLID CORE/SOLID WOOD OR 20-MINUTE RATED DOOR AT OPENINGS INTO DWELLING.

(C) OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES ARE NOT PERMITTED.

(D) DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE.

(E) OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS SHALL BE PROTECTED AS REQUIRED BY CBC SECTION 714.

9. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.

10. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

11. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.

12. FIREBLOCKING SHALL BE INSTALLED IN THE LOCATIONS SPECIFIED IN SECTIONS 718.2.2 THROUGH 718.2.7.

(A) CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS; VERTICALLY AT FLOOR AND CEILING LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'-0".

(B) INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES.

(C) CONCEALED SPACE BETWEEN STAIR STINGERS AT TOP AND BOTTOM OF THE RUN.

(D) AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVELS WITH APPROVED NON-COMBUSTIBLE MATERIALS.

(E) AT OPENINGS BETWEEN ATTIC AND CHIMNEY CHASE FOR FACTORY BUILT CHIMNEYS.

(F) IN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WHERE PERMITTED TO BE OF COMBUSTIBLE CONSTRUCTION.

13. ALL FIREPLACES (PREFAB OR SITE BUILT) SHALL PROVIDE THE FOLLOWING TO BE IN COMPLIANCE WITH TITLE 24 ENERGY CONSERVATION REGULATIONS:

(A) CLOSABLE METAL OR GLASS DOORS AT THE FIREBOX OPENING.

(B) COMBUSTION AIR INTAKE (FROM OUTSIDE), MIN. 6 SQ. IN., EQUIPPED WITH A DAMPER.

(C) ADJUSTABLE FLUE DAMPER.

14. CHIMNEY'S SHALL EXTEND 2'-0" ABOVE ANY PART OF THE ROOF WITHIN 10'-0".

15. FACTORY-BUILT CHIMNEYS SHALL TERMINATE 3'-0" MINIMUM ABOVE ROOF OPENING PENETRATION AND HAVE A LISTED FACTORY BUILT CHIMNEY CAP. NO OTHER ARCHITECTURAL FEATURE OR SHROUD IS PERMITTED WITHOUT MANUFACTURER'S APPROVAL.

16. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBEQUE WHICH USES FUEL BURNING MATERIAL. CHIMNEY MUST HAVE A NET OPENING OF FOUR TIMES THAT OF THE CHIMNEY. A MAXIMUM 1/2" SCREEN.

17. PRE-FAB FIREPLACES ARE REQUIRED TO HAVE MANUFACTURER, MODEL AND UNDERWRITER LABORATORIES CERTIFICATION (OR ICC).

18. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY.

19. HARD-WIRED SMOKE ALARMS COMPLIANT WITH UL217 SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:

(A) CENTRALLY LOCATED IN ROOMS AND CORRIDORS GIVING DIRECT ACCESS TO EACH SLEEPING AREA.

(B) ON CEILING INSIDE EACH SLEEPING ROOM.

(C) WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL, THE ALARM SHALL BE LOCATED IN CLOSE PROXIMITY TO THE STAIRWAY.

(D) IN ROOMS WITH HIGH OR SLOPED CEILINGS 24" ABOVE THAT OF THE ADJACENT HALLWAY LEADING TO SLEEPING AREAS.

(E) ON EACH STORY OF MULTISTORY DWELLINGS AND IN BASEMENTS.

(F) IN SPLIT-LEVELS, ALARMS SHALL BE INSTALLED ON THE UPPER LEVEL. IF THE LOWER LEVEL CONTAINS SLEEPING AREAS, THEN IT TOO SHALL BE EQUIPPED WITH A SMOKE ALARM.

20. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL.

21. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.

22. WALLS AND SOFFITS OF ENCLOSED SPACE UNDER STAIRS SHALL BE PROTECTED ON THE ENCLOSED SIDE AS REQUIRED FOR 1-HOUR FIRE RESISTIVE CONSTRUCTION. (1009.9.3)

23. FOAM PLASTICS SHALL NOT BE USED AS AN INTERIOR FINISH EXCEPT AS PROVIDED IN CBC SECTION 803.4 (801.8).

24. PROVIDE A CLASS A, B OR C FIRE-RETARDANT ROOF COVERING PER CBC SECTION 1505.

25. BALCONIES AND SIMILAR PROJECTIONS OF COMBUSTIBLE CONSTRUCTION LOCATED WHERE OPENINGS ARE NOT PERMITTED OR WHERE PROTECTION OF OPENINGS IS REQUIRED SHALL BE OF AT LEAST 1 HOUR FIRE RESISTANCE RATED CONSTRUCTION, TYPE IV CONSTRUCTION, FIRE RETARDANT TREATED WOOD, OR AS REQUIRED BY CBC SECTION 1406.3.

26. IF REQUIRED BY THE LOCAL JURISDICTION, THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH CBC SECTION 903.3 (903.2.8, 12.21A17(D))

27. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

28. AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM (12.21A17(D)) IS REQUIRED ON ANY LOT FRONTING A SUBSTANDARD HILLSIDE LIMITED STREET OR LOCATED EITHER MORE THAN 2 MILES FROM A FIRE STATION HOUSING A LOS ANGELES CITY FIRE DEPARTMENT TRUCK COMPANY OR MORE THAN 1 ½ MILES FROM A FIRE STATION HOUSING A LOS ANGELES FIRE DEPARTMENT ENGINE COMPANY WITH SCOPE AS LISTED BELOW:

(A) NEW BUILDINGS OR STRUCTURES

(B) ADDITION TO AN EXISTING ONE-FAMILY DWELLING OR ACCESSORY BUILDING THAT INCREASES RESIDENTIAL FLOOR AREA BY 50% OR MORE OF THE EXISTING FLOOR AREA.

(C) MAJOR REMODEL WHEN THE AGGREGATE VALUE WITHIN ONE-YEAR PERIOD EXCEEDS 50% OF THE REPLACEMENT COST OF THE DWELLING OR ACCESSORY BUILDING. (12.21C10(H))

GRADING AND FOUNDATION

1. FOUNDATION AND FLOOR SLABS SHALL CONFORM TO THE REQUIREMENTS OF THE CBC OR THE RECOMMENDATION OF AN APPROVED SOILS REPORT.

2. CONCRETE SLABS ON EXPANSIVE SOIL, COMPACTED FILL OR SLOPES OVER 1:10 SHALL BE PLACED PER CBC SECTION 1804.

3. PROVIDE DAMP PROOFING FOR ALL WALLS BELOW GRADE THAT ENCLOSE USABLE SPACE.

4. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET.

5. MAXIMUM DRIVEWAY SLOPE SHALL NOT EXCEED 20%. GRADE DETAILS AND TRANSITION SLOPES REQUIRED WHERE SLOPE EXCEEDS 12¼%. MAXIMUM DRIVEWAY CROSS SLOPE IS 10%. MAXIMUM SLOPE WITHIN PARKING AREA IS 5%. 12.21A5(G), INFORMATION BULLETIN # P/2C 2002-001.

KITCHEN & BATHROOMS

1. EVERY DWELLING UNIT SHALL BE PROVIDED WITH A WATER CLOSET, LAVATORY, BATHTUB OR SHOWER, AND KITCHEN.

2. ALL SHOWER ENCLOSURES, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR AREA OF NOT LESS THAN 7.1 SQ. FT. AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT 72 INCHES ABOVE THE SHOWER DRAIN OUTLET.

3. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.

4. A MINIMUM 12 INCH SQUARE ACCESS PANEL TO THE BATHTUB TRAP SLIP JOINT CONNECTION IS REQUIRED UNLESS PLUMBING IS WITHOUT SLIP JOINTS (CPC 405.2).

5. GLAZED ENCLOSURES MUST BE OF APPROVED SAFETY GLAZING (2406.4)

6. WINDOWS IN ENCLOSURE WALLS SHALL BE LABELED SAFETY GLAZING WHEN LESS THAN 60" ABOVE THE DRAIN. (2406.2, 4)

7. PROVIDE 15" MINIMUM BETWEEN THE CENTER OF WATER CLOSET TO ANY SIDE WALL. (CPC 407.6)

8. PROVIDE 24" CLEAR SPACE IN FRONT OF ANY WATER CLOSET. (CPC 407.6)

LAUNDRY ROOMS

1. CLOTHES DRYER(S) LOCATED IN AN AREA THAT IS HABITABLE OR CONTAINING FUEL BURNING APPLIANCES SHALL BE EXHAUSTED TO THE OUTSIDE. (CMC 504.3.1).

2. A 4-INCH DIAMETER CLOTHES DRYER MOISTURE EXHAUST DUCT IS LIMITED TO A 14 FEET LENGTH WITH TWO ELBOWS FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN EXCESS OF 2. MECHANICAL VENTILATION SYSTEMS MAY BE PERMITTED.

3. PROVIDE MAKE-UP AIR FOR CLOTHES DRYER.

LIGHT AND VENTILATION


1. PROVIDE NATURAL LIGHT IN HABITABLE ROOMS, BY MEANS OF EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 8% OF FLOOR AREA. ARTIFICIAL LIGHTING MAY BE PERMITTED.

2. PROVIDE NATURAL VENTILATION IN HABITABLE ROOMS BY MEANS OF OPENABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 4% OF FLOOR AREA. MECHANICAL VENTILATING SYSTEMS MAY BE PERMITTED.

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3. PROVIDE NATURAL LIGHT AND VENTILATION FOR ADJOINING SPACES.		
4. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH CBC SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL (1205.1).		
5. PROVIDE UNDER FLOOR ACCESS OPENING. IT SHALL BE A MINIMUM 16" X 24" WHEN THE OPENING IS THROUGH A PERIMETER WALL OR A MINIMUM 18" X 24" WHEN THE OPENING IS THROUGH A FLOOR.		
6. UNDER FLOOR AREAS SHALL BE VENTILATED BY APPROVED MECHANICAL MEANS OR BY OPENINGS IN EXTERIOR FOUNDATION WALLS. PROVIDE OPENING SIZES AND LOCATIONS EQUAL TO 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA. OPENINGS SHALL BE AS CLOSE TO CORNERS AS PRACTICAL AND SHALL PROVIDE CROSS VENTILATION ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES. OPENING SHALL HAVE 1/4 INCH CORROSION RESISTANT METAL MESH COVERING. OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH NOT LESS THAN 1/4" NOR MORE THAN 1/2" IN DIMENSION.		
7. PER ASHRAE STANDARD 62.2-2013 4.6 EQUIVALENT VENTILATION, A WHOLE-HOUSE FAN IS REQUIRED FOR THE PROJECT UNLESS THE PROJECT MEETS ALL OF THE REQUIREMENTS SET FORTH IN CBC SECTION 1203.2 UNVENTED ATTIC ASSEMBLIES. AS PRESCRIBED BY R806.4.5.3, THE PRIMARY ROOF ASSEMBLIES SPECIFIED FOR THE PROJECT USE A COMBINATION OF AIR-IMPERMEABLE AND AIR-PERMEABLE INSULATION.		
8. ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. IN. FOR EACH 10 SF OF ATTIC AREA) IS REQUIRED.		
9. ATTIC AREA HAVING CLEAR HEADROOM OF 30" MUST HAVE AN ACCESS OPENING (22" X 30" MINIMUM). ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION.		
<b>PLUMBING</b>		
1. HOT WATER PIPES TO HAVE R-3 MIN. INSULATION WITH VAPOR BARRIER IN UNCONDITIONED SPACES.		
2. ALL WASTE AND SEWER LINES SHALL BE CAST IRON. ALL PLUMBING AND DRAINAGE LINES IN THE PUBLIC RIGHT-OF-WAY AND AS REQUIRED BY APPLICABLE CODES, RULES AND REGULATIONS SHALL BE CAST IRON.		
3. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.		
4. CONTRACTOR WILL FURNISH AND INSTALL ALL MATERIAL NECESSARY TO CONDUCT DRAIN WATER TO THE STREET. NO WATER IS TO SHEET FLOW OVER A PUBLIC WAY. TRIBUTARY LINES ARE TO BE MINIMUM 4" PVC PIPING.		
5. ALL ROOF DRAINAGE SHALL BE CONDUCTED TO THE STREET VIA AN APPROVED NON-CORROSIVE DEVICE AS REQUIRED BY LOCAL CODE.		
6. WATER HEATER MUST BE STRAPPED TO WALL. (LAPC, SECTION 507.3).		
7. HOSE BIBS SHALL BE FITTED WITH A NON-REMOVEABLE BACKFLOW DEVICE.		
8. SHOWERS AND SHOWER TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE / THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE THERMAL SHOCK AND SCALD PROTECTION.		
9. PROVIDE R-12 EXTERIOR BLANKET FOR HOT WATER HEATER. ALL WATER HEATING AND SPACE CONDITIONING EQUIPMENT. SHOWER HEADS AND FAUCETS SHALL BE C.E.C. CERTIFIED. ALL STEAM AND STEAM CONDENSATE RETURN PIPING AND ALL CONTINUOUSLY RECIRCULATING DOMESTIC HEATING OR HOT WATER PIPING SHALL BE INSULATED PER PLUMBING DIVISION.		
10. THE FIRST 5' OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON-RECIRCULATING SYSTEMS SHALL BE THERMALLY INSULATED WITH A MIN OF 1" THICK INSULATION AT HOT WATER PIPES WITH A DIAMETER LESS THAN OR EQUAL TO 2", OR 1-1/2" FOR HOT WATER PIPES WITH A DIAMETER GREATER THAN 2".		
11. WATER HEATER SHALL BE PROVIDED WITH TEMPERATURE AND PRESSURE RELIEF VALVES (CPC 505.6). THE RELIEF VALVES SHALL BE PROVIDED WITH A DRAIN WHICH EXTENDS FROM THE VALVES TO THE OUTSIDE OF THE BUILDING.		
12. COPPER WATER LINES SHALL BE TYPE "L" MIN IF LOCATED UNDER THE BUILDING.		
13. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.		
14. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY.		
15. THE CENTERLINE OF ANY HEAT VENT, PLUMBING VENT, ETC., SHALL BE NO LESS THAN 12" FROM ANY ROOF VALLEY.		
<b>HVAC</b>		
1. SUPPLY AND RETURN AIR DUCTS AND PLENUMS SHALL BE INSULATED WITH R4.2 MIN OR BE ENCLOSED ENTIRELY IN CONDITIONED SPACE.		
2. ALL PRESSURE SENSITIVE TAPES, MASTICS, AEROSOL SEALANTS, OR OTHER CLOSURE SYSTEMS USED FOR INSTALLING FIELD FABRICATED DUCT SYSTEMS SHALL MEET APPLICABLE REQUIREMENTS OF UL181, UL181-A, OR UL181-B, AND 2014 CALGREEN.		
3. THE SUPPLY HEATING AND COOLING ENERGY TO EACH ZONE SHALL BE CONTROLLED BY AN INDIVIDUAL THERMOSTATIC CONTROL THAT RESPONDS TO TEMPERATURE WITHIN THE ZONE.		
4. AIR CONDENSERS AND CONDENSING UNITS SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENTS (SER) OF TABLE 112-A.		
5. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.		
6. A/C UNITS AND WATER HEATERS ARE NOT ALLOWED IN THE REQUIRED SIDE YARDS AND FRONT YARD.		
<b>SECURITY</b>		
1. SECURITY METHODS SHALL NOT CREATE A HAZARD TO LIFE BY OBSTRUCTING ANY MEANS OF EGRESS OR ANY OPENING WHICH IS CLASSIFIED AS AN EMERGENCY EXITING FACILITY. SECURITY PROVISIONS SHALL NOT SUPERSEDE THE SAFETY REQUIREMENTS RELATING TO LATCHING OR LOCKING DEVICES ON EXIT DOORS.		
2. THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOOR KNOB AND A DEADBOLT OPERATED BY A NON-REMOVEABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLT SHALL NOT BE SEPARATED BY MORE THAN 8 INCHES.		
3. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROJECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2 1/2" LONG.		
4. SINGLE SWING DOORS, ACTIVE LEAF OF A PAIR OF DOORS, AND THE BOTTOM LEAF OF DUTCH DOORS SHALL BE EQUIPPED WITH A DEAD LOCKING LATCH AND A DEAD-BOLT WITH HARDENED INSERT WITH 1" MIN. THROW AND 5/8" MIN. EMBEDMENT INTO JAMB. BOTH ARE TO BE KEY OPERATED FROM THE OUTSIDE.		
5. SWINGING DOORS SHALL BE SOLID CORE AND NOT LESS HTAN 1 3/4" THICK. PANELS OF WOOD DOORS SHALL BE 9/16" THICK AND NOT MORE THAN 300 SQUARE INCHES. STILES AND RAILS TO BE 1 3/8" THICK AND 3" MIN WIDTH.		
6. DOORSTOPS OF WOOD JAMBS OF IN-SWINGING DOORS SHALL BE ONE PIECE CONSTRUCTION OR JOINED BY A REBBET.		
7. WINDOWS OTHER THAN LOUVERED WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. SUCH DEVICES SHALL BE GLIDE BARES, BOLTS, CROSS BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS.		
8. WINDOWS AND DOOR LIGHTS WITHIN 40" OF THE LOCKING DEVICE SHALL BE FULLY TEMPERED/ BURGLARY RESISTANT/ OR PROTECTED BY BARS.		
9. SLIDING GLASS DOORS AND SLIDING WINDOWS SHALL BE CAPABLE OF WITHSTANDING FORCED ENTRY ATTEMPTS AS OUTLINED PER CBC REQUIREMENT.		
10. OVERHEAD AND SLIDING GARAGE DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH HARDENED STEEL SHACKLE, OR EQUIVALENT WHEN NOT OTHER LOCKED BY ELECTRIC POWER OPERATION. JAMB LOCKS SHALL BE ON BOTH JAMBS FOR DOORS EXCEEDING 9 FT. IN WIDTH.		
11. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.		
<b>POOL SAFETY</b>		
1. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC).		
2. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B).		
<b>TITLE 24</b>		
1. THE REQUIREMENTS FOR INSULATION, FENESTRATION, THERMAL MASS, SPACE HEATING, SPACE COOLING, DUCTS, AND WATER HEATING SHALL COMPLY WITH TABLES 151-B AND 151-C.		

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GENERAL NOTES 01



CALGREEN RESIDENTIAL MANDATORY MEASURES

PLANNING & DESIGN

1.

SEE SITE PLAN FOR STORM WATER POLLUTION CONTROL REQUIREMENTS.
2.

THE SITE PLAN SHALL BE DEVELOPED TO KEEP SURFACE WATER FROM ENTERING BUILDINGS. SEE SITE PLAN FOR SITE GRADING OR DRAINAGE SYSTEM TO MANAGE ALL SURFACE WATER FLOWS. (4.106.3)
3.

ROOFING SHALL MEET THE FOLLOWING MINIMUM SRI VALUE OR BOTH SOLAR REFLECTANCE AND THERMAL EMITTANCE VALUES:

A.

FOR ROOF SLOPES < 2:12: SRI VALUE OF AT LEAST 75 OR BOTH A 3-YEAR SOLAR REFLECTANCE OF AT LEAST 0.63 AND A THERMAL EMITTANCE OF AT LEAST 0.75.

B.

FOR ROOF SLOPES > 2:12: SRI VALUE OF AT LEAST 16 OR BOTH A 3-YEAR SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75.

STORM WATER POLLUTION CONTROL

1.

ERODED SEDIMENTS AND POLLUTANTS SHALL BE RETAINED ON SITE AND SHALL NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE OR WIND.
2.

STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE COVERED AND/OR PROTECTED FROM BEING TRANSPORTED FORM THE SITE BY WIND AND WATER.
3.

FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND SHALL NOT CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED TOXIC STORAGE CONTAINERS ARE TO BE PROTECTED FROM WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY AND SHALL NOT BE WASHED INTO THE DRAINAGE SYSTEM.
4.

NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED ON THE PROJECT SITE.
5.

EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL IT CAN BE APPROPRIATELY DISPOSED OF OR RECYCLED.
6.

TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF STORM WATER AND DISPERSAL BY WIND.
7.

SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE STREET/PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.
8.

RETENTION BASINS OF SUFFICIENT SIZE SHALL BE PROVIDED TO RETAIN STORM WATER RUNOFF ON-SITE AND SHALL BE PROPERLY LOCATED TO COLLECT ALL TRIBUTARY SITE RUNOFF.
9.

WHERE RETENTION OF STORM WATER RUNOFF ON SITE IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, RUNOFF MAY BE CONVEYED TO THE STREET AND THE STORM DRAIN SYSTEM PROVIDED THAT AN APPROVED FILTERING SYSTEM IS INSTALLED AND MAINTAINED ON-SITE DURING THE CONSTRUCTION DURATION.

ENERGY EFFICIENCY

1.

EACH NEW APPLIANCE PROVIDED AND INSTALLED SHALL MEET ENERGY STAR IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE.
2.

FOR EACH NEW DWELLING, PROVIDE A MINIMUM 1-INCH DIAMETER LISTED RACEWAY THAT CAN ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. THE PANEL OR SUBPANEL SHALL HAVE SUFFICIENT CAPACITY TO SUPPORT AT LEAST 2 EVSE. A LABEL STATING "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND NEXT TO THE RACEWAY TERMINATION POINT. (4.106.4.1)
3.

THE CONDUIT FOR THE FUTURE ELECTRICAL SOLAR SYSTEM SHALL BE LABELED PER LOS ANGELES CITY OR COUNTY FIRE DEPARTMENT REQUIREMENTS.
4.

FOR ADDITIONS OVER 2,000SF OF NEW ROOF AREA, A CONTIGUOUS UNOBSTRUCTED AREA OF 250SF MIN, OR A MAX OF (2) UNOBSTRUCTED AREAS WITH A COMBINED AREA OF 250SF MIN SUITABLE FOR FUTURE INSTALLATION OF ELECTRICAL SOLAR PANELS SHALL BE PROVIDED.

WATER EFFICIENCY AND CONSERVATION:

1.

THE FLOW RATES FOR ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES OUTLINED TABLE 4.303.1.
2.

WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATES SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME. (4.303.1.3.2)

TABLE 4.303.1 - FIXTURE FLOW RATES	
FIXTURE TYPE	FLOW RATE
SHOWER HEADS	2.0 GMP @ 80 PSI
LAVATORY FAUCETS	1.5 GPM @ 60 PSI, 0.8 GPM MIN.
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
GRAVITY TANK TYPE WATER CLOSETS	1.28 GAL/FLUSH
FLUSHOMETER TANK WATER CLOSETS	1.28 GAL/FLUSH
FLUSHOMETER VALVE WATER CLOSETS	1.28 GAL/FLUSH

3.

IF NEW IRRIGATION CONTROLLER IS REQUIRED, CONTROLLER SHALL BE EITHER WEATHER OR SOIL MOISTURE-BASED THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO WEATHER CONDITIONS. (4.304.1)
4.

FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. (STATE ASSEMBLY BILL NO. 1681)

ENHANCED DURABILITY & REDUCED MAINTENANCE

1.

ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES, PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313.3 OF CALIFORNIA PLUMBING CODE. (4.406.1)

2.

PROVIDE FLASHINGS FOR ALL NEW ROOF VALLEYS, AROUND NEW WINDOWS AND DOORS AND AT NEW CHIMNEY TO ROOF INTERSECTIONS ON THE BUILDING PLANS. (4.407.3)
3.

MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE. (4.407.4)

CONSTRUCTION WASTE REDUCTION DISPOSAL & RECYCLING

1.

ONLY A CITY OF LOS ANGELES CERTIFIED HAULER WILL BE USED FOR HAULING OF CONSTRUCTION WASTE.

2.

CONSTRUCTION WASTE SHALL BE REDUCED BY 50% PER AN APPROVED WASTE MANAGEMENT PLAN. CONSTRUCTION WASTE WILL BE HANDLED BY EITHER:

A.

AN APPROVED CERTIFIED HAULER

B.

SOURCE SEPARATED ON SITE
- BUILDING MAINTENANCE & OPERATION
1.

AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION. (4.503.1)
- FIREPLACES
1.

ALL NEW GAS FIREPLACES SHALL BE DIRECT-VENT, SEALED COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. (4.503.1)

2.

WOOD BURNING FIRE PLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED. (AQMD RULE 445)
- POLLUTANT CONTROL
1.

ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT. (4.504.1)

2.

ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1 - 4.504.3

3.

A VOC CONTENT VERIFICATION CHECKLIST, GRN 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.

4.

ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:

A.

CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM

B.

CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD PRACTICE FOR THE TESTING OF VOCS (SPECIFICATION 01350)

C.

NSF/ANSI 140 AT THE GOLD LEVEL

D.

SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD

5.

ALL NEW CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. (4.504.3.1)

6.

80% OF THE TOTAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

A.

VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE

B.

PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM

C.

CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM

D.

MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350

7.

NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5.

8.

A FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.5)
- INTERIOR MOISTURE CONTROL
1.

A 4" THICK BASE OF ¼" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR SLAB ON GRADE CONSTRUCTION. (4.505.2.1)

2.

A VAPOR BARRIER SHALL BE PROVIDED IN DIRECT CONTACT WITH CONCRETE FOR SLAB ON GRADE CONSTRUCTION. (4.505.2.1)

3.

BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR. (4.505.2.1)
- INDOOR AIR QUALITY & EXHAUST
1.

NEWLY INSTALLED EXHAUST FANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS OR TUB/SHOWER COMBINATIONS SHALL COMPLY WITH THE FOLLOWING:

A.

EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

B.

EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- ENVIRONMENTAL COMFORT
1.

THE SIZE AND LAYOUT OF THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004. (4.507.2)
- | TABLE 4.504.1 - ADHESIVE VOC LIMIT <sup>1,2</sup> |                   |
|---|-------------------|
| —   |                   |
| ARCHITECTURAL APPLICATIONS                        | CURRENT VOC LIMIT |
| INDOOR CARPET ADHESIVES                           | 50                |
| CARPET PAD ADHESIVES                              | 50                |
| OUTDOOR CARPET ADHESIVES                          | 150               |
| WOOD FLOORING ADHESIVES                           | 100               |
| RUBBER FLOOR ADHESIVES                            | 60                |
| SUBFLOOR ADHESIVES                                | 50                |
| CERAMIC TILE ADHESIVES                            | 65                |
| VCT & ASPHALT TILE ADHESIVES                      | 50                |
| DRYWALL & PANEL ADHESIVES                         | 50                |
| COVE BASE ADHESIVES                               | 50                |
| MULTIPURPOSE CONSTRUCTION ADHESIVE                | 70                |
| STRUCTURAL GLAZING ADHESIVES                      | 100               |
| SINGLE-PLY ROOF MEMBRANE ADHESIVES                | 250               |
| OTHER ADHESIVES NOT LISTED                        | 50                |
| SPECIALTY APPLICATIONS                            |                   |
| PVC WELDING                                       | 510               |
| CPVC WELDING                                      | 490               |
| ABS WELDING                                       | 325               |
| PLASTIC CEMENT WELDING                            | 250               |
| ADHESIVE PRIMER FOR PLASTIC                       | 550               |
| CONTACT ADHESIVE                                  | 80                |
| SPECIAL PURPOSE CONTACT ADHESIVE                  | 250               |
| STRUCTURAL WOOD MEMBER ADHESIVE                   | 140               |
| TOP & TRIM ADHESIVE                               | 250               |
| SUBSTRATE SPECIFIC APPLICATIONS                   |                   |
| METAL TO METAL                                    | 30                |
| PLASTIC FOAMS                                     | 50                |
| POROUS MATERIAL (EXCEPT WOOD)                     | 50                |
| WOOD  | 30                |
| FIBERGLASS  | 80                |
1.

IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2.

FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.
- | TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS: <sup>1,2</sup> |                   |
|---|-------------------|
| GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS         |                   |
| COATING CATEGORY  | CURRENT VOC LIMIT |
| FLAT COATINGS   | 50                |
| NON-FLAT COATINGS   | 100               |
| NONFLAT-HIGH GLOSS COATINGS   | 150               |
| SPECIALTY COATINGS  |                   |
| ALUMINUM ROOF COATINGS  | 400               |
| BASEMENT SPECIALTY COATINGS   | 400               |
| BITUMINOUS ROOF COATINGS  | 50                |
| BITUMINOUS ROOF PRIMERS   | 350               |
| BOND BREAKERS   | 350               |
| CONCRETE CURING COMPOUNDS   | 350               |
| CONCRETE/MASONRY SEALERS  | 100               |
| DRIVEWAY SEALERS  | 50                |
| DRY FOG COATINGS  | 150               |
| FAUX FINISHING COATINGS   | 350               |
| FIRE RESISTIVE COATINGS   | 350               |
| FLOOR COATINGS  | 100               |
| FORM-RELEASE COMPOUNDS  | 250               |
| GRAPHIC ARTS COATINGS (SIGN PAINTS)   | 500               |
| HIGH TEMPERATURE COATINGS   | 420               |
| INDUSTRIAL MAINTENANCE COATINGS   | 250               |
| LOW SOLIDS COATINGS <sup>1</sup>  | 120               |
| MAGNESITE CEMENT COATINGS   | 450               |
| MASTIC TEXTURE COATINGS   | 100               |
| METALLIC PIGMENTED COATINGS   | 500               |
| MULTICOLOR COATINGS   | 250               |
| PRETREATMENT WASH PRIMERS   | 420               |
| PRIMERS, SEALERS, & UNDERCOATERS  | 100               |
| REACTIVE PENETRATING SEALERS  | 350               |
| RECYCLED COATINGS   | 250               |
| ROOF COATINGS   | 50                |
| RUST PREVENTATIVE COATINGS  | 250               |
| SHELLACS  |                   |
| CLEAR   | 730               |
| OPAQUE  | 550               |
| SPECIALTY PRIMERS, SEALERS & UNDERCOATERS                                     | 100               |
| STAINS  | 250               |
| STONE CONSOLIDANTS  | 450               |
| SWIMMING POOL COATINGS  | 340               |
| TRAFFIC MARKING COATINGS  | 100               |
| TUB & TILE REFINISH COATINGS  | 420               |
| WATERPROOFING MEMBRANES   | 250               |
| WOOD COATINGS   | 275               |
| WOOD PRESERVATIVES  | 350               |
| ZINC-RICH PRIMERS   | 340               |
1.

GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2.

THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3.

VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.
- | TABLE 4.504.2 - SEALANT VOC LIMIT                         |                   |
|---|-------------------|
| (LESS WATER AND LESS EXEMPT COMPOUNDS IN GRAMS PER LITER) |                   |
| SEALANTS  | CURRENT VOC LIMIT |
| ARCHITECTURAL   | 250               |
| MARINE DECK   | 760               |
| NONMEMBRANE ROOF  | 300               |
| ROADWAY   | 250               |
| SINGLE-PLY ROOF MEMBRANE                                  | 450               |
| OTHER   | 420               |
| SEALANT PRIMERS   |                   |
| ARCHITECTURAL   |                   |
| NON-POROUS  | 250               |
| POROUS  | 775               |
| MODIFIED BITUMINOUS                                       | 500               |
| MARINE DECK   | 760               |
| OTHER   | 750               |
- | TABLE 4.504.5 - FORMALDEHYDE LIMITS <sup>1</sup>    |               |
|---|---------------|
| MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION |               |
| PRODUCT   | CURRENT LIMIT |
| HARDWOOD PLYWOOD VENEER CORE                        | 0.05          |
| HARDWOOD PLYWOOD COMPOSITE CORE                     | 0.05          |
| PARTICLE BOARD                                      | 0.09          |
| MEDIUM DENSITY FIBERBOARD                           | 0.11          |
| THIN MEDIUM DENSITY FIBERBOARD <sup>2</sup>         | 0.13          |
1.

VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2.

THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).
- ARCHITECT
- ora
- Oonagh Ryan Architects Inc.  
453 South Spring Street, Suite 336  
Los Angeles, CA 90013
- t | 323.908.0700  
w| oonaghryan.com
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- STAMP
- 
- CONSULTANT
- DRAWING ISSUE
- |    |                       |          |
|----|-----------------------|----------|
| 01 | PLAN CHECK SUBMISSION | 04.10.15 |
| 02 | HOA SUBMISSION        | 04.16.15 |
|    |                       |          |
|    |                       |          |
|    |                       |          |
|    |                       |          |
|    |                       |          |
|    |                       |          |
|    |                       |          |
|    |                       |          |
- OWNER/CLIENT
- PHILIP AND RACHEL OROSCO
- 1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272
- PROJECT
- PALISAIR PLACE  
RESIDENCE
- 1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272
- PROJECT NO. 14-09
- DRAWING TITLE.
- CAL GREEN NOTES &  
FORMS
- SHEET NO.
- A0.20
- ISSUE DATE  
HOA SUBMISSION 04.16.15
- CAL GREEN BUILDING NOTES AND FORMS 01







CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

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GENERAL INFORMATION				
01	Project Name	Palisair Place Residence		
02	Calculation Description	Title 24 Analysis		
03	Project Location	1065 Palisades		
04	City	Pacific Palisades		
05	Standards Version	Compliance 2014		
06	Zip Code	90272		
07	Compliance Manager Version	BEMCompMgr 2013-3b1 (694)		
08	Climate Zone	C2b		
09	Software Version	EnergyPro 6.4		
10	Building Type	Single Family		
11	Front Orientation (deg Cardinal)	0		
12	Project Scope	Addition and/or Alteration		
13	Number of Dwelling Units	1		
14	Total Cond. Floor Area (FT <sup>2</sup> )	2527		
15	Number of Zones	2		
16	Slab Area (FT <sup>2</sup> )	2527		
17	Number of Stories	1		
18	Addition Cond. Floor Area	764		
19	Natural Gas Available	Yes		
20	Addition Slab Area (FT <sup>2</sup> )	764		
21	Glazing Percentage (%)	34.4%		

COMPLIANCE RESULTS				
01	Building Complies with Computer Performance			
02	This building incorporates features that require field testing and/or verification by a certified HERS Rater under the supervision of a CEC-approved HERS provider.			
03	This building incorporates one or more Special Features shown below			

ENERGY USE SUMMARY				
04	05	06	07	08
Energy Use (KTDV/1000 sq ft)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	11.95	10.38	1.57	13.1%
Space Cooling	4.73	10.18	-5.45	-115.2%
IAQ Ventilation	0.00	0.00	0.00	0.0%
Water Heating	12.37	7.62	4.75	38.4%
Photovoltaic Offset	---	0.00	0.00	---
Compliance Energy Total	29.05	28.18	0.87	3.0%

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CA Building Energy Efficiency Standards - 2013 Residential Compliance Report Version - CF1R-01152015-694 Report Generated at: 2015-04-02 16:39:46

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REQUIRED SPECIAL FEATURES				
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis:				
<ul style="list-style-type: none"> <li>Cathedral Ceiling</li> <li>Window overhangs and/or fins</li> </ul>				
HERS FEATURE SUMMARY				
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building components tables below.				
<b>Building-level Verifications:</b> <ul style="list-style-type: none"> <li>None</li> </ul> <b>Cooling System Verifications:</b> <ul style="list-style-type: none"> <li>Minimum Airflow</li> <li>Verified SEER</li> </ul> <b>Fan Efficacy Watts/CFM</b>				
<b>HVAC Distribution System Verifications:</b> <ul style="list-style-type: none"> <li>Duct Sealing</li> </ul> <b>Domestic Hot Water System Verifications:</b> <ul style="list-style-type: none"> <li>None</li> </ul>				

ENERGY DESIGN RATING				
This is the sum of the annual TDV energy consumption for energy use components included in the performance compliance approach for the Standard Design Building (Energy Budget) and the annual TDV energy consumption for lighting and components not regulated by Title 24, Part 6 (such as domestic appliances and consumer electronics) and accounting for the annual TDV energy offset by an on-site renewable energy system.				
Reference Energy Use	Energy Design Rating	Margin	Percent Improvement	
Total Energy (KTDV/1000 sq ft)*	73.13	72.26	0.87	1.2%

\* Includes calculated Appliances and Miscellaneous Energy Use (AMEU)

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft <sup>2</sup> )	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Palisair Place Residence	2527	1	4	2	0	1

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ZONE INFORMATION									
01	02	03	04	05	06	07			
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft <sup>2</sup> )	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2			
Existing House	Conditioned	Carrier Comfort Series Sp1	1783	9	DHW Sys 1				
New Addition	Conditioned	Carrier Comfort Series Sp1	764	8	DHW Sys 1				
OPAQUE SURFACES									
01	02	03	04	05	06	07	08	09	10
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft <sup>2</sup> )	Window and Door Area (ft <sup>2</sup> )	Tilt (deg)	Status	Verified Existing Condition
North	Existing House	R-15 Wall	0	Front	214	107	90	Existing	No
North Alt	Existing House	R-15 Wall	0	Front	189		90	Altered	N/A
South	Existing House	R-15 Wall	180	Back	282	75.0050	90	Existing	No
West Alt	Existing House	R-15 Wall	270	Right	289	239.03	90	Altered	N/A
Roof Altered 2	Existing House	Metal Corru Cool			1669.4			Altered	N/A
Raised Floor	Existing House	Air Conditioning Chase			450			Existing	No
North New Exterior Wall	New Addition	R-15 Wall	0	Front	63	38	90	New	N/A
East New Exterior Wall	New Addition	R-15 Wall	90	Left	237	41.0013	90	New	N/A
South New Exterior Wall	New Addition	R-15 Wall	180	Back	873	222.98	90	New	N/A
West New Exterior Wall	New Addition	R-15 Wall	270	Right	96	50.90	90	New	N/A
Exterior Wall	New Addition	8 Concrete Wall	90	Left	108		90	New	N/A
Exterior Wall 2	New Addition	8 Concrete Wall	270	Right	65		90	New	N/A
Roof 2	New Addition	Metal Corru Cool			762.2			New	N/A

OPAQUE SURFACES - Cathedral Ceilings												
01	02	03	04	05	06	07	08	09	10	11	12	13
Name	Zone	Type	Orientation	Area (ft <sup>2</sup> )	Skylight Area (ft <sup>2</sup> )	Roof Rise (a in 12)	Roof Pitch	Roof Tilt(deg)	Roof Reflectance	Roof Emittance	Framing Factor	Verified Existing Condition
Roof Altered	Existing House	Metal Corru Cool	Front	93.7	48	0	0	0	0.1	0.85	0.07	Altered
Roof	New Addition	Metal Corru Cool	Front	1.9	0.6	0	0	0	0.1	0.85	0.07	New

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ATTIC								
01	02	03	04	05	06	07	08	09
Name	Construction	Roof Rise	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic Existing House	Attic Roof Cons Existing	0	0.1	0.05	No	No	Existing	No
Attic New Addition	Attic Roof Cons New Addit	0	0.1	0.05	No	No	New	No

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WINDOWS										
01	02	03	04	05	06	07	08	09	10	11
Name	Surface (Orientation-Azimuth)	Width(ft)	Height (ft)	Multiple	Area (ft <sup>2</sup> )	U-factor	SHGC	Exterior Shading	Status	Verified Existing Condition
Window T1	North (Front-0)	---	---	1	26.0	0.33	0.62	Inspect Screen (default)	Altered	N/A
Fleetwood Sliders	North (Front-0)	---	---	1	81.0	0.43	0.30	Inspect Screen (default)	Altered	N/A
Window Exist	South (Back-180)	10.9	2.8	0.983	30.0	1.04	0.76	Inspect Screen (default)	Existing	No
Window Exist 2	South (Back-180)	5.4	2.8	0.985	15.0	1.04	0.76	Inspect Screen (default)	Existing	No
Window Exist 3	South (Back-180)	10.9	2.8	0.983	30.0	1.04	0.76	Inspect Screen (default)	Existing	No
Window T2	West Alt (Right-270)	11.7	2.3	0.99	26.0	0.61	0.61	Inspect Screen (default)	Altered	N/A
Window T2 2	West Alt (Right-270)	12.3	2.1	0.966	25.0	0.61	0.61	Inspect Screen (default)	Altered	N/A
Fleetwood Sliders 2	West Alt (Right-270)	14.9	6.9	0.998	103.0	0.43	0.30	Inspect Screen (default)	Altered	N/A
Fleetwood Sliders 3	West Alt (Right-270)	12.3	6.9	0.996	85.0	0.43	0.30	Inspect Screen (default)	Altered	N/A
Skylight	Roof Altered (Front-0)			1	48.0	0.52	0.52		New	N/A
Skylight 2	Roof Altered (Front-0)			1	7.0	0.52	0.52		New	N/A
Skylight 3	Roof Altered (Front-0)			1	24.0	0.52	0.52		New	N/A
Skylight 4	Roof Altered (Front-0)			1	14.0	0.52	0.52		New	N/A
Solatube	Roof Altered (Front-0)			1	6	0.46	0.20		New	N/A
Fleetwood Sliders 4	North New Exterior Wall (Front-0)			1	56.0	0.43	0.30	Inspect Screen (default)	New	N/A
Window T1 2	East New Exterior Wall (Left-90)	---	---	1	17.0	0.33	0.62	Inspect Screen (default)	New	N/A
Window T1 3	East New Exterior Wall (Left-90)	---	---	1	10.0	0.33	0.62	Inspect Screen (default)	New	N/A
Window T2 3	East New Exterior Wall (Left-90)	11.8	1.2	0.993	14.0	0.61	0.61	Inspect Screen (default)	New	N/A
Window T2 4	South New Exterior Wall (Back-180)	1.0	1.0	2	2.0	0.61	0.61	Inspect Screen (default)	New	N/A
Window T2 5	South New Exterior Wall (Back-180)	1.6	7.9	1.838	23.0	0.61	0.61	Inspect Screen (default)	New	N/A
Window T2 6	South New Exterior Wall (Back-180)	---	---	1	28.0	0.61	0.61	Inspect Screen (default)	New	N/A
Window T1 4	South New Exterior Wall (Back-180)	---	---	1	18.0	0.33	0.62	Inspect Screen (default)	New	N/A
Fleetwood Sliders 5	South New Exterior Wall (Back-180)	8.0	6.5	1	52.0	0.43	0.30	Inspect Screen (default)	New	N/A
Fleetwood Sliders 6	South New Exterior Wall (Back-180)	14.0	6.9	1.032	100.0	0.43	0.30	Inspect Screen (default)	New	N/A

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Window T2 7	West New Exterior Wall (Right-270)	---	---	1	6.0	0.61	0.61	Inspect Screen (default)	New	N/A
Fleetwood Sliders 7	West New Exterior Wall (Right-270)	6.5	6.9	1	45.0	0.43	0.30	Inspect Screen (default)	New	N/A
Solatube 2	Roof (Front-0)			1	6	0.46	0.20		New	N/A
Solatube 3	Roof (Front-0)			1	6	0.46	0.20		New	N/A
Solatube 4	Roof (Front-0)			1	6	0.46	0.20		New	N/A

DOORS					
01	02	03	04	05	06
Name	Side of Building	Area (ft <sup>2</sup> )	U-factor	Status	Verified Existing Condition
Door	South	48.0	0.50	New	No

OVERHANGS AND FINS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window	Depth	Dist Up	Let Extent	Right Extent	Flap Ht.	Depth	Top Up	Dist Up	Bot Up	Depth	Top Up	Dist Up	Bot Up
Window Exist	3	0.1	3	3	0	0	0	0	0	0	0	0	0
Window Exist 2	3	0.1	3	3	0	0	0	0	0	0	0	0	0
Window Exist 3	3	0.1	3	3	0	0	0	0	0	0	0	0	0



CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Palisair Place Residence  
Calculation Description: Title 24 Analysis

Calculation Date/Time: 16:38, Thu, Apr 02, 2015  
Input File Name: Oroscos - T24\_2013\_Raised Floor.xml

CF1R-PRF-01  
Page 7 of 11

01	02	03	04	05	06	07
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Winter Design U-value	Assembly Layers
Attic Roof Cons Existing	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O.C.	none	0.412	<ul style="list-style-type: none"><li>Cavity / Frame: no insul / 2x4 Top Chord</li><li>Roof Deck: Wood Siding/sheathing/decking</li><li>Tile Gap: present</li><li>Roofing: Light Roof (Metal Tile)</li></ul>
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R 15	0.089	<ul style="list-style-type: none"><li>Inside Finish: Gypsum Board</li><li>Cavity / Frame: R-15 / 2x4</li><li>Exterior Finish: Wood Siding/sheathing/decking</li></ul>
Metal Cornu Cool	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R 22	0.039	<ul style="list-style-type: none"><li>Inside Finish: Gypsum Board</li><li>Sheathing / Insulation: R2 Sheathing</li><li>Cavity / Frame: R-6 / 1/2" 2x4</li><li>Over Floor Joists: R-12.9 insul.</li></ul>
Metal Cornu Cool1	Cathedral Ceilings	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R 22	0.043	<ul style="list-style-type: none"><li>Inside Finish: Gypsum Board</li><li>Sheathing / Insulation: R2 Sheathing</li><li>Cavity / Frame: R-22 / 2x4</li><li>Roof Deck: Wood Siding/sheathing/decking</li><li>Tile Gap: present</li><li>Roofing: Light Roof (Metal Tile)</li></ul>
Air Conditioning Chase	Exterior Floors	Concrete / ICF / Brick			0.285	<ul style="list-style-type: none"><li>Floor Surface: Carpeted</li><li>Mass Layer: 4 in. Concrete</li></ul>
Attic Roof Cons New Addit	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O.C.	none	0.412	<ul style="list-style-type: none"><li>Cavity / Frame: no insul / 2x4 Top Chord</li><li>Roof Deck: Wood Siding/sheathing/decking</li><li>Tile Gap: present</li><li>Roofing: Light Roof (Metal Tile)</li></ul>
8 Concrete Wall	Exterior Walls	Concrete / ICF / Brick			0.031	<ul style="list-style-type: none"><li>Inside Finish: Gypsum Board</li><li>Insulation/Furring: R-30 / no furring</li><li>Mass Layer: 8 in. Concrete</li><li>Exterior Finish: Wood Siding/sheathing/decking</li></ul>

01	02	03	04	05	06	07	08	09
Name	Zone	Area (ft <sup>2</sup> )	Perimeter (ft)	Edge Insul. R-value	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab-on-Grade	Existing House	1763	140	None	0.8	No	Existing	No
Slab-on-Grade 2	New Addition	764	62	None	0.8	No	New	No

Registration Number: 215-40087098A-000000000-0000  
CA Building Energy Efficiency Standards - 2013 Residential Compliance

Registration Date/Time: 2015-04-09 06:21:01  
Report Version: CF1R-01152015-694

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Report Generated at: 2015-04-02 16:39:46

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Palisair Place Residence  
Calculation Description: Title 24 Analysis

Calculation Date/Time: 16:38, Thu, Apr 02, 2015  
Input File Name: Oroscos - T24\_2013\_Raised Floor.xml

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Page 8 of 11

01	02	03	04
Quality Insulation Installation (QII)	Quality Installation of Spray Foam Insulation	Building Envelope Air Leakage	ACH @ 50 Pa
Not Required	Not Required	Not Required	---

01	02	03	04	05	06	07	08
Name	System Type	Distribution Type	Water Heater	Number of Heaters	Solar Fraction (%)	Status	Verified Existing Condition
DHW Sys 1	DHW	Standard	DHW Heater 1	1	Annual	Altered	No

01	02	03	04	05	06	07	08
Name	Heater Element Type	Tank Type	Tank Volume (gal)	Energy Factor or Efficiency	Input Rating	Tank Exterior Insulation R-value	Standby Loss (Fraction)
DHW Heater 1	Natural Gas	Small Instantaneous	0.6	0.91 EF	160000-Btu/hr	0	0

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Point-of Use	Recirculation with Manual Control	Recirculation with Sensor Control
DHW Sys 1	n/a	n/a	n/a	n/a	n/a	n/a

01	02	03	04	05	06	07	08	09
Name	System Type	Heating System	Cooling System	Distribution System	Fan System	Floor Area Served	Status	Verified Existing Condition
Carrier Comfort Series Sp1	Other Heating and Cooling System	Heating Component 1	Cooling Component 1	Air Distribution System 1	HVAC Fan 1	2527	Altered	No

01	02	03
Name	Type	Efficiency
Heating Component 1	CrititFurnace - Fuel-fired central furnace	92 AFUE

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CF1R-PRF-01  
Page 9 of 11

01	02	03	04	05	06	07
Name	System Type	EER	SEER	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	Split/AirCond - Split air conditioning system	11.87	14	No	No	Cooling Component 1-hera-cool

01	02	03	04	05	06
Name	Verified Airflow	Airflow Target	Verified EER	Verified SEER	Verified Refrigerant Charge
Cooling Component 1-hera-cool	Required	300	Not Required	Required	Not Required

01	02	03	04	05	06	07	08	09	10
Name	Type	Duct Leakage	Insulation R-value	Supply Duct Location	Return Duct Location	Bypass Duct	Status	Verified Existing Condition	HERS Verification
Air Distribution System 1	Ducts located in attic	Sealed and tested	6.0	Attic	Attic	None	New	No	Air Distribution System 1-hera-dst

01	02	03	04	05	06
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design	Supply
Air Distribution System 1-hera-dst	Required	6.0	---	---	---

01	02	03	04
Name	Type	Fan Power (Watts/CFM)	HERS Verification
HVAC Fan 1	Single Speed PSC Furnace Fan	0.59	Required

Registration Number: 215-40087098A-000000000-0000  
CA Building Energy Efficiency Standards - 2013 Residential Compliance

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Input File Name: Oroscos - T24\_2013\_Raised Floor.xml

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Page 10 of 11

01	02	03	04	05
Name	IAQ CFM	IAQ Fan Type	IAQ Recovery Effectiveness(%)	HERS Verification
SFan IAQVentRpt	0	Default	0	Not Required

Registration Number: 215-40087098A-000000000-0000  
CA Building Energy Efficiency Standards - 2013 Residential Compliance

Registration Date/Time: 2015-04-09 06:21:01  
Report Version: CF1R-01152015-694

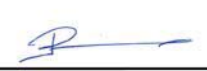

HERS Provider: CalCERTS, Inc.  
Report Generated at: 2015-04-02 16:39:46

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Palisair Place Residence  
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Input File Name: Oroscos - T24\_2013\_Raised Floor.xml

CF1R-PRF-01  
Page 11 of 11

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Jeff Pollock	Documentation Author Signature: 
Company: TechLogic Energy Consulting	Signature Date: 2015-04-03 15:15:13
Address: 25852 McBean Pkwy # 513 Valencia, CA 91355	CEA/HERS Certification Identification (if applicable): R13-06-10032
City/State/Zip: Valencia, CA 91355	Phone: 861.714.0133
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California:	
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.	
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.	
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
Responsible Designer Name: Ben Lunskey	Responsible Designer Signature: 
Company: Sarlun Builders Inc	Date Signed: 2015-04-09 06:21:01
Address: 9903 Santa Monica Blvd. Beverly Hills, CA 90212	License: h2355928
City/State/Zip: Beverly Hills, CA 90212	Phone: 310 395-2883

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

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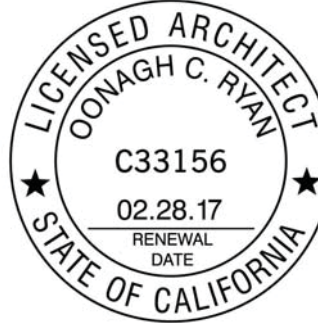
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DRAWING ISSUE

01	PLAN CHECK SUBMISSION	04.10.15
02	HOA SUBMISSION	04.16.15

OWNER/CLIENT

PHILIP AND RACHEL OROSCO  
  
1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272

PROJECT

PALISAIR PLACE  
RESIDENCE

1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272

PROJECT NO. 14-09

DRAWING TITLE.

TITLE 24 FORMS

SHEET NO.

A0.31

ISSUE DATE  
HOA SUBMISSION 04.16.15



**NOTE:** Low-rise residential buildings subject to the Standards must comply with all applicable mandatory measures listed, regardless of the compliance approach used. Exceptions may apply. Review the respective code section for more information.

---

§110.4(b):	Any pool or spa heating equipment shall be installed with at least 36 inches of pipe between filter and heater or dedicated suction and return lines, or built-up connections for filter solar heating.
§110.4(b)(2):	Outdoor pools or spas that have a heat pump or gas heater shall have a cover.
§110.4(b)(3):	Pools shall have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§110.5:	Natural gas pool and spa heaters shall not have a continuous burning pilot light.
§150.0(p):	Residential pool systems or equipment shall meet specified pump sizing, flow rate, piping, filters, and valve requirements.

---

§ 150.0(j)2C:	Pipe for cooling system lines shall be insulated as specified in § 150.0(j)2A. Piping insulation for steam and hydronic heating systems or hot water systems with pressure > 15 psig shall meet the requirements in TABLE 120.3-A.
§ 150.0(j)3:	Insulation is protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind.

---

a. Photocontrol not having an override or bypass switch that disables the photocontrol; or  
b. Astronomical time clock not having an override or bypass switch that disables the astronomical time clock, and which is programmed to automatically turn the outdoor lighting OFF during daylight hours; or  
c. Energy management control system which meets all of the following requirements: At a minimum provides the functionality of an astronomical time clock in accordance with §10.9, meets the Installation Certification requirements in §10.4, meets the requirements for an EMCS in §10.5, does not have an override or bypass switch that allows the luminaire to be always ON; and, is programmed to automatically turn the outdoor lighting OFF during daylight hours.

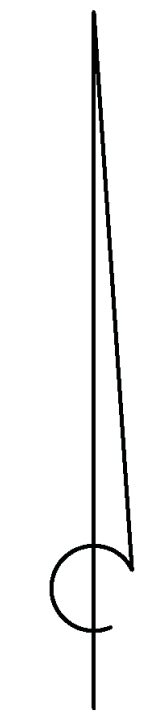
For low-rise multifamily residential buildings, outdoor lighting for private patios, entrances, balconies, and porches, and outdoor

---

04.16.15



# Architectural Survey

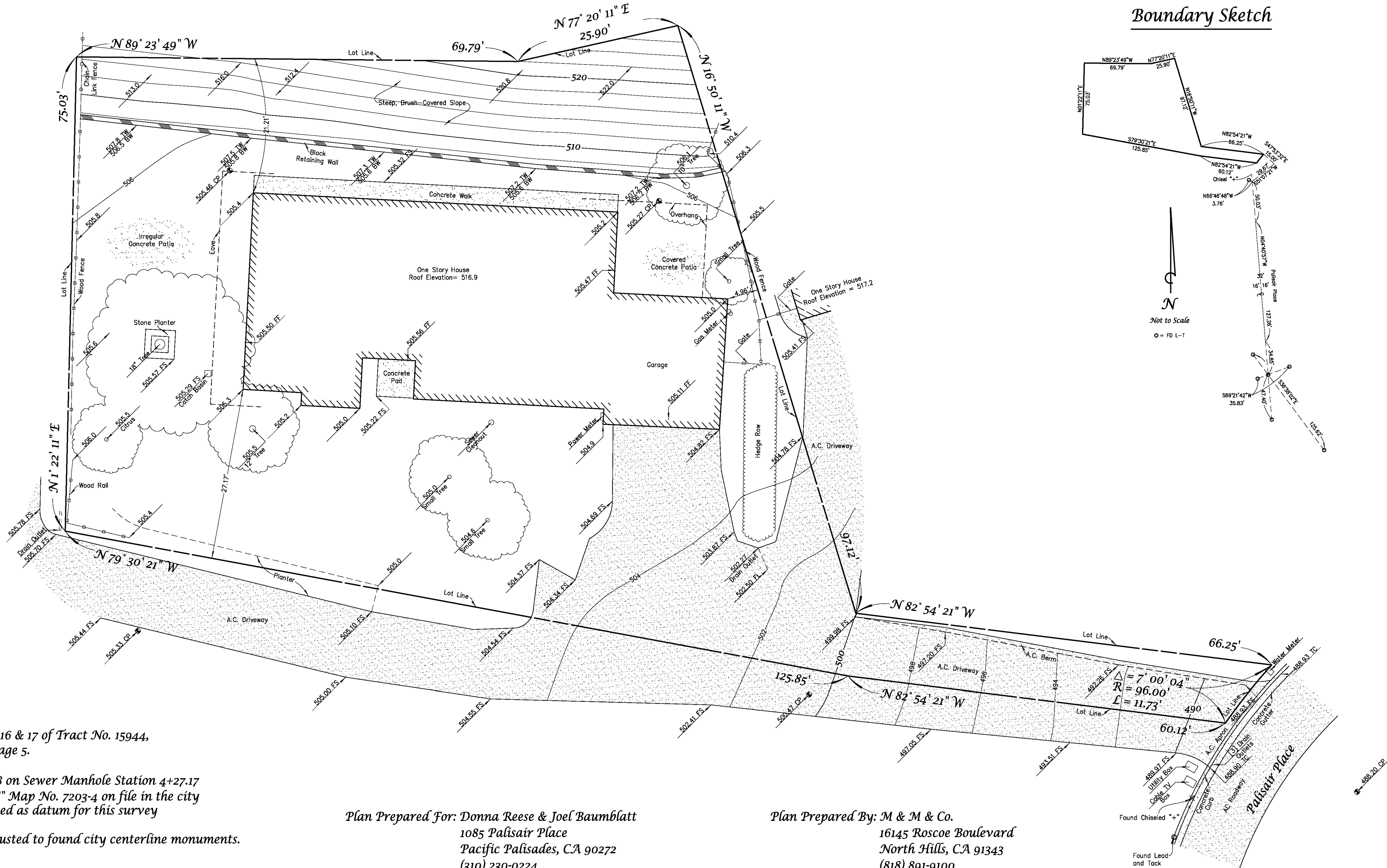


Scale: 1" = 8'

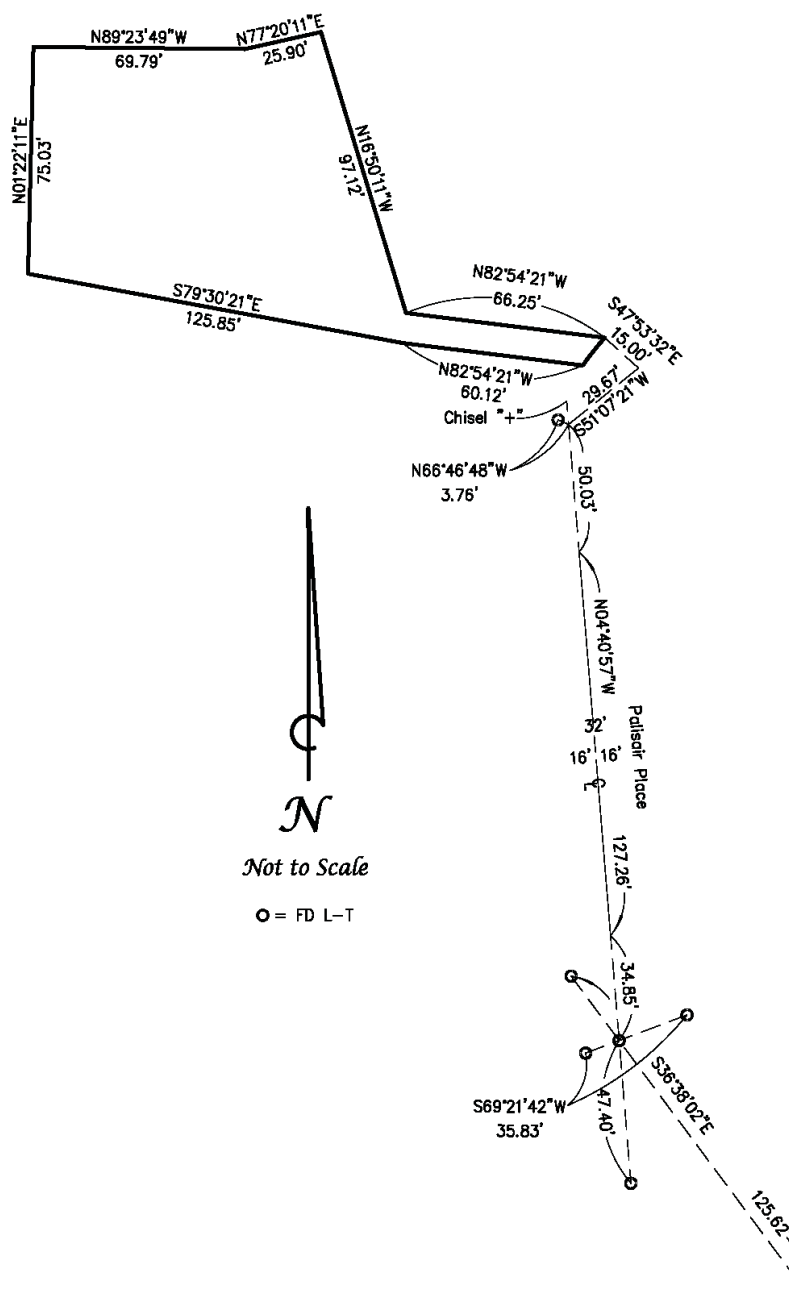
## Legend

FF = Finished Floor  
FS = Finished Surface  
FL = Flowline  
BW = Bottom of Wall  
TW = Top of Wall  
TC = Top of Curb  
CP = Central Point

Note: Hatch Patterns and Tree Drip Lines Are Not to Scale



## Boundary Sketch



Legal Description: Portions of Lots 16 & 17 of Tract No. 15944,  
Map Book 481, page 5.

Bench Mark: The elevation of 490.8 on Sewer Manhole Station 4+27.17  
as shown on Sewer "Y" Map No. 7203-4 on file in the city  
of Los Angeles was used as datum for this survey

Boundary: Record information adjusted to found city centerline monuments.

Date of Survey: August 15, 2006

Site Address: 1085 Palisair Place, Pacific Palisades

Area: 10,237 square feet, 0.24 acres

Plan Prepared For: Donna Reese & Joel Baumbblatt  
1085 Palisair Place  
Pacific Palisades, CA 90272  
(310) 230-0224

Plan Prepared By: M & M & Co.  
16145 Roscoe Boulevard  
North Hills, CA 91343  
(818) 891-9100  
Michael J. Amoroso, L.S. 5392  
Field Survey By: Greg Amoroso  
Plan Drafted By: James Hoffman

Job# 07-11-06 Reese & Baumbblatt Palisair Place

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PROJECT

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RESIDENCE**

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PACIFIC PALISADES, CA 90272

PROJECT NO.

14-09

DRAWING TITLE.

**SURVEY (REFERENCE  
ONLY)**

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**A0.40**

ISSUE

DATE

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04.16.15

**SURVEY (REFERENCE ONLY) 01**



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**CODE ANALYSIS**

SHEET NO.

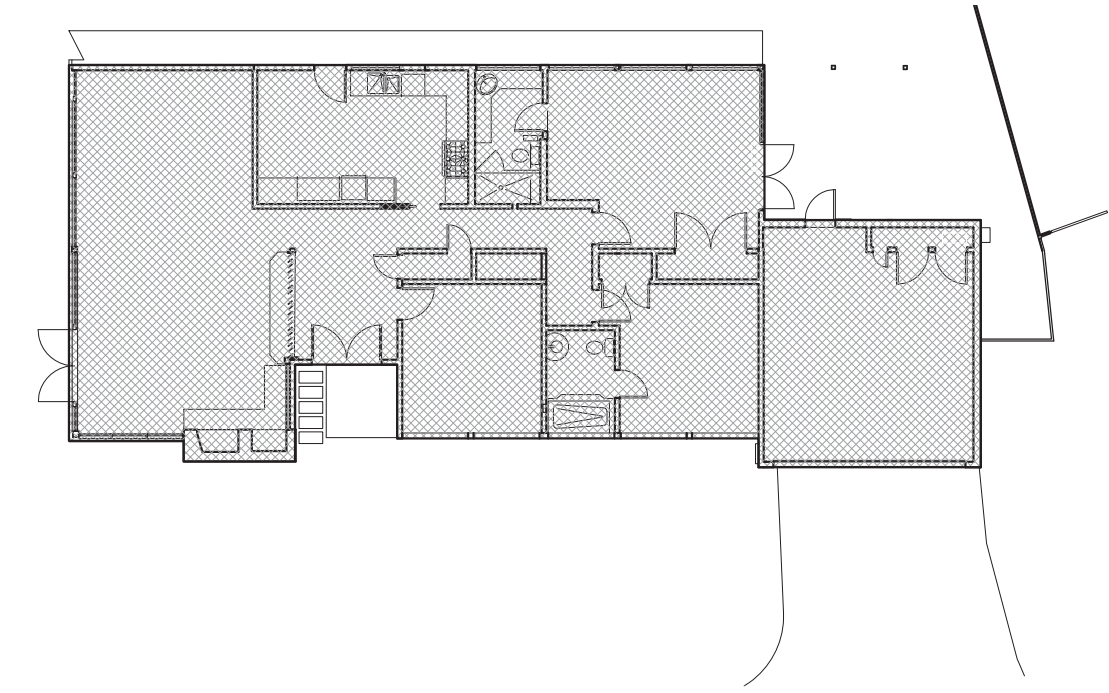
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DATE

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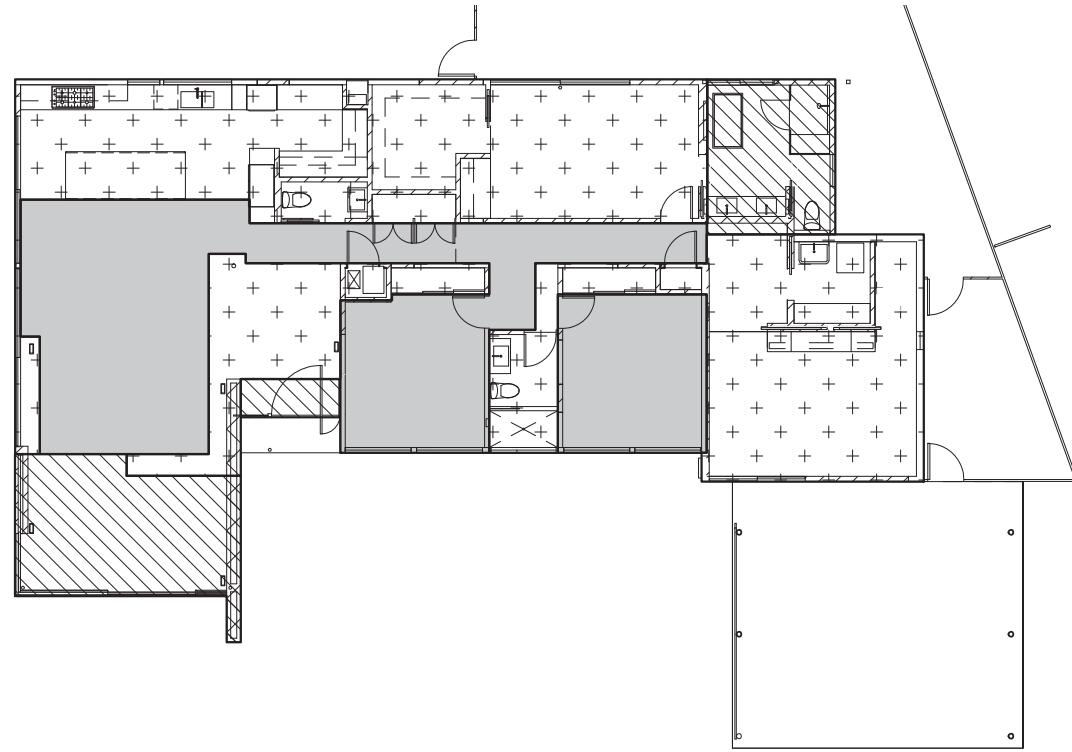
04.10.15



	AREA (SF)	VALUATION FACTOR	VALUATION
EXISTING TO REMAIN (NO WORK IN THIS AREA)	2145 SF	\$137 / SF	\$293,865

TOTAL (E) VALUATION OF HOUSE = \$293,865

**EXISTING VALUATION 03**



	AREA (SF)	VALUATION FACTOR	VALUATION
EXISTING TO REMAIN (NO WORK IN THIS AREA)	811 SF	\$0 / SF	\$0
PROPOSED RENOVATION	1334 SF	\$68 / SF	\$90,712
PROPOSED ADDITION	375 SF	\$137 / SF	\$51,375

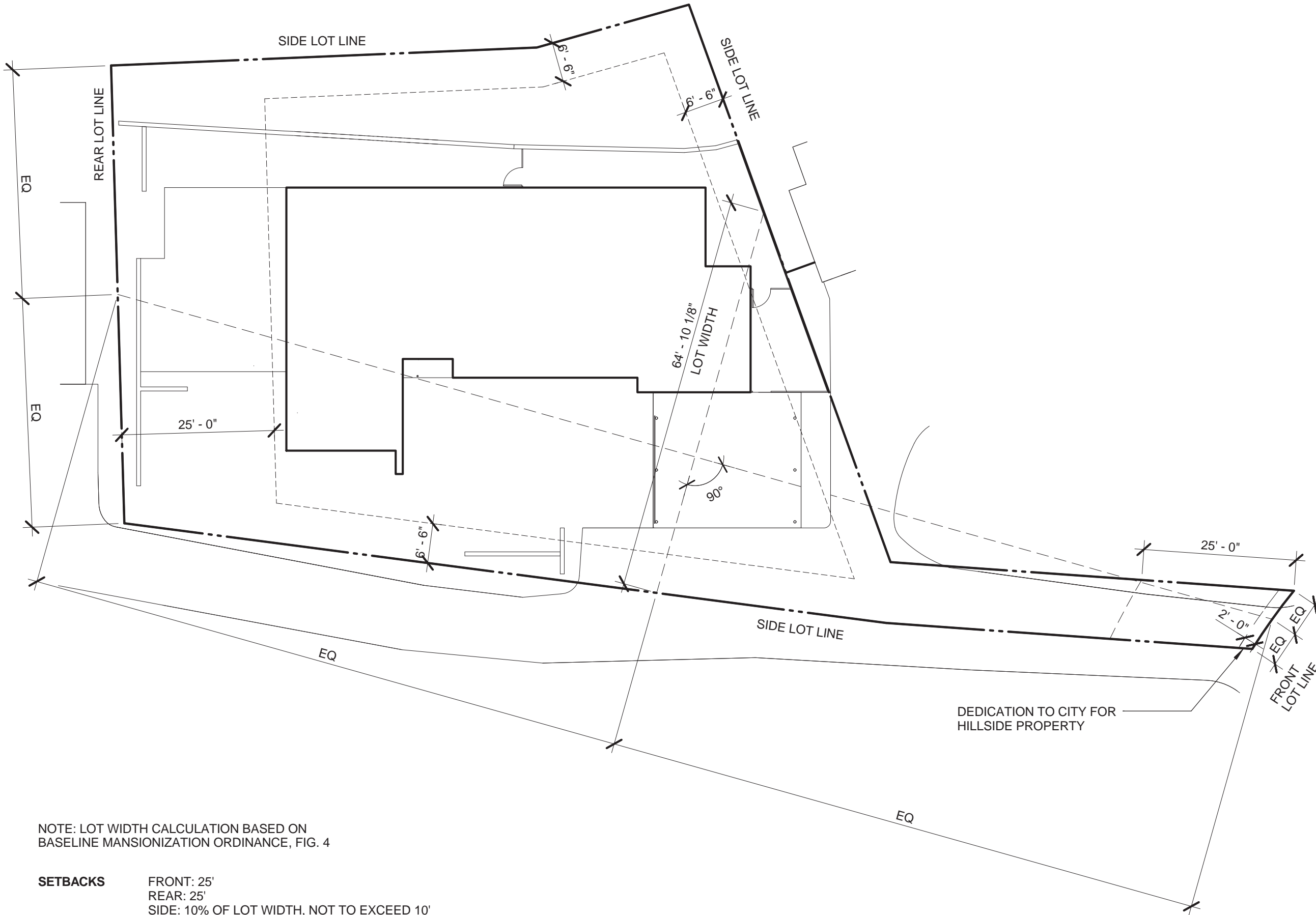
TOTAL VALUATION OF HOUSE = PROPOSED RENOVATION + PROPOSED ADDITION = \$142,087

50% OF (E) HOUSE VALUATION = \$293,865 / 2 = 146,933

\$142,087 < \$146,933. TOTAL HOUSE VALUATION IS LESS THAN 50% OF (E) VALUATION

NOTE: VALUATION FACTOR BASED ON "GOOD DWELLING, TYPE V"  
PER LADBS VALUATION TABLE. RENOVATION FACTOR TO BE HALF OF (N)  
SQUARE FOOTAGE FACTOR

**REMODEL & ADDITION VALUATION 02**



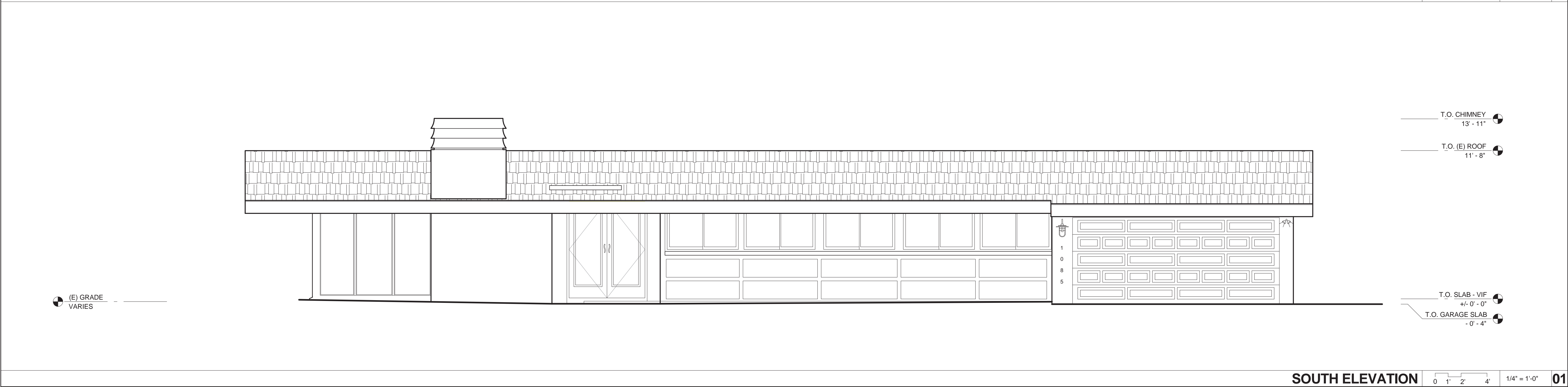
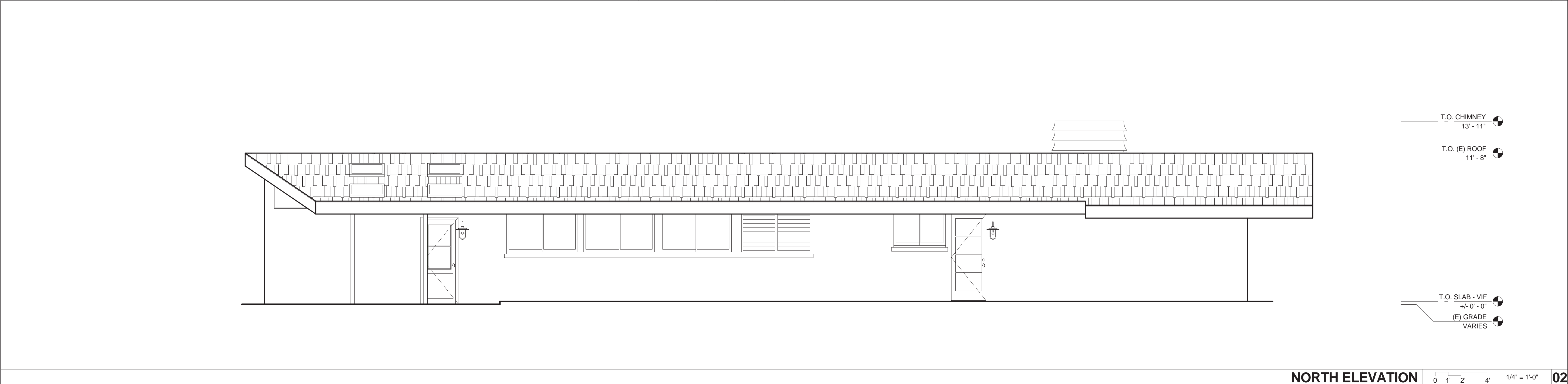
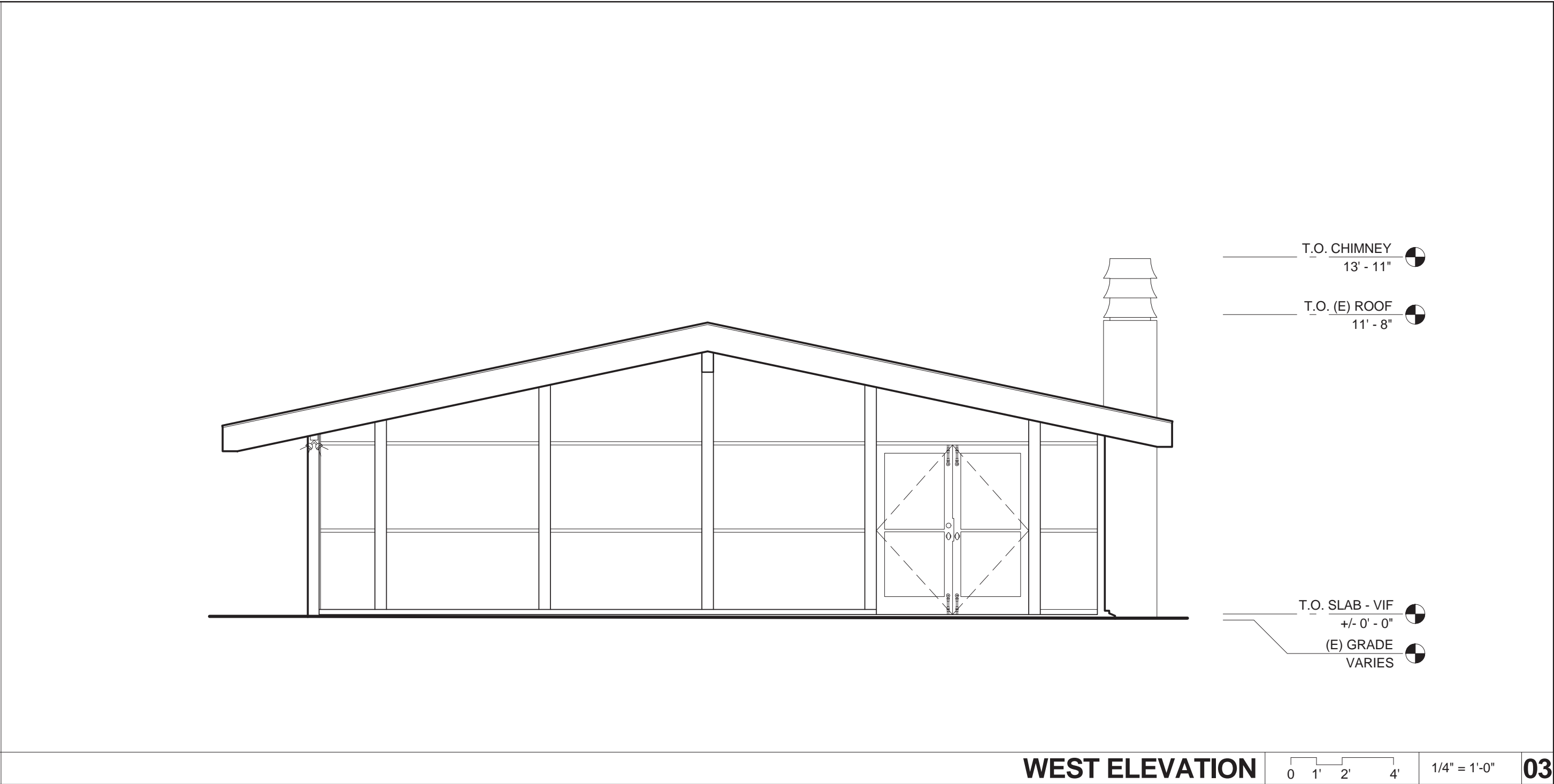
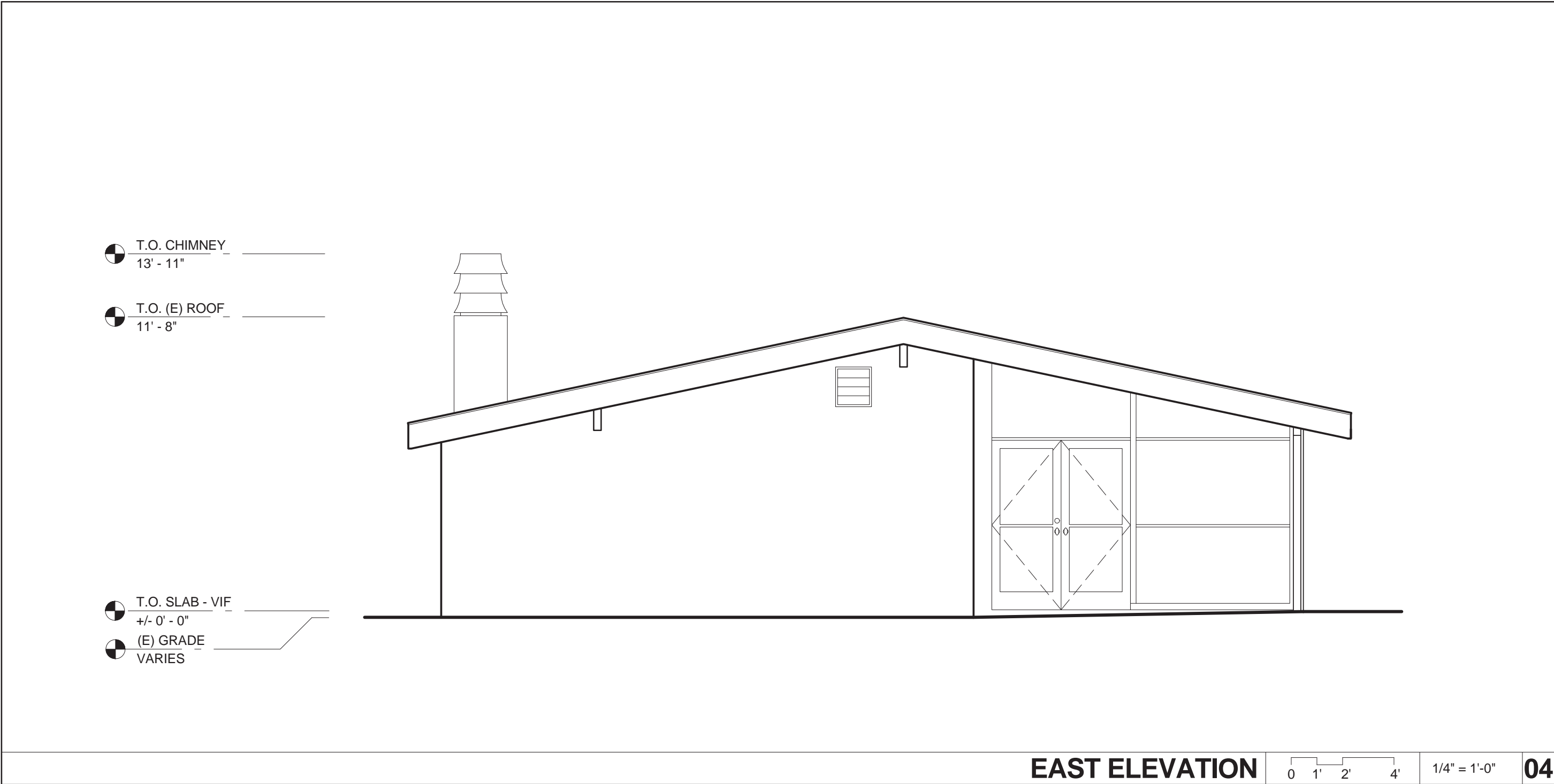
NOTE: LOT WIDTH CALCULATION BASED ON  
BASELINE MANSIONIZATION ORDINANCE, FIG. 4

SETBACKS

FRONT: 25'  
REAR: 25'  
SIDE: 10% OF LOT WIDTH, NOT TO EXCEED 10'  
64'-10" X 0.1 = 6'-6"

**SETBACK DIAGRAM 01**





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C33156  
02.28.17  
RENEWAL DATE  
STATE OF CALIFORNIA

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PROJECT NO. 14-09

DRAWING TITLE.

EXISTING ELEVATIONS

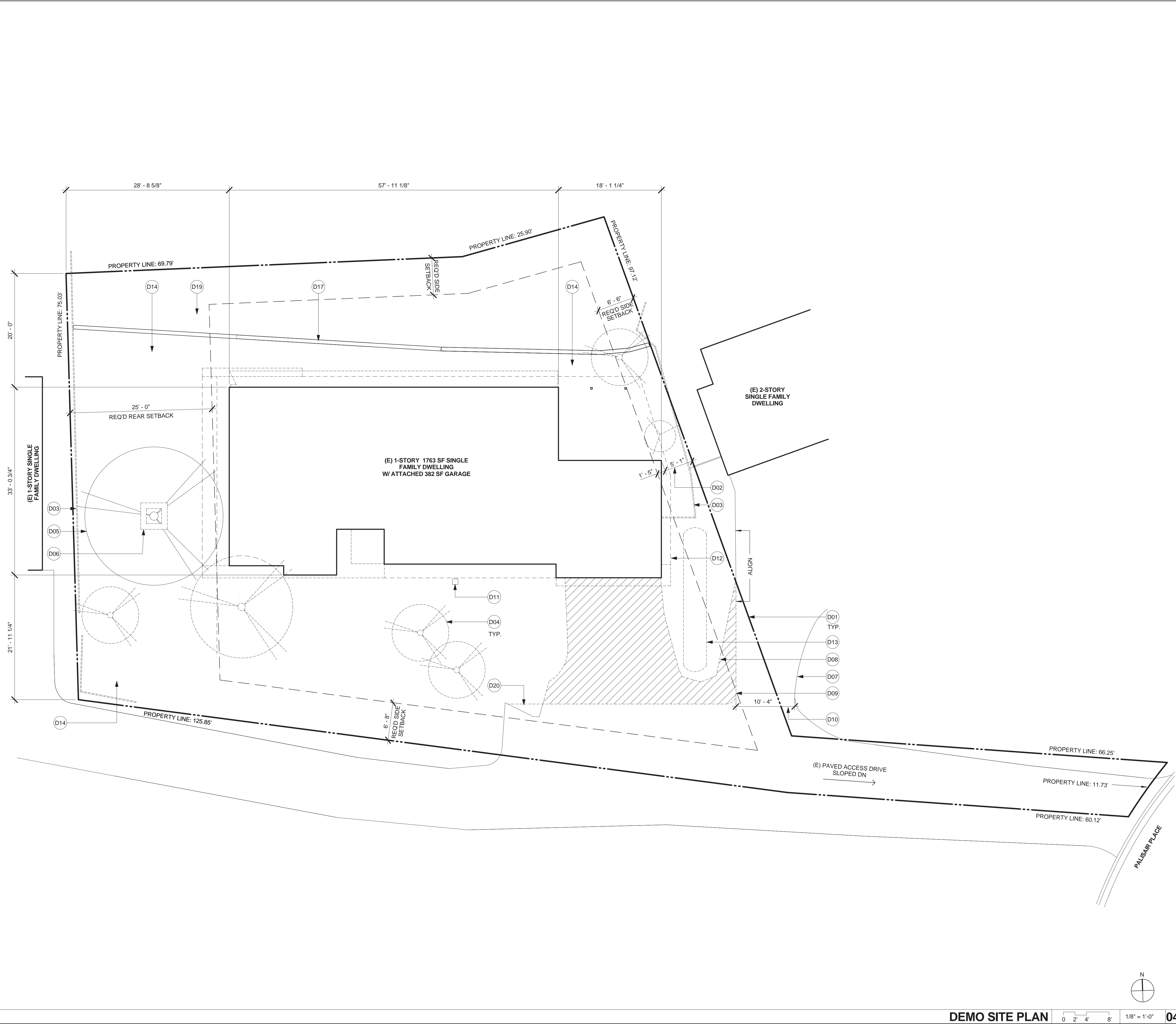
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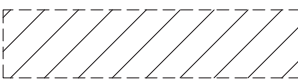

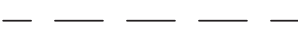

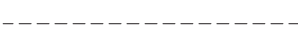


1. G.C. TO COMPLY W/ ALL MUNICIPAL REGULATIONS REGARDING NEIGHBOR NOTIFICATIONS FOR ALL DEMO WORK.
2. G.C. TO COMPLY W/ ALL MUNICIPAL REGULATIONS REGARDING RECYCLING AND APPROPRIATE DISPOSAL OF MATERIALS AS REFERRED TO IN THE GREEN BUILDING PROGRAM.
3. REFER TO (N) CONST REQ'S AND SCOPE TO DETERMINE EXACT DEMO REQ'S AND ADDITIONAL DEMO REQ'D TO INSTALL (N) WORK.
4. PROTECT IN PLACE ALL (E) TREES, PLANTING AND IRRIGATION EXCEPT AS NOTED
5. VERIFY EXTENT OF LANDSCAPE DEMO W/ ARCHITECT AND OWNER.
6. SEE DEMO PLAN ON A1.10 FOR EXTENTS OF ROOF DEMO.
7. SEE A1.00 AND A2.00 FOR UTILITY LOCATIONS.

#### DEMO SITE PLAN NOTES 03

- D01 PROPERTY LINE, TYP  
D02 (E) SETBACK, CORNER OF (E) ATTACHED GARAGE NON-CONFORMING  
D03 REMOVE (E) WD FENCE  
D04 REMOVE (E) TREE AND TREE ROOTS  
D05 (E) TREE TO REMAIN IN PLACE, PROTECT & WATER DURING CONSTRUCTION, PRUNE ROOTS & PROVIDE TEMPORARY FENCING PER ARBORIST'S REC'S  
D06 REMOVE (E) PLANTER  
D07 (E) EAST EXTENT OF NEIGHBOR'S DRIVE  
D08 (E) WEST EXTENT OF NEIGHBOR'S DRIVE  
D09 REMOVE PORTION OF (E) ASPHALT DRIVE IN PREP FOR (N) CONC PAD AT (N) CARPORT AND (N) PLANTING. REGRADE AS REQ'D FOR NEIGHBOR'S ALTERED DRIVEWAY  
D10 MAINTAIN 10'-0" MIN WIDTH CLR AT NEIGHBOR'S DRIVE  
D11 (E) SEWER CLEAN-OUT, PROTECT IN PLACE  
D12 LINE OF (E) ROOF ABV  
D13 REMOVE (E) HEDGES AND ROOTS  
D14 (E) LAWN AREA W/ IRREGULAR ROUND CONC PAVERS. ALL PAVERS TO BE REMOVED, TYP  
D17 (E) BLOCK LANDSCAPE WALL TO REMAIN  
D19 (E) PLANTED AREA, PROTECT IN PLACE  
D20 REMOVE PORTION OF (E) LAWN FOR PATCHING OF ASPHALT

#### DEMO SITE PLAN KEYNOTES 02

-  DEMO'D ASPHALT DRIVE  
 PROPERTY LINE  
 REQ'D SETBACK LINE  
 (E) ROOF OUTLINE  
 DEMO

#### DEMO SITE PLAN LEGEND 01

ARCHITECT

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CONSULTANT

#### DRAWING ISSUE

01	PLAN CHECK SUBMISSION	04.10.15
02	HOA SUBMISSION	04.16.15

#### OWNER/CLIENT

PHILIP AND RACHEL OROSCO

1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272

#### PROJECT

**PALISAIR PLACE  
RESIDENCE**

1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272

PROJECT NO. 14-09

#### DRAWING TITLE.

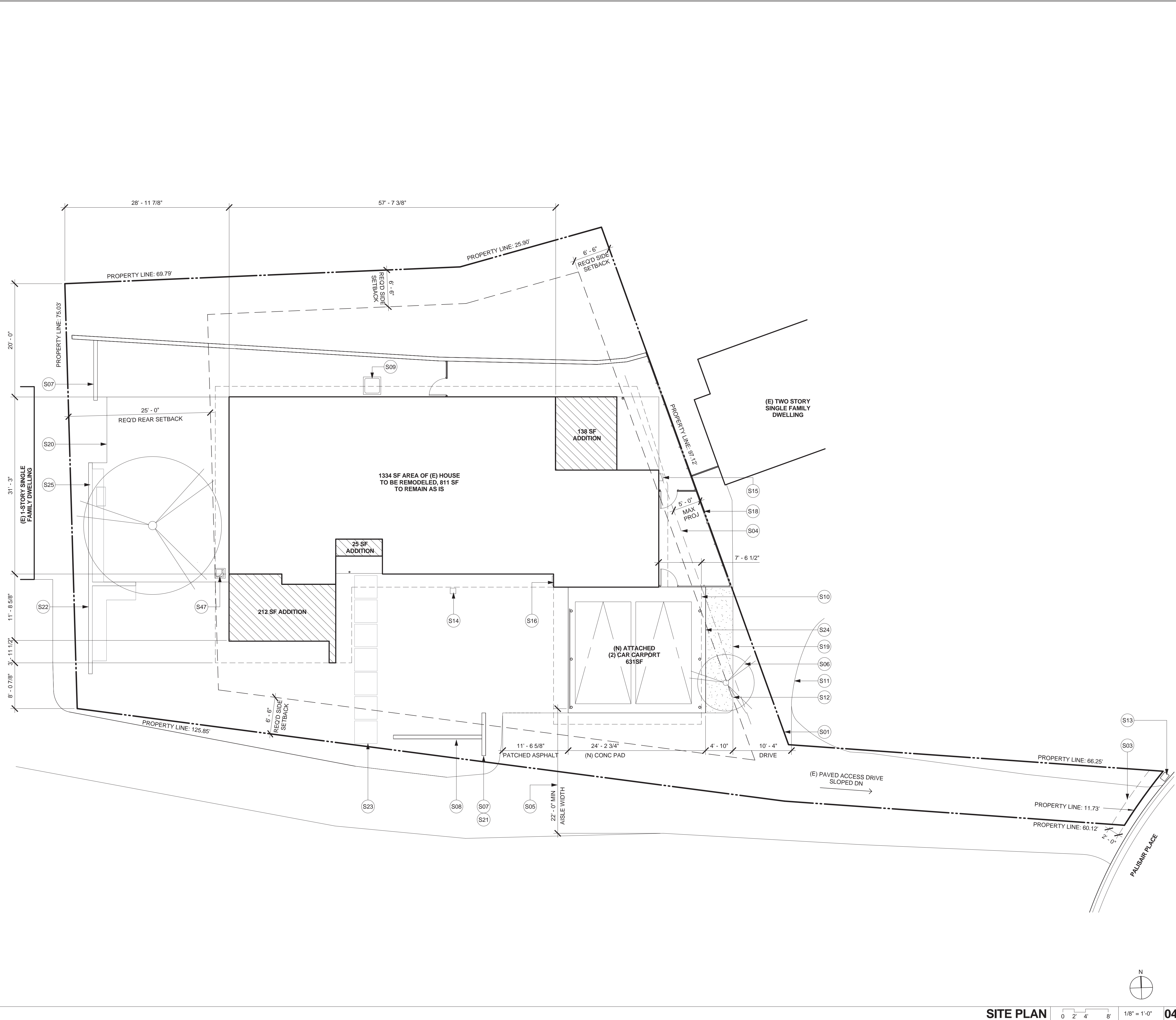
**DEMO SITE PLAN**

#### SHEET NO.

**A0.60**

ISSUE DATE  
HOA SUBMISSION 04.16.15





- LANDSCAPING, PLANTING AND IRRIGATION, N.I.C.
- COORD SITE LIGHTING IN FIELD W/ ARCH
- SEE A2.00 FOR UTILITY LOCATIONS
- GC TO PROVIDE ALL FENCING AND CONCRETE PAVING
- SEE A2.20 FOR ROOF DRAINAGE
- SEE A0.42 FOR SETBACK AND VALUATION DIAGRAMS
- SEE A0.00 FOR PROJECT AND ZONING INFO
- NEAREST FIRE HYDRANT IS 300' AWAY.

SITE PLAN GENERAL NOTES 03

- S01 PROPERTY LINE, TYP.  
S03 DEDICATION TO CITY FOR HILLSIDE STREET  
S04 LINE OF MAX ROOF PROJECTION, PER TABLE R302.1  
S05 MIN AISLE WIDTH FOR 9'-10" WIDE RESIDENTIAL PARKINGS STALLS, PER CITY OF LA PARKING REGULATIONS BULLETIN, TABLE 6  
S06 (N) TREE, NIC  
S07 3'-0" CMU LANDSCAPE WALLS  
S08 2'-0" HIGH CMU LANDSCAPE WALL  
S09 REMOTE AC CONDENSER ON 4" CONCRETE PAD, CARRIER COMFORT SERIES, 5-TON, #24AAA560A003  
S10 LINE OF BLDG OVERHANG ABV, TYP  
S11 (E) EAST EXENT OF NEIGHBOR'S DRIVE  
S12 (N) WEST EXENT OF NEIGHBOR'S DRIVE  
S13 (E) WATER METER  
S14 (E) SEWER CLEANOUT  
S15 (E) GAS METER  
S16 (E) ELEC PANEL & METER  
S18 (N) 6'-0" HIGH WD FENCE, ARCHITECTURAL KNOTTY, ROUGH SAWN 1X6 W/ ECO WOOD TREATMENT ON 2X2 STL POSTS, 4' O.C.  
S19 (N) PLANTING AREA, LANDSCAPING NIC  
S20 (N) PAVED AREA  
S21 (N) ADDRESS NUMBERS AND MAILBOX ON LANDSCAPE WALL  
S22 (N) CMU WALL W/ SEATING  
S23 (N) ENTRY PAVERS TYP.  
S24 (N) 540 SF CONCRETE CARPORT PAD  
S25 PROVIDE 1/2" GAS CONDUIT & 1" POWER CONDUIT TO FUTURE BBQ AREA  
S47 (N) GRAVEL PIT FOR ROOF DRAINAGE, SEE EXT DTLS

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PACIFIC PALISADES, CA 90272

SITE PLAN KEYNOTES 02

- PROJECT
- PALISAIR PLACE RESIDENCE
- 1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272
- PROJECT NO. 14-09
- DRAWING TITLE.
- SITE PLAN
- SHEET NO.
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- ISSUE DATE
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02.28.17  
RENEWAL DATE  
STATE OF CALIFORNIA

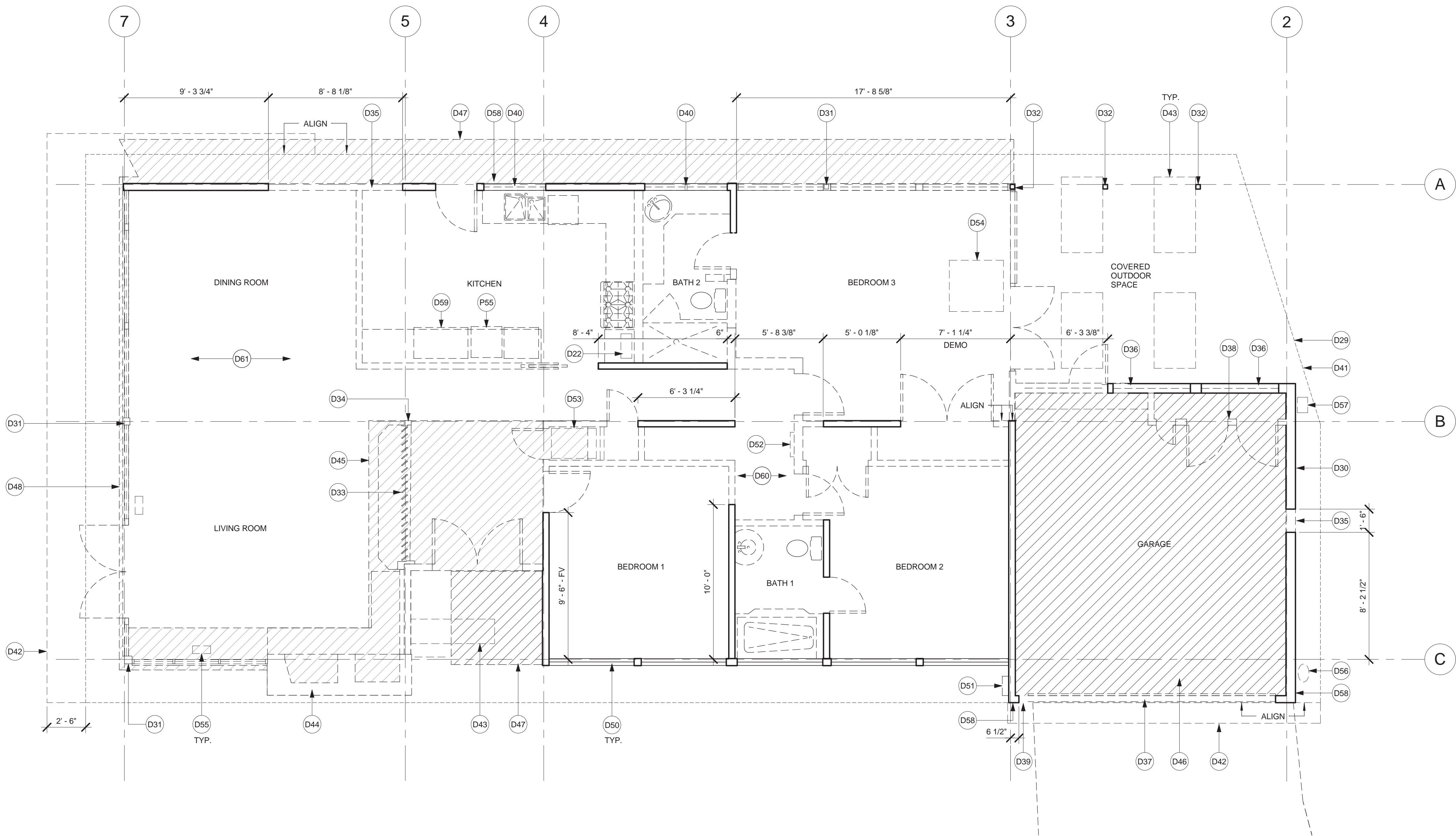
- CONULTANT

DRAWING ISSUE		
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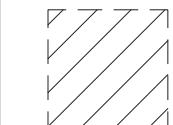
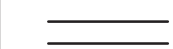
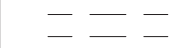


1. G.C. TO COMPLY W/ ALL MUNICIPAL REGULATIONS REGARDING NEIGHBOR NOTIFICATIONS FOR ALL DEMO WORK.
2. G.C. TO COMPLY W/ ALL MUNICIPAL REGULATIONS REGARDING RECYCLING AND APPROPRIATE DISPOSAL OF MATERIALS AS REFERRED TO IN THE GREEN BUILDING PROGRAM.
3. PRIOR TO STARTING DEMO, PROTECT OPENINGS WITH DUST BARRIERS.
4. PROVIDE SHORING AND BRACING AS REQ'D PRIOR TO DEMO OF ANY BEARING WALLS OR STRUCTURAL COLUMNS.
5. REPORT ANY MOLD, DRY ROT OR TERMITE DAMAGE IN WD FRMG MEMBERS TO ARCHITECT & STRUCT ENGINEER.
6. PROTECT IN PLACE ALL (E) STRUCTURE, FINISHES, FIXTURES, EQUIPMENT, ETC. TO REMAIN.
7. REFER TO (N) CONST REQ'S AND SCOPE TO DETERMINE EXACT DEMO REQ'S AND ADDITIONAL DEMO REQ'D TO INSTALL (N) WORK.
8. FIELD VERIFY ALL (E) CONDITIONS INCLUDING STRUCTURE AND UTILITIES TO DETERMINE EXACT LOCATIONS OF SELECTIVE DEMO AND MINIMIZE DEMO & REPAIR.
9. REMOVE ALL (E) TILE, WOOD AND LAMINATE FLOORING IN ALL REMODELED AREA.
10. REMOVE (E) WD BASE AND ANY OTHER MOLDINGS IN ALL REMODELED AREA.
11. REMOVE (E) ELEC OUTLETS & SWITCHES, LIGHT FIXT AND PLUMBING AS REQ'D. CAP OR PATCH & REPAIR AS REQ'D.
12. TEST ALL (E) ELEC OUTLETS & SWITCHES, LIGHT FIXT TO REMAIN AND REPAIR AS REQ'D.
13. REMOVE ALL (E) APPLIANCES AS INDICATED. CAP PLUMBING, GAS & ELEC AS REQ'D.

### DEMOLITON GENERAL NOTES 03

- D22 REMOVE (E) WATER HEATER, CAP GAS & WATER LINES AS REQ'D
- D29 REMOVE ROOFING, GUTTERS AND FASICA BOARDS AT (E) ROOF TO REMAIN IN PREP FOR (N)
- D30 REMOVE (E) STUCCO & LATH, TYP AT ALL EXT WALLS TO REMAIN IN PREP FOR (N) SIDING
- D31 REMOVE (E) STRUCT WD COL. PROVIDE TEMP SUPPORT DURING CONSTRUCTION
- D32 (E) STRUCT WD COL TO REMAIN
- D33 REMOVE (E) WD SLAT DIVIDER AND CABS
- D34 GO TO DETERMINE IF (E) STRUCT COL EXISTS AT ROOM DIVIDER. REMOVE IN PREP FOR (N) STL COL. SSD. PROVIDE TEMP SUPPORT DURING CONSTRUCTION
- D35 PROVIDE OPENING IN (E) EXT WALL FOR (N) WNDW, SSD
- D36 REMOVE (E) UPPER AWNING WNDWS AND INFILL (E) GARAGE WALL
- D37 REMOVE (E) GARAGE DR
- D38 REMOVE (E) CLOSET, UPPER CABS & SHELIVING IN (E) GARAGE. CONFIRM IF ANY RELOCATION OF (E) GAS LINES IS REQ'D
- D39 REMOVE PORTION OF (E) WALL IN PREP FOR (N) WNDW, SSD. SEE A2.00 FOR FLOOR PLAN
- D40 REMOVE (E) WNDW AND INFILL (E) WALL
- D41 LINE OF (E) ROOF ABV
- D42 PORTION OF DEMO'D ROOF ABV
- D43 REMOVE (E) SKYLIGHT. PATCH AND REPAIR T+G ROOF DECK AS REQ'D
- D44 REMOVE BRICK FIREPLACE & SURROUND
- D45 REMOVE PORTION OF (E) CONC SLAB AS INDICATED
- D46 REMOVE SLAB AT (E) GARAGE, (E) THICKENED SLAB EDGE TO REMAIN, SSD
- D47 REMOVE (E) CONC HARDSCAPE AND PAVERS
- D48 CHIP AWAY EXCESS CONCRETE CURB AT (E) WINDOW AND DOOR SILLS AT LIVING ROOM TO PROVIDE FLAT SURFACE TO RECEIVE (N) SLIDING DOORS.
- D50 (E) WINDOWS AT BEDROOM 1, BEDROOM 2 AND BATH 1 TO REMAIN, PROTECT IN PLACE.
- D51 (E) ELEC METER AND PANEL TO REMAIN, PROTECT IN PLACE
- D52 SALVAGE AND RELOCATE (E) ELEC SUBPANEL, SEE FLOOR PLAN ON A2.00
- D53 REMOVE (E) CLOSET HEATER AND ASSOCIATED DUCTWORK AND REGISTERS
- D54 REMOVE (E) CONDENSER UNIT AT ROOF AND ASSOCIATED PLUMB AND ELEC LINES
- D55 COVER ABANDONED FLR REGISTERS AT LIVING ROOM
- D56 REMOVE (E) WATER HEATER, CAP PLUMBING AS REQ'D
- D57 (E) GAS METER TO REMAIN, PROTECT IN PLACE
- D58 REMOVE OR RELOCATE (E) HOSE BIB & CAP PLUMB AS REQ'D
- D59 SALVAGE (E) FREEZER/FRIDGE AND (E) WINE FRIDGE FOR REUSE
- D60 REMOVE (E) GWB CLNG & SOFFIT AT HALLWAY
- D61 STRIP (E) PAINT AT ALL EXPOSED WOOD ROOF STRUCTURE IN PREPARATION FOR NEW WD STAIN. COORDINATE W/ ARCH
- P55 (N) WD SCREEN AT CARPORT - 1X3 STD HORIZ WD SLATS W/ 3/4" GAPS

### DEMO PLAN KEYNOTES 02

-  DEMO'D PORTION OF (E) CONC SLAB OR CONC HARDSCAPE
-  (E) WALL TO REMAIN
-  (E) WALL OR ITEM TO BE DEMOLISHED

### DEMOLITION LEGEND 01

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### DRAWING ISSUE

01	PLAN CHECK SUBMISSION	04.10.15
02	HOA SUBMISSION	04.16.15

### OWNER/CLIENT

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### DRAWING TITLE.

**DEMOLITION PLAN**

### SHEET NO.

**A1.10**

ISSUE	DATE
HOA SUBMISSION	04.16.15

### DEMOLITION FLOOR PLAN 04

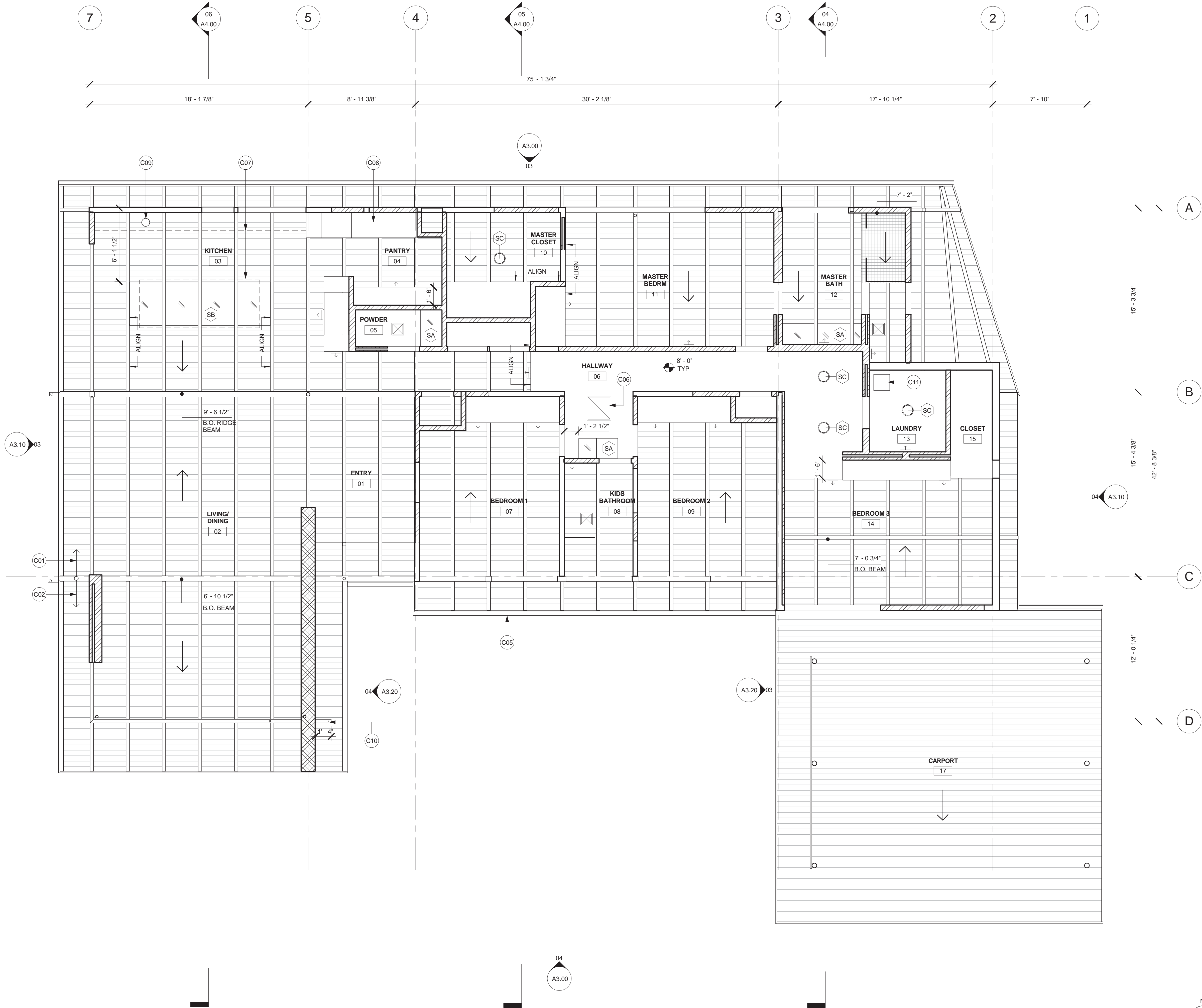
0 1' 2' 4' 1/4" = 1'-0"

### DEMOLITION LEGEND 01









REFLECTED CEILING PLAN

- HVAC REGISTER SUPPLY
- EXHAUST FAN
- NEW TILE
- NEW MASONRY WALL
- NEW 2X STUD WALL
- EXISTING WALL

RCP LEGEND

- CONTRACTOR TO VERIFY ALL CONDITIONS OF EXISTING & PROPOSED WORK IN FIELD PRIOR TO PRODUCING OR INSTALLING SCOPE. NOTIFY ARCHITECT OF ANY SCOPE CONFLICTS W/ (E) CLNG STRUCT, (N) & (E) LIGHT FIXTURES, EXHAUST FANS, ETC.
- ALL DIMS ARE TO F.O. FINISH UNO
- TYP CLNG HEIGHT AT DROPPED CLNGS IS 8'-0" U.N.O.
- CLNG FINISH AT SOFFITED AREAS TO BE PAINTED GWB THROUGHOUT. FLOAT AS REQ'D TO ACHIEVE AN EVEN, UNIFORM FINISH THROUGHOUT.
- SSD FOR ROOF FRAMING PLAN

PROPOSED RCP NOTES

- C01 (E) EXPOSED ROOF STRUCTURE AND T&G CEILING. PATCH AND REPAIR AS REQ'D. STAIN AND SEAL.  
C02 (N) EXPOSED ROOF STRUCTURE AND T&G CEILING. STAIN AND CEAL TO MATCH (E)  
C05 LINE OF GUTTER ABV/  
C06 AIR RETURN THROUGH REMOVABLE MTL GRILL, PTD TO MATCH CEILING  
C07 LINE OF MILLWORK BLW  
C08 FULL HEIGHT MILLWORK  
C09 8" ROUND HOOD EXHAUST TO ROOF  
C10 WELDED HOOK AT STEEL BEAM FOR BIRDHOUSE  
C11 PROVIDE ACCESS PANEL FOR OSCI STEAM SHOWER GENERATOR AT CEILING

PROPOSED RCP KEYNOTES

ARCHITECT

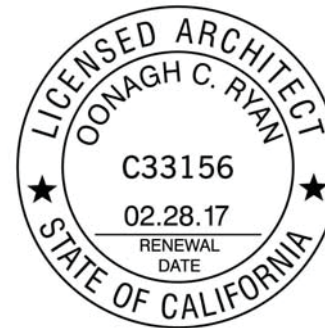
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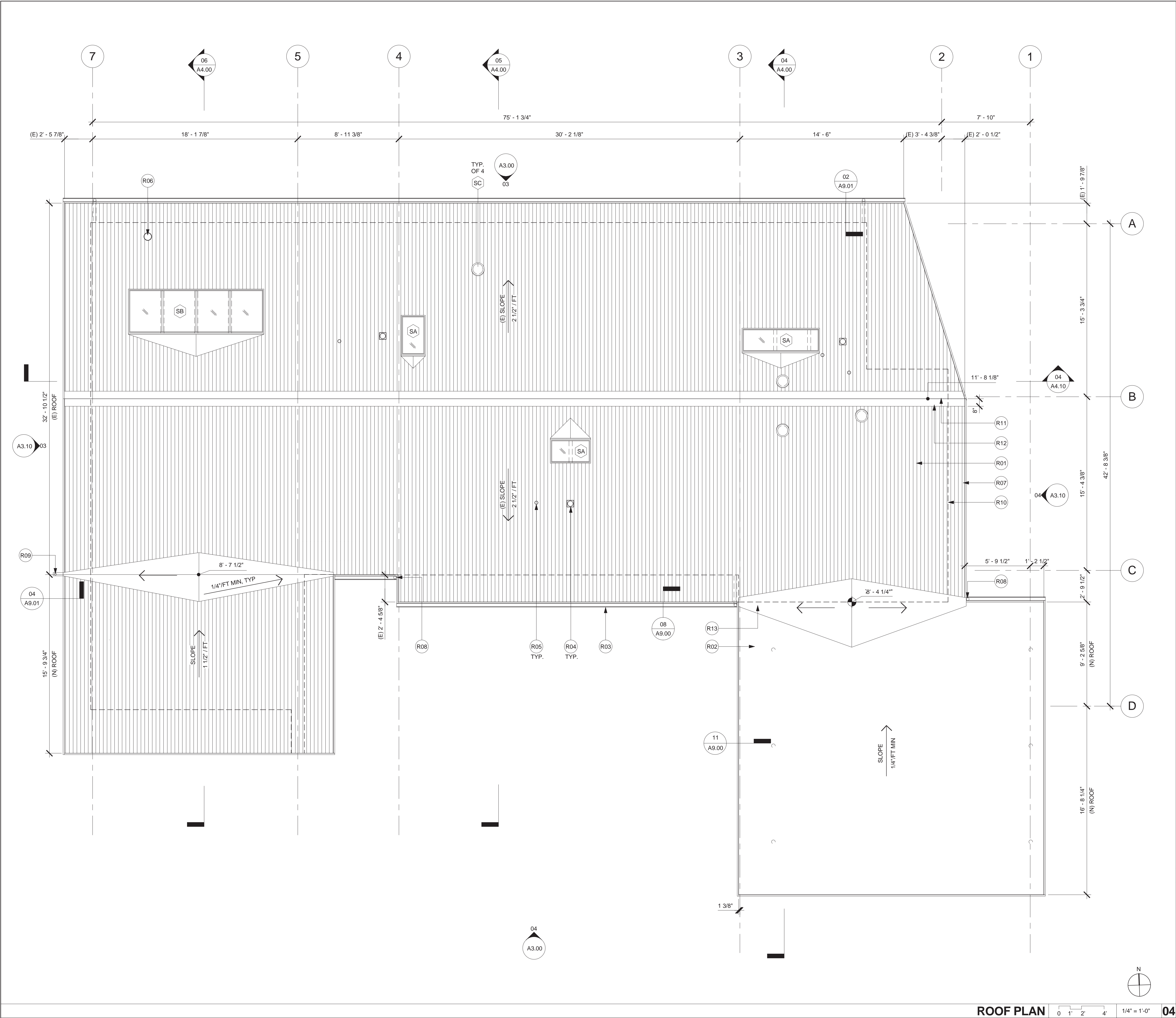
**REFLECTED CEILING  
PLAN**

SHEET NO.

**A2.10**

ISSUE DATE  
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C33156  
02.28.17  
RENEWAL DATE  
STATE OF CALIFORNIA

CONSULTANT

**ROOF PLAN NOTES 03**

R01 MTL ROOF W/ "COOL ROOF" REFLECTIVE COATING: ATAS GRAND C-29 GA 1/2" CONTOUR CORRUGATED ROOF PANELS, SLATE GRAY 20, THERMAL EMITTANCE: 0.83, SOLAR REFLECTANCE: 0.35, SRI: 35.0

R02 GLASS A "COOL ROOF" BUILT-UP MEMB: FIRESTONE SBS FR TORCH (WHITE)

R03 4"x4" BONDORIZED MTL BOX GUTTER, SLOPE TO DS

R04 MECH EXH VENT, VERIFY LOCATION IN FIELD W/ARCH

R05 PLUMBING VENT, VERIFY LOCATION IN FIELD W/ ARCH

R06 KITCHEN HOOD EXHAUST

R07 2X STD WD FASCIA BD W/ SHT MTL GRAVEL STOP

R08 SURFACE-MOUNTED DOWNSPOUT, SEE ELEV

R09 BOX GUTTER W/ RAIN CHAIN AND GRAVEL PIT BELOW, SEE EXT DTLS

R10 LINE OF BLDG BLW

R11 RIDGE BEAM BLW

R12 SHT MTL RIDGE CAP

R13 SHT MTL CRICKET, TYP

**ROOF PLAN KEYNOTES 02**

01 SEE A8.00 FOR SKYLIGHT SIZES, SPECS & APPROVALS

02 FASTENERS FOR ROOF COVERING SHALL COMPLY WITH SECTIONS 1507.3.6 OF THE CBC.

03 PROVIDE (N) FLASHINGS AT ALL ROOF PENETRATIONS, TRANSITIONS & TERMINATIONS AS REQ'D.

04 PROVIDE POSITIVE ROOF DRAINAGE (2% MIN) AND ROOF SCUPPERS, OVERFLOWS OR DOWNSPOUTS AT EACH LOW POINT OF THE ROOF.

05 CONNECT ALL ROOF DRAINAGE TO SITE DRAINAGE AS REQ'D.

06 VERIFY LOCATIONS OF (E) PLUMBING & MECHANICAL VENT TERMINATIONS. WHERE POSSIBLE, TIE (N) SYSTEMS INTO (E) VENT TERMINATIONS. PROVIDE (N) VENT FLASHING SYSTEMS AS REQ'D AS PART OF (N) ROOF INSTALLATION.

**ROOF PLAN KEYNOTES 02**

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DRAWING ISSUE

01	PLAN CHECK SUBMISSION	04.10.15
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DRAWING TITLE.

**ROOF PLAN**

SHEET NO.

**A2.20**

ISSUE DATE

HOA SUBMISSION 04.16.15

**ROOF PLAN**

0 1' 2' 4' 1/4" = 1'-0"

**04**

**ROOF LEGEND 01**

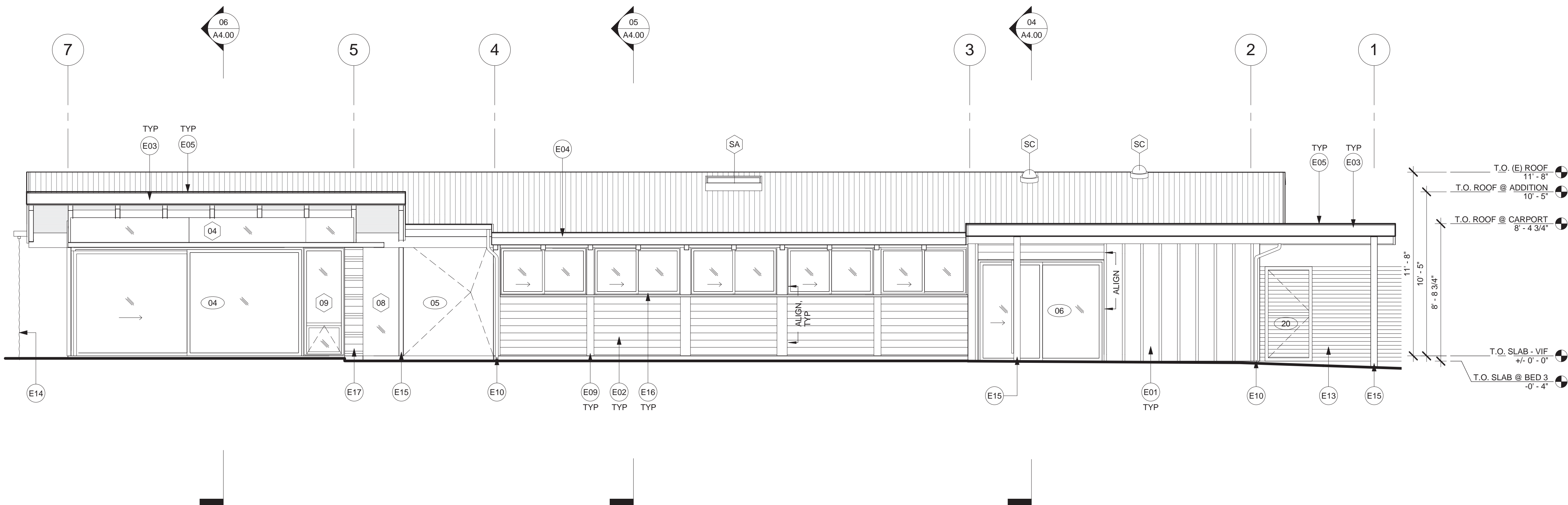
○ PLUMBING VENT

□ EXHAUST FAN

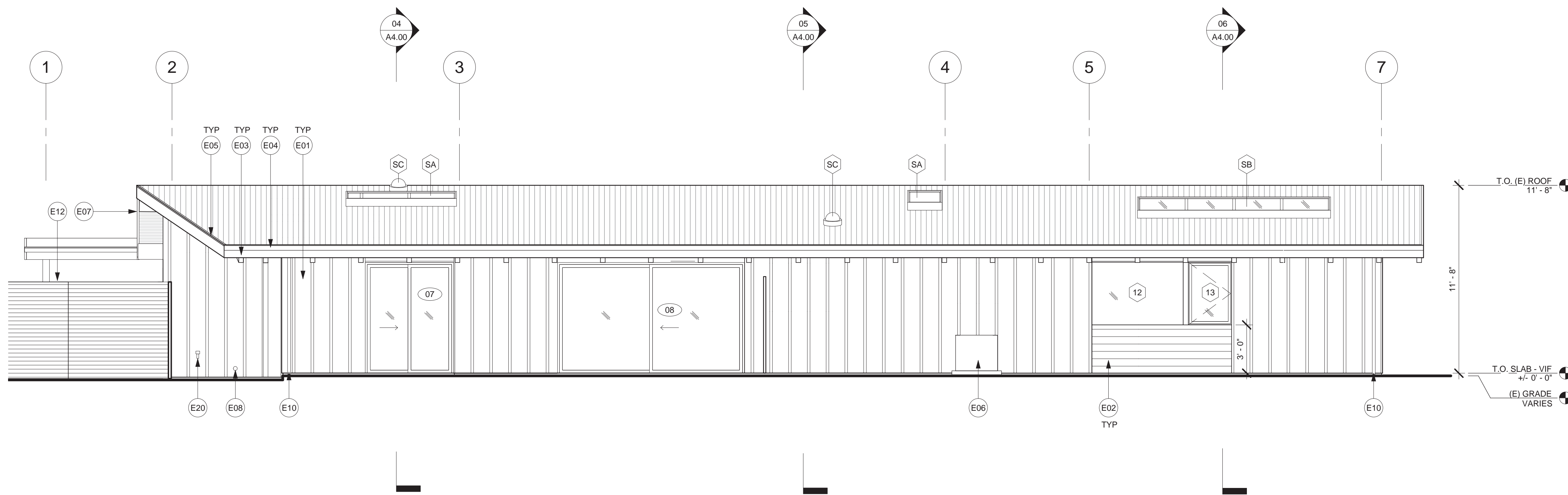
○ KITCHEN HOOD EXHAUST

--- LINE OF BLDG BELOW





SOUTH ELEVATION 0 1' 2' 4' 1/4" = 1'-0" 04



NORTH ELEVATION 0 1' 2' 4' 1/4" = 1'-0" 03

- SEE A8.00 FOR DOOR, WINDOW & SKYLIGHT SIZES, SPECS & APPROVALS.
- PROVIDE (N) FLASHINGS AT ALL (N) WINDOWS & DOORS AND WALL PENETRATIONS AS REQ'D FOR PROPER INSTALLATION.
- SEE A9.30 FOR WALL TYPES, A9.31 FOR CEILING AND ROOF TYPES

ELEVATION NOTES 02

- E01 STD VERTICAL BOARD + BATTON WD SIDING  
E02 1X6 HORIZONTAL WD SIDING  
E03 STD WD FASCIA  
E04 4"x4" BONDARIZED GUTTER  
E05 BONDARIZED SHEET METAL FLASHING  
E06 REMOTE AC CONDENSING UNIT ON 4" CONC PAD, SEE SITE PLAN ON A1.00  
E07 LINE OF ROOF SLOPE BYND  
E08 CLOTHES DRYER VENT, DUCT TO BE 4" Ø SMOOTH MTL PER CMC 504.3.2  
E09 1X STD WOOD TRIM BETWEEN (E) WNDWS  
E10 DOWNSPOUT, CONNECT TO BELOW-GRADE SITE DRAINAGE  
E12 (E) GAS METER  
E13 WD FENCE, SEE SITE PLAN ON A1.00  
E14 RAIN CHAIN, SEE SHEET A9.01  
E15 CLR SLD STL COLUMN, SSD  
E16 (E) WD WINDOWS AND SILL, PTD TO MATCH (N) WD FIN  
E17 (N) BRD FORMED CONC WALL  
E20 (N) HOSE BIB

ELEVATION KEYNOTES 01

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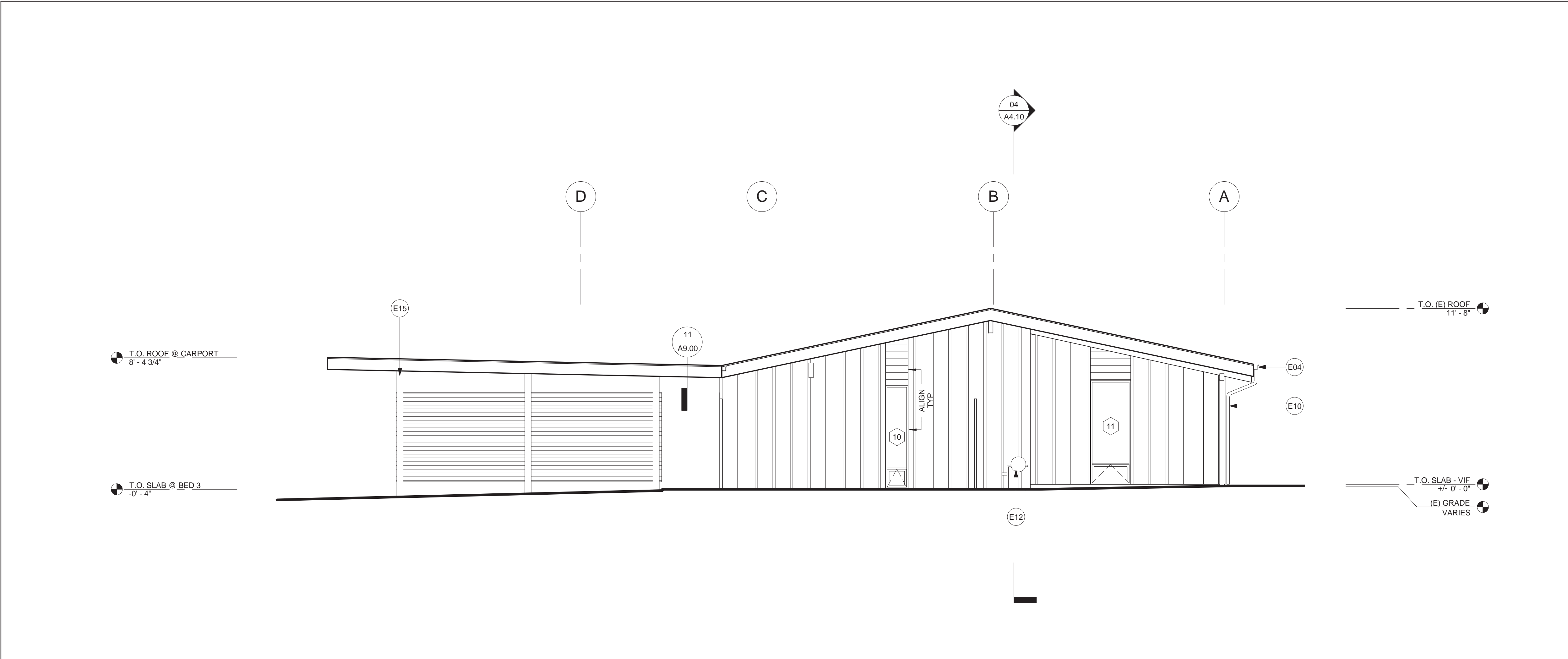
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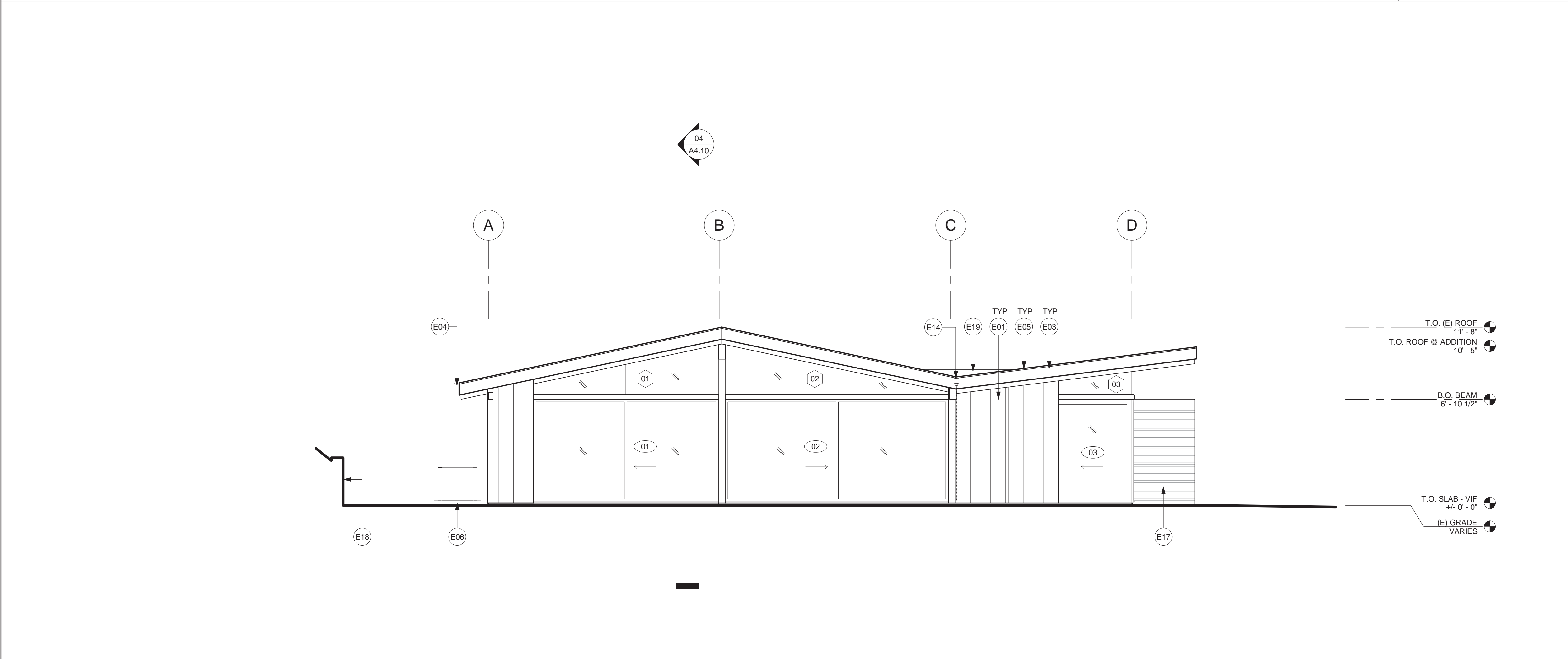
**A3.00**

ISSUE DATE  
HOA SUBMISSION 04.16.15





EAST ELEVATION 0 1' 2' 4' 1/4" = 1'-0" 04



WEST ELEVATION 0 1' 2' 4' 1/4" = 1'-0" 03

ARCHITECT

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OONAGH C. RYAN  
C33156  
02.28.17  
RENEWAL DATE  
STATE OF CALIFORNIA

CONSULTANT

1. SEE A8.00 FOR DOOR, WINDOW & SKYLIGHT SIZES, SPECS & APPROVALS.

2. PROVIDE (N) FLASHINGS AT ALL (N) WINDOWS & DOORS AND WALL PENETRATIONS AS REQ'D FOR PROPER INSTALLATION.

3. SEE A9.30 FOR WALL TYPES, A9.31 FOR CEILING AND ROOF TYPES

ELEVATION NOTES 01

E01 STD VERTICAL BOARD + BATTON WD SIDING  
E03 STD WD FASCIA  
E04 4"x4" BONDARIZED GUTTER  
E05 BONDARIZED SHEET METAL FLASHING  
E06 REMOTE AC CONDENSING UNIT ON 4" CONC PAD, SEE SITE PLAN ON A1.00  
E10 DOWNSPOUT, CONNECT TO BELOW-GRADE SITE DRAINAGE  
E12 (E) GAS METER  
E14 RAIN CHAIN, SEE SHEET A9.01  
E15 CLR SLD STL COLUMN, SSD  
E17 (N) BRD FORMED CONC WALL  
E18 (E) BLOCK LANDSCAPE WALL TO REMAIN  
E19 SHT MTL CRICKET, SEE ROOF PLAN ON A2.20

OWNER/CLIENT

PHILIP AND RACHEL OROSCO

1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272

PROJECT

PALISAIR PLACE  
RESIDENCE

1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272

PROJECT NO. 14-09

DRAWING TITLE.

ELEVATIONS

SHEET NO.

**A3.10**

ISSUE DATE  
HOA SUBMISSION 04.16.15



ARCHITECT

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- SEE A8.00 FOR DOOR, WINDOW & SKYLIGHT SIZES, SPECS & APPROVALS.
- PROVIDE (N) FLASHINGS AT ALL (N) WINDOWS & DOORS AND WALL PENETRATIONS AS REQ'D FOR PROPER INSTALLATION.
- SEE A9.30 FOR WALL TYPES, A9.31 FOR CEILING AND ROOF TYPES

DRAWING ISSUE		
01	PLAN CHECK SUBMISSION	04.10.15
02	HOA SUBMISSION	04.16.15

ELEVATION NOTES 02

- E03 STD WD FASCIA  
E04 4"x4" BONDARIZED GUTTER  
E05 BONDARIZED SHEET METAL FLASHING  
E10 DOWNSPOUT, CONNECT TO BELOW-GRADE SITE DRAINAGE  
E11 ELEC RECESSED ELEC METER AND PANEL  
E15 CLR SLD STL COLUMN, SSD  
E17 (N) BRD FORMED CONC WALL  
E19 SHT MTL CRICKET, SEE ROOF PLAN ON A2.20  
E22 (N) CONC PAD AT ENTRY, SEE FLOOR PLAN ON A2.00

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14-09

DRAWING TITLE.

ELEVATIONS

SHEET NO.

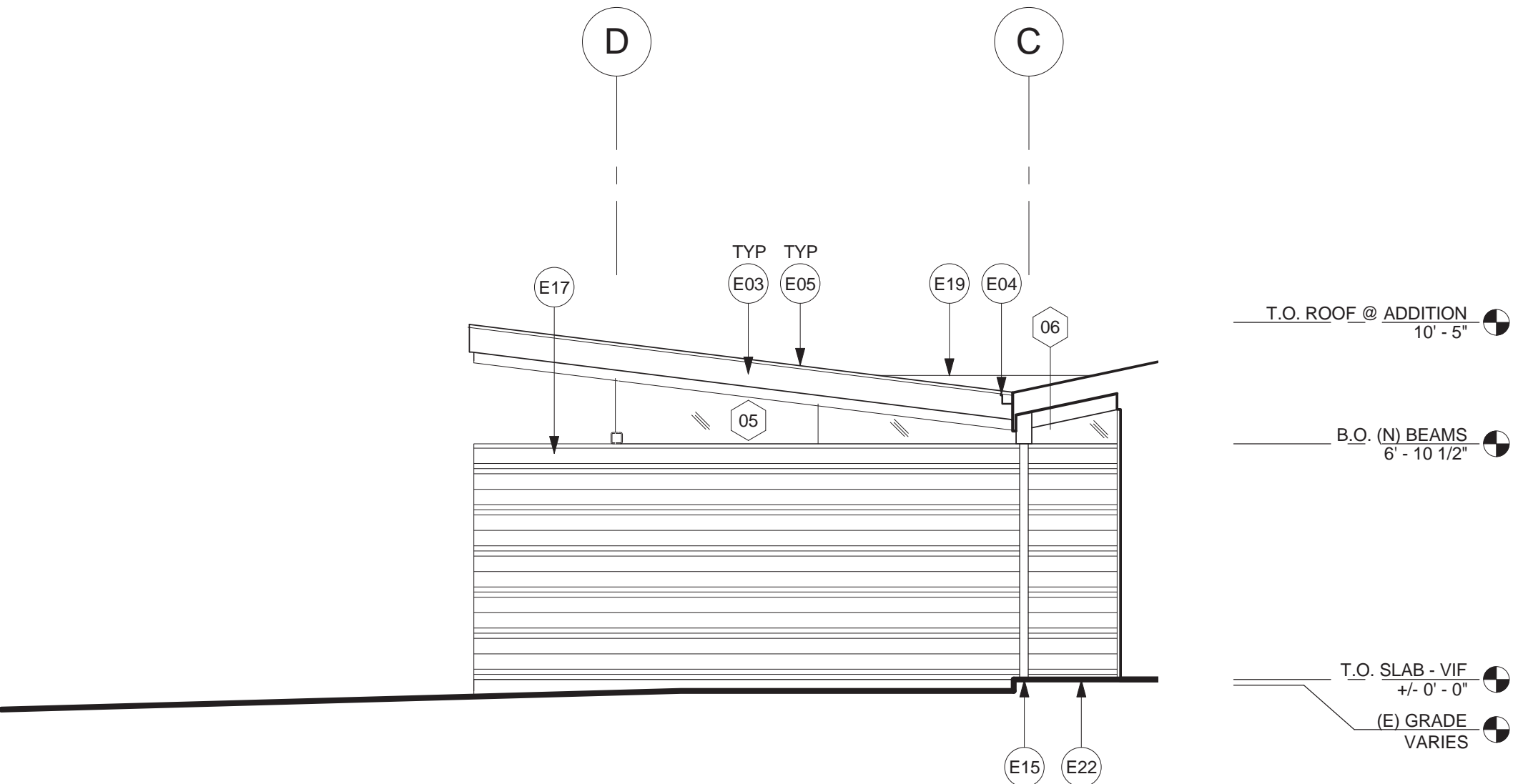
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ISSUE

DATE

HOA SUBMISSION

04.16.15

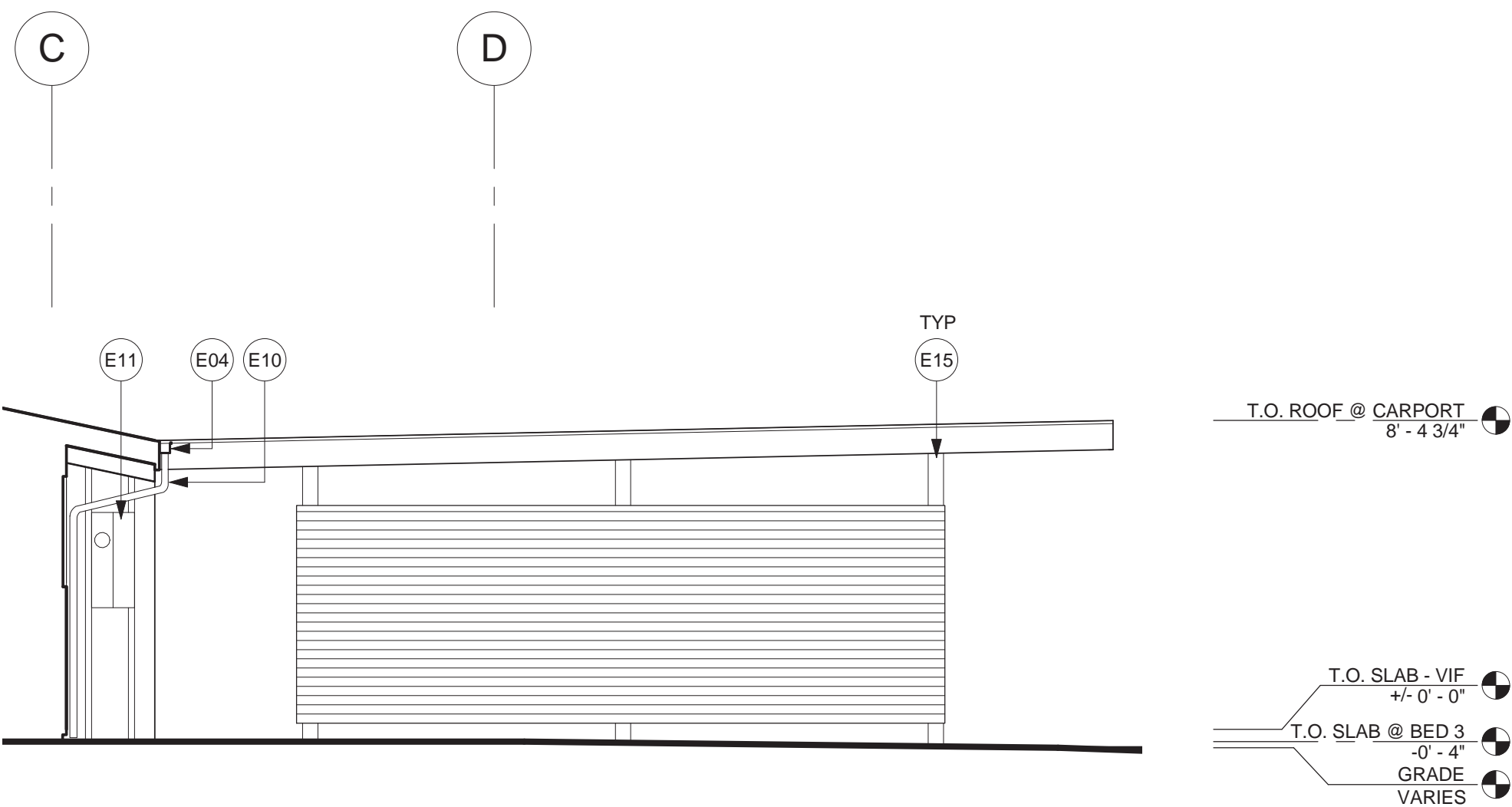


EAST ENTRY

0 1' 2' 4'

1/4" = 1'-0"

04



WEST CARPORT

0 1' 2' 4'

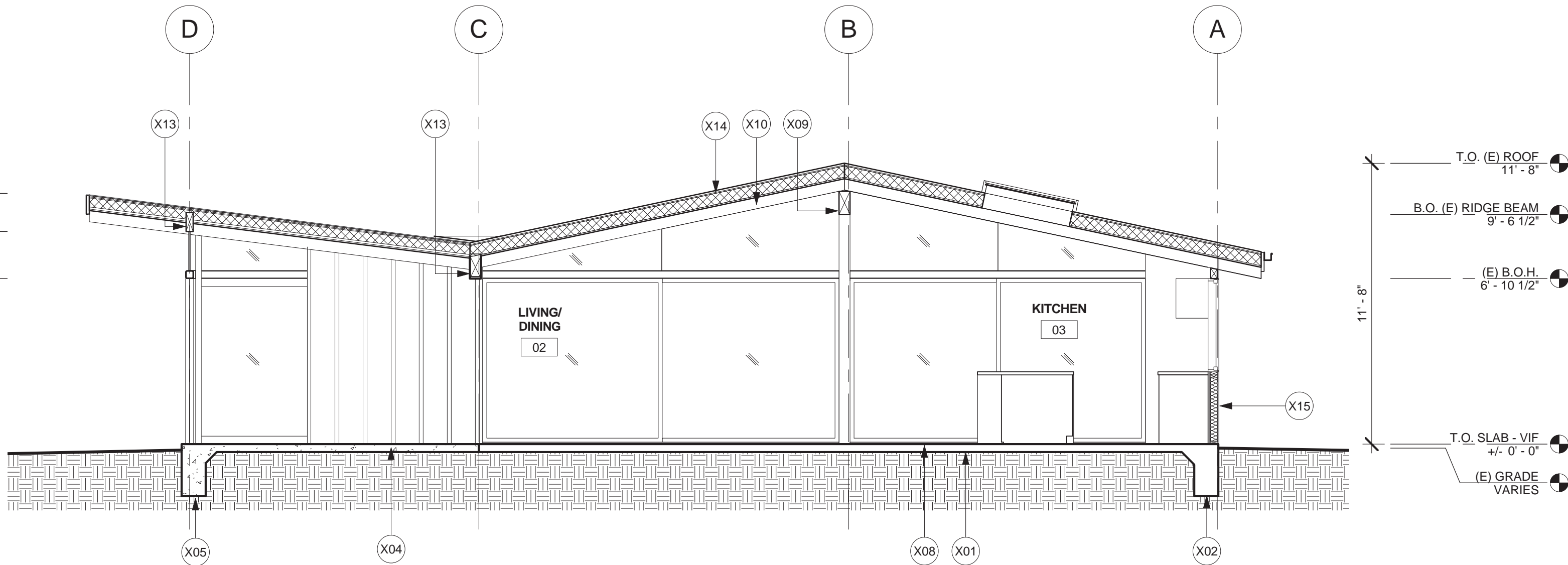
1/4" = 1'-0"

03

ELEVATION KEYNOTES 01



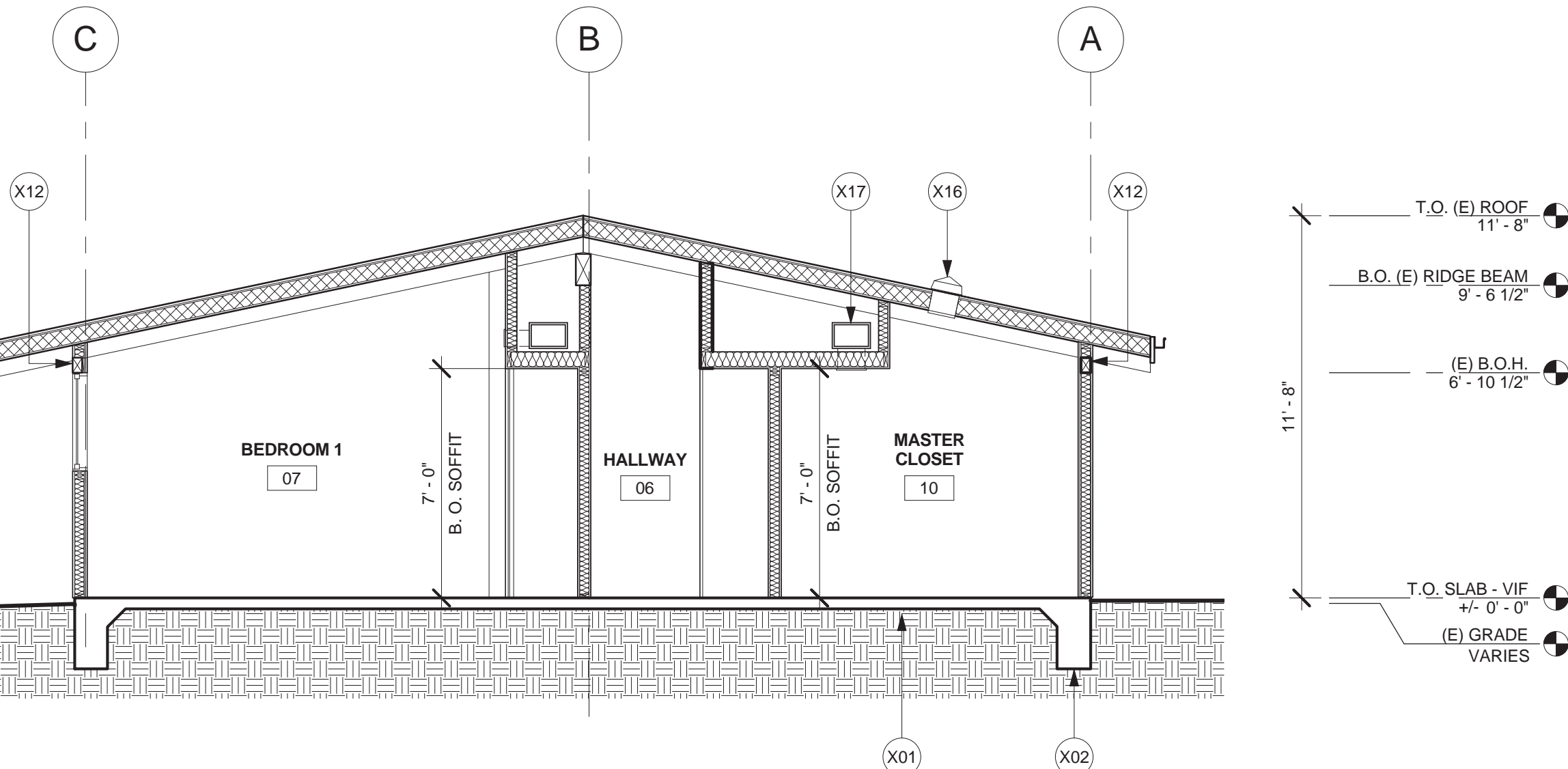
- T.O. ROOF @ ADDITION  
10'-5"
- B.O. (N) HEADER  
8'-10"
- B.O. BEAM  
6'-10 1/2"



SECTION C

0 1' 2' 4' 1/4" = 1'-0"

06

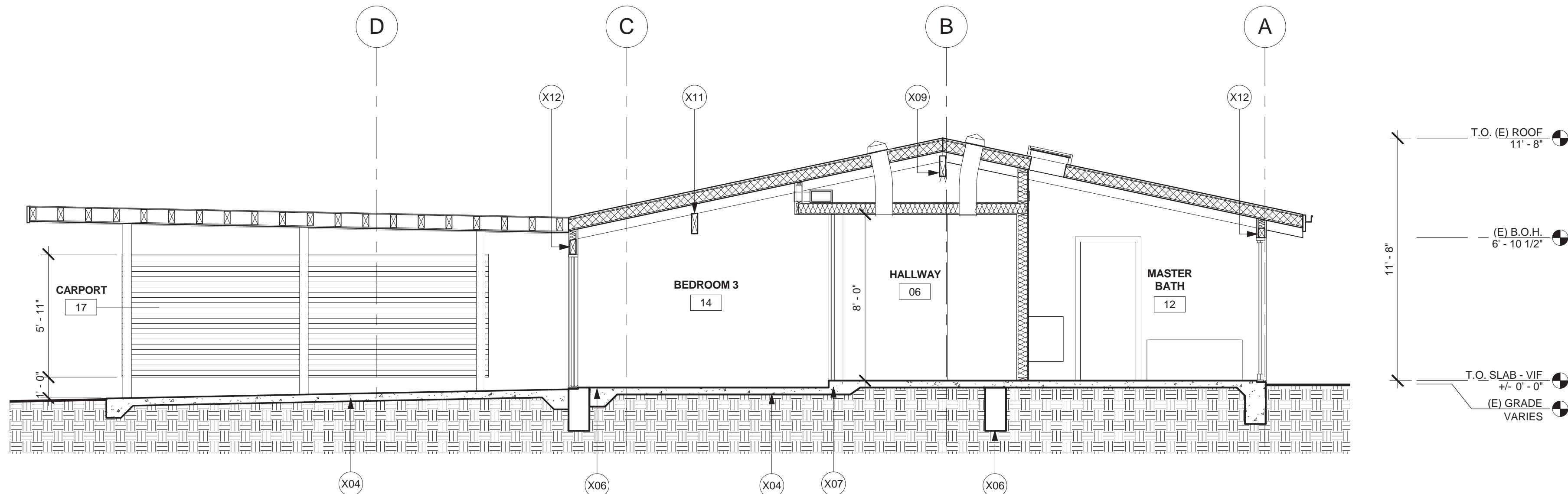


SECTION B

0 1' 2' 4' 1/4" = 1'-0"

05

- T.O. ROOF @ CARPORT  
8'-4 3/4"
- T.O. SLAB @ BED 3  
-0'-4"



SECTION A

0 1' 2' 4' 1/4" = 1'-0"

04

- SEE A8.00 FOR DOOR, WINDOW & SKYLIGHT SIZES, SPECS AND APPROVALS
- ALL HABITAT ROOMS TO HAVE A CLNG HEIGHT OF 7'-6" MIN. SOFFITS FOR HVAC DUCTWORK TO BE 7'-0".

SECTION NOTES 03

- X01 (E) CONC SLAB ON GRADE  
X02 (E) CONC FOOTING, TYP.  
X04 (N) CONC SLAB ON GRADE, SSD  
X05 (N) CONC FOOTING, TYP.  
X06 (E) CONC FOOTING TO REMAIN AT GARAGE, SSD  
X07 4" CONC STEP AT BEDROOM 3, SSD  
X08 SEE FLR TYPES FOR FLOOR FINISH. ALL (E) FLOORING TO BE REMOVED THROUGHOUT.  
X09 (E) RIDGE BEAM  
X10 (E) 4X6 WD RAFTERS  
X11 (E) ROOF BEAM  
X12 (E) WD HEADER  
X13 (N) ROOF BEAM, SSD  
X14 (N) ROOF INSULATION AND ROOFING PER T24 REQ'S, SEE A9.31 FOR ROOF ASSEMBLY  
X15 (N) WALL INSULATION PER T24 REQ'S AT EXISTING AND NEW EXTERIOR WALLS, SEE A9.30 FOR WALL TYPES  
X16 (N) SOLOTUBE, SEE A8.00 FOR SPEC  
X17 (N) HVAC DUCTWORK AT (N) SOFFITS

ARCHITECT

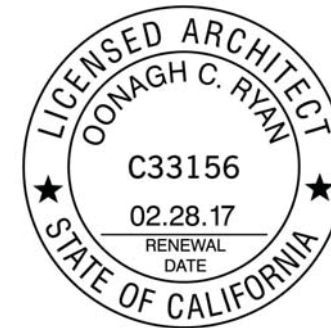
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DRAWING ISSUE

ISSUE	DESCRIPTION	DATE
01	PLAN CHECK SUBMISSION	04.10.15
02	HOA SUBMISSION	04.16.15

OWNER/CLIENT

PHILIP AND RACHEL OROSCO

1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272

PROJECT

**PALISAIR PLACE  
RESIDENCE**

1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272

PROJECT NO. 14-09

DRAWING TITLE.

**SECTIONS**

SECTION KEYNOTES 02

(N) CONC SLAB

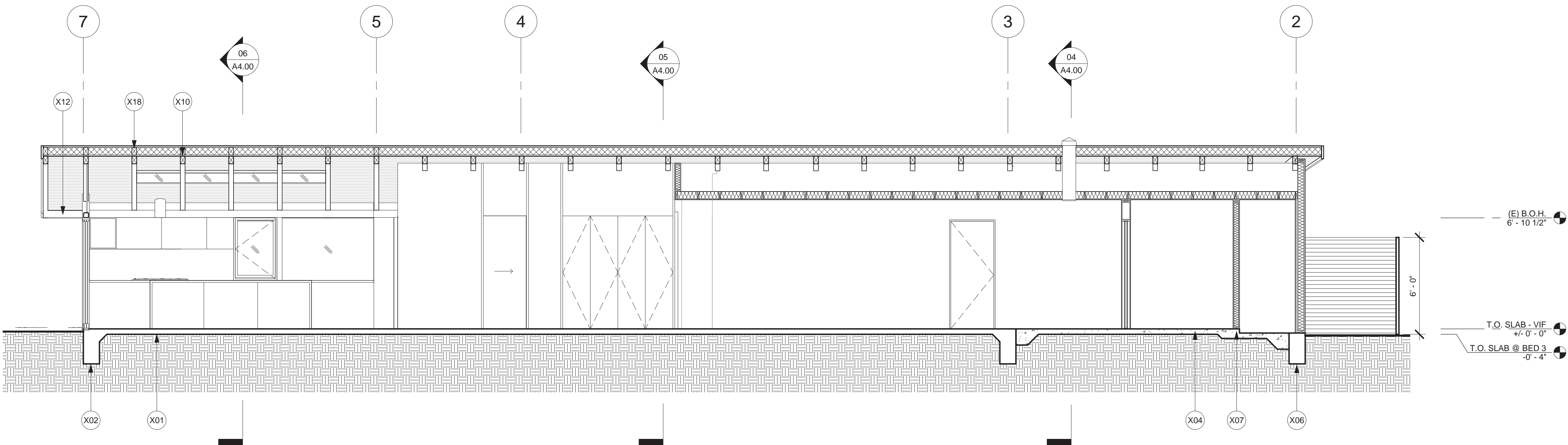
SHEET NO.

**A4.00**

ISSUE DATE  
HOA SUBMISSION 04.10.15

SECTION LEGEND 01





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OONAGH C. RYAN

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RENEWAL DATE

STATE OF CALIFORNIA

CONSULTANT

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2. ALL HABITAT ROOMS TO HAVE A CLNG HEIGHT OF 7'-6" MIN. SOFFITS FOR HVAC DUCTWORK TO BE 7'-0".

DRAWING ISSUE

01	PLAN CHECK SUBMISSION	04.10.15
02	HOA SUBMISSION	04.16.15

SECTION NOTES 03

X01 (E) CONC SLAB ON GRADE  
X02 (E) CONC FOOTING, TYP.  
X04 (N) CONC SLAB ON GRADE, SSD  
X06 (E) CONC FOOTING TO REMAIN AT GARAGE, SSD  
X07 4" CONC STEP AT BEDROOM 3, SSD  
X10 (E) 4X6 WD RAFTERS  
X12 (E) WD HEADER  
X18 (N) 4X6 WD MEMBERS WHERE REQ'D AT (E) ROOF, SSD

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SECTIONS

SECTION KEYNOTES 02

(N) CONC SLAB

SECTION LEGEND 01

SHEET NO.

A4.10

ISSUE

DATE

HOA SUBMISSION

04.16.15

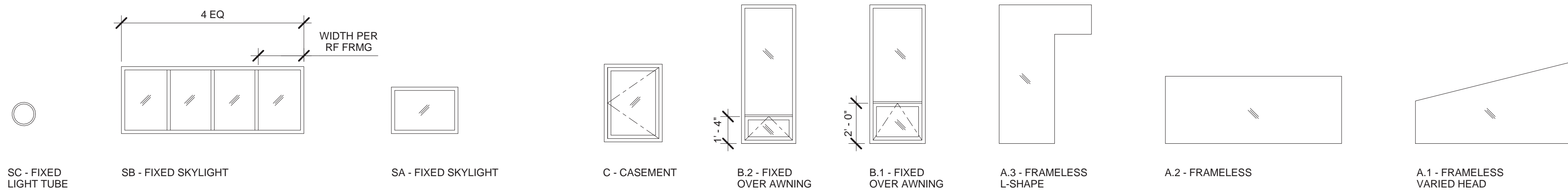


### WINDOW SCHEDULE

		WINDOW				FRAME		GLAZING		HARDWARE		DETAILS				REMARKS
WNDW #	ROOM	TYPE	WIDTH	HEIGHT	AREA	MATERIAL	FINISH	TYPE	SAFETY	SECURITY	SCRN	HEAD	JAMB	SILL		
01	KITCHEN	A.1	12' - 4"	VARIABLES VIF	25 SF	-	-	T2	-	-	-	05/A9.40	07/A9.40	05/A9.40	L-SHAPE AT ENTRY DOOR, VERIFY DIMS IN FIELD	
02	LIVING/DINING	A.1	14' - 10 5/8"	VARIABLES VIF	26 SF	-	-	T2	-	-	-	05/A9.40	07/A9.40	05/A9.40		
03	LIVING/DINING	A.1	5' - 0 8/8"	VARIABLES VIF	6 SF	-	-	T2	-	-	-	SIM 05/A9.40	SIM 07/A9.40	SIM 05/A9.40		
04	LIVING/DINING	A.2	17' - 10 5/8"	1' - 6 7/8"	35 SF	-	-	T2	-	-	-	SIM 05/A9.40	SIM 07/A9.40	SIM 05/A9.40		
05	LIVING/DINING	A.1	11' - 8 7/8"	VARIABLES VIF	14 SF	-	-	T2	-	-	-	SIM 05/A9.40	SIM 07/A9.40	SIM 05/A9.40		
06	ENTRY	A.1	11' - 9 3/8"	VARIABLES VIF	2 SF	-	-	T2	-	-	-	SIM 05/A9.40	SIM 07/A9.40	SIM 05/A9.40		
08	ENTRY	A.3	1' - 7 1/4"	7' - 11"	23 SF	-	-	T2	-	-	-	-	01/A9.40	-		
09	LIVING/DINING	B.1	2' - 7 1/2"	6' - 10 1/2"	18 SF	ALUM	MANUF	T1	Y	Y	-	SIM 02/A9.41	SIM 01/A9.41	SIM 02/A9.41		
10	BEDROOM 3	B.2	1' - 6"	6' - 10 1/2"	10 SF	ALUM	MANUF	T1	Y	Y	Y	02/A9.41	01/A9.41	02/A9.41		
11	MASTER BATH	B.2	2' - 8"	6' - 10 1/2"	18 SF	ALUM	MANUF	T1	Y	Y	Y	SIM 02/A9.41	SIM 01/A9.41	SIM 02/A9.41		
12	KITCHEN	A.2	5' - 8"	3' - 11"	22 SF	ALUM	MANUF	T1	-	Y	Y	05/A9.41	04/A9.41	05/A9.41		
13	KITCHEN	C	2' - 8 1/2"	3' - 11"	10 SF	-	-	T1	-	-	-	-	04/A9.41	-		

### SKYLIGHT SCHEDULE

		WINDOW				FRAME		GLAZING		HARDWARE		DETAILS			
WNDW	ROOM	TYPE	WIDTH	HEIGHT	AREA	MATERIAL	FINISH	TYPE	SAFETY	SECURITY	SCREEN	HEAD	JAMB	SILL	REMARKS
-	HALLWAY	SA	3' - 1"	1' - 10 1/4"	8 SF	ALUM	FACT	SIM T1	Y	-	-	SIM 06/A9.00	-	SIM 06/A9.00	
-	POWDER	SA	3' - 1"	1' - 10 1/4"	8 SF	ALUM	FACT	SIM T1	Y	-	-	SIM 06/A9.00	-	SIM 06/A9.00	
-	KITCHEN	SB	12' 0"	4' 0"	48 SF	ALUM	FACT	SIM T1	Y	-	-	06/A9.00	-	06/A9.00	
-	LAUNDRY	SC	10" DIAM	10" DIAM	8 SF	MANUF	FACT	ACRYLIC	-	-	-	-	-	-	CUSTOM SIZE
-	MASTER BATH	SA	6' - 7 1/4"	1' - 8"	15 SF	ALUM	FACT	SIM T1	Y	-	-	06/A9.00	-	06/A9.00	CUSTOM SIZE
-	HALLWAY	SC	10" DIAM	10" DIAM	6 SF	MANUF	FACT	ACRYLIC	-	-	-	-	-	-	
-	HALLWAY	SC	10" DIAM	10" DIAM	6 SF	MANUF	FACT	ACRYLIC	-	-	-	-	-	-	
-	MASTER CLOSET	SC	10" DIAM	10" DIAM	6 SF	MANUF	FACT	ACRYLIC	-	-	-	-	-	-	



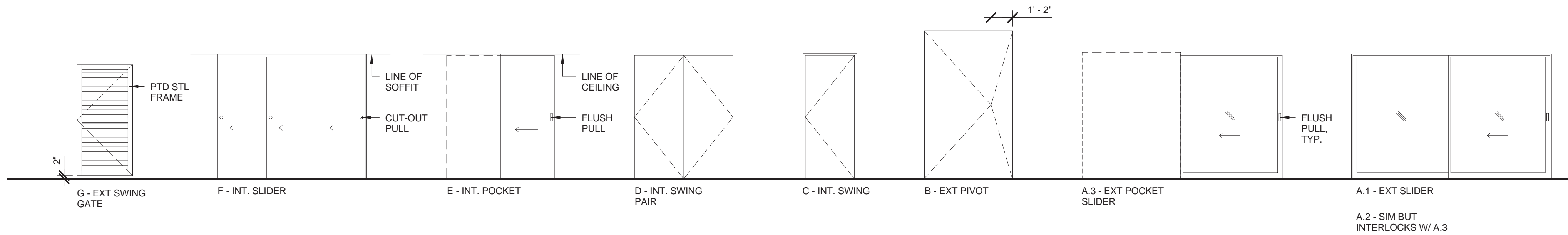
## WINDOW SCHEDULE AND TYPES 05

## WIN SCHEDULE NOTES 0

1. THIS SCHEDULE IS INTENDED AS A GUIDE ONLY. CONTRACTOR TO FIELD VERIFY ALL OPENINGS PRIOR TO PLACING ORDER.
2. VERIFY CENTERLINES ALIGN W/ STRUCTURAL MEMBERS PER ELEV. MANUF TO PROVIDE DEALER DWGS.
3. COORD HEAD/JAMB DIMS W/ WALL THICKNESS
4. ALL GLAZING TO BE SAFETY PER CBC SECTION 2406
5. GLAZING THICKNESS ARE REQ'D BY THE GLAZING CONTRACTOR OR MANUF. REGS.
6. PROVIDE LOW-E GLAZING TO MEET ENERGY REQUIREMENTS OF TITLE 24 REPORT.
7. PROVIDE HARDWARE AS REQ'D FOR A FULLY

01	PLAN CHECK SUBMISSION	04.10.15
02	HOA SUBMISSION	04.16.15

## DOOR SCHEDULE

[illegible]

## DOOR SCHEDULE AND TYPES 04

## DR SCHEDULE NOTES 01

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## DRAWING ISSUE

01	PLAN CHECK SUBMISSION	04.10.15
02	HOA SUBMISSION	04.16.15

OWNER/CLIENT

PHILIP AND RACHEL OROSCO

1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272

PROJECT

# PALISAIR PLACE RESIDENCE

1085 PALISAIR PLACE  
PACIFIC PALISADES, CA 90272

PROJECT NO.

14-09

DRAWING TITLE

## DOOR & WINDOW SCHEDULES

SHEET NO.

**A8.00**

ISSUE

HOA SUBMISSION

DATE \_\_\_\_\_

HOA SUBMISSION

04.16.15



FINISH SCHEDULE

- 1
- SEE DRAWINGS FOR DESIGNATION OF ALL FINISHES. IF EXTENTS OF THE FINISH IS UNCLEAR ON THE DRAWINGS, VERIFY WITH ARCH PRIOR TO INSTALLATION.

- 2
- PROVIDE UP TO (3) 24"X24" MOCK-UPS OF ALL COLORS/FINISHES IF REQ'D

TAG	FINISH	LOCATION	MANUFACTURER	DESCRIPTION	COLOR / FINISH	NOTES
B	BASE	THROUGHOUT, UNO		PTD MDF S4S MOLDING 3 1/2" X 11/16" SET IN FULL BEAD OF SEALANT	SEMI GLOSS FIN, PTD TO MATCH ADJ WALL COLOR	
C1	CONC TOPPING SLAB	THROUGHOUT, UNO	ARDEX	POLISHED CONC SYSTEM OVER (E) & (N) CONC SLAB	SATIN FINISH	THICKNESS AS REQ'D TO ACHIVE A UNIFORM SURFACE
C2	CONC WALL	(N) BOARD FORMED CONC WALL @ ENTRY	SCOFIELD	CHROMIX ADMIXTURE	WINTER BEIGE, 6063	
CL1	GWB CEILING	PER RCP	USG OR EQ.	5/8" TYPE X GWB	LEVEL 4 FINISH, PAINTED, COLOR TBD	
CL2	STAINED WOOD CEILING	PER RCP		1X6 T&G BOARDS, PROFILE TO MATCH €	STAINED & SEALED, COLOR TBD	
T1	TILE, TYPE 1	KITCHEN BACKSPLASH	HEATH CERAMICS	2"X4" DUAL GLAZE CERAMIC TILE - 6 TILE MIX	DG1 - OPAQUE WHITE BLEND	SEE ELEVS FOR LOCATION
T2	TILE, TYPE 2	MASTER BATH WALLS, CEILING & BENCH MASTER BATH ACCENT COLOR KIDS BATH - FLOOR & SHOWER PAN KIDS BATH - FLOOR & SHOWER PAN ACCENT	DALTILE	1"X1" KEYSTONES UNGLAZED MOSAIC FIELD TILE	T2A - D317 BISCUIT T2B - D141 GARDEN SPOT T2C - D197 AQUA GLOW T2D - D148 SPA K175 BISCUIT	SEE ELEVS FOR LOCATION 60% OF FLOOR/PAN & SOUTH WALL TO WIN SILL 40% OF FLOOR/PAN & SOUTH WALL TO WIN SILL
T3	TILE, TYPE 3	KIDS BATH WALLS	DALTILE	4X4 MATTE GLAZED CERAMIC		
CT1	COUNTERTOP, TYPE 1	MASTER BATH, KIDS BATH	CAESARSTONE		3/4" THICK, EASED EDGES, BLIZZARD, 2141	8" B'SPLASH @ MASTER, NO B'SPLASH @ BATH 1
CT2	COUNTEERTOP, TYPE 2	KITCHEN & PANTRY COUNTER  KITCHEN ISLAND		TERRAZZO  TERRAZZO	CT2A - 1 1/2" THICK, EASED EDGES, 50/50 MIX, LIGHT GRAY BACKGROUND, 85% CHINA WHITE, 15% CLEAR, ALL SIZE #0 CT2B - 1 1/2" THICK, EASED EDGES, 3:1 MIX, DARK GRAY BACKGROUND, 85% CHINA WHITE, 15% CLEAR, ALL SIZE #0	WATERFALL EDGES BOTH ENDS
M1	MILLWORK, TYPE 1 MILLWORK, TYPE 2 MILLWORK, TYPE 3 MILLWORK, TYPE 4 MILLWORK, TYPE 5	KITCHEN, MASTER BATH KITCHEN, MASTER BATH PANTRY & LAUNDRY SHELVES KIDS BATH LAUNDRY	FORMICA	WD VENEER - CLR SLD WD VENEER - STD 1" THICK, PTD WD O/ WHITE WALL BRACKETS LAQUERED MDF 1 1/2" PLYWD COUNTER O/ BACKETS W/ P'LAM COUNTERTOP	GL VENEER, WHITE OAK FLAT CUT, ALT: WHITE OAK RIFT CUT GL VENEER, WHITE OAK FLAT CUT, ALT: WHITE OAK RIFT CUT SEMI GLOSS FIN, COLOR TBD SATIN FIN, COLOR TBD 1/8" X 1 1/2" ALUM FLATBAR SCREWED TO COUNTER EDGE P'LAM - NEUTRAL WEFT, 5875-58, MATTE FINISH	
P1	PAINT, TYPE 1	THROUGHOUT	BENJAMIN MOORE	TYP WALLS & CLNGS - FLAT FIN	COLOR TBD	
P2	PAINT, TYPE 2		AURA NO VOC, OR EQ.	KIT, BATH, PANTRY & LAUNDRY WALLS & CLNG - EGGSHELL FIN	COLOR TBD	
P3	PAINT, TYPE 3		BY DUNN EDWARDS	DOORS, BASE & CASING - SEMI-GLOSS FIN	COLOR TBD	
P4	PAINT, TYPE 4				COLOR TBD	

ARCHITECT

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CONULTANT

DRAWING ISSUE

01	PLAN CHECK SUBMISSION	04.10.15
02	HOA SUBMISSION	04.16.15

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DRAWING TITLE.

FINISH SCHEDULE

SHEET NO.

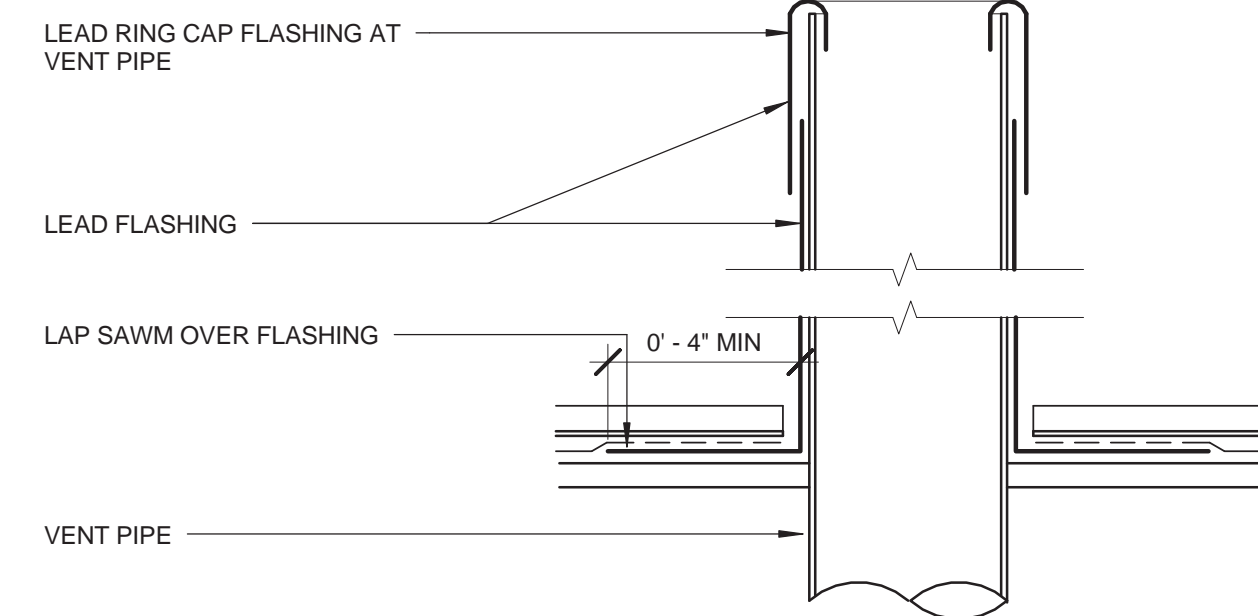
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ISSUE	DATE
HOA SUBMISSION	04.16.15

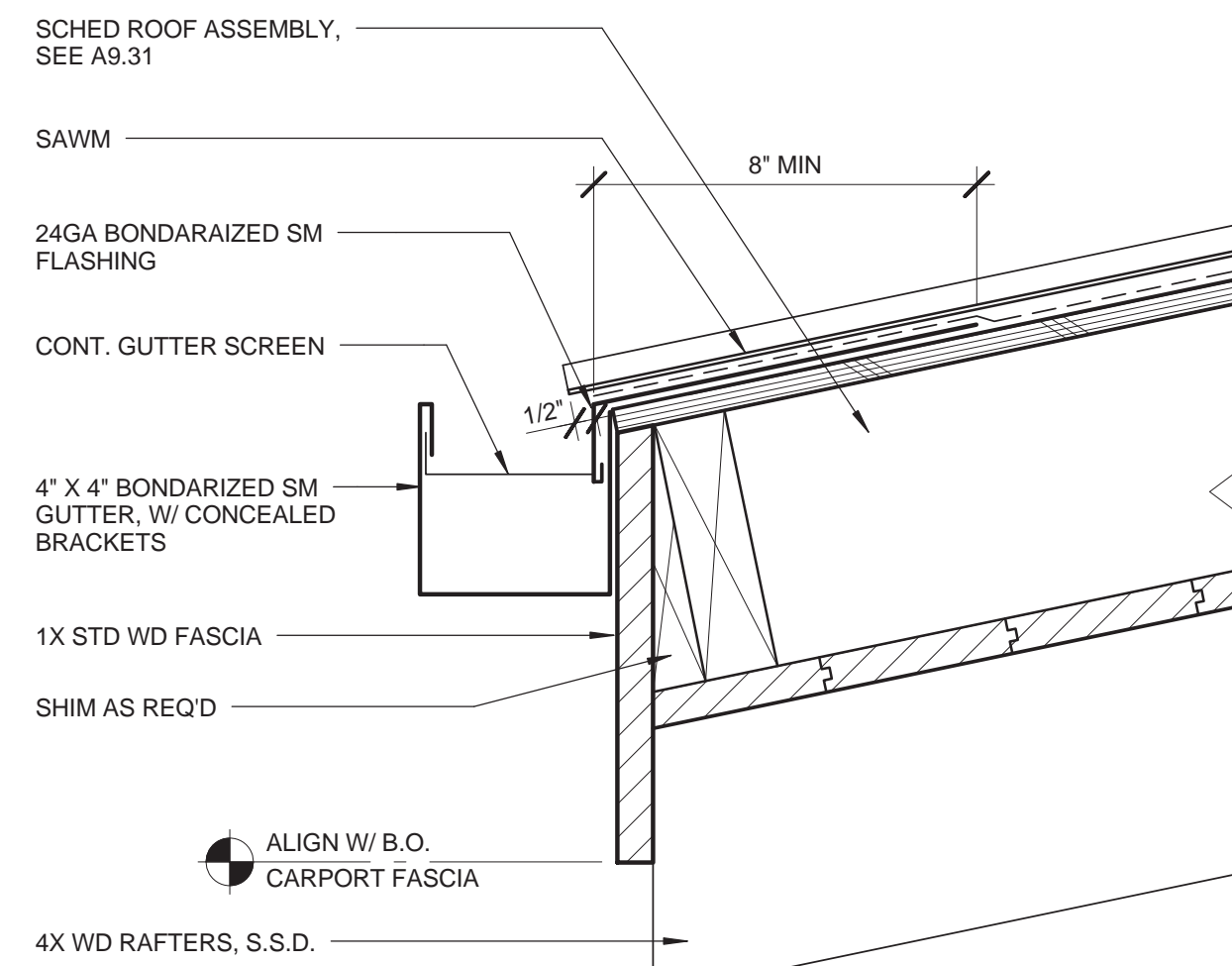


Seal of the State of California, Licensed Architect Oonagh C. Ryan, C33156, Renewal Date 02.28.17.

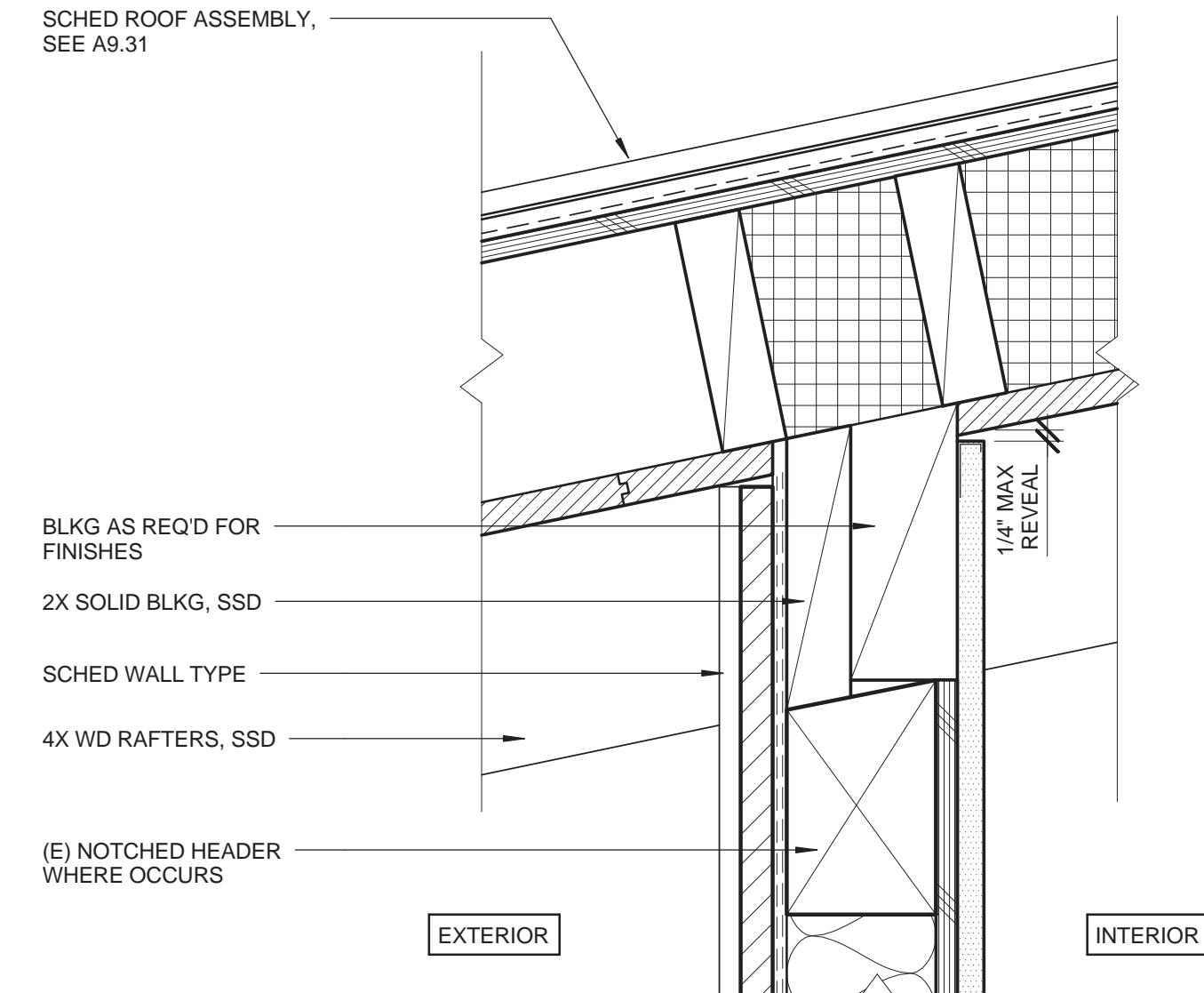
ISSUE	DATE
HOA SUBMISSION	04.16.15



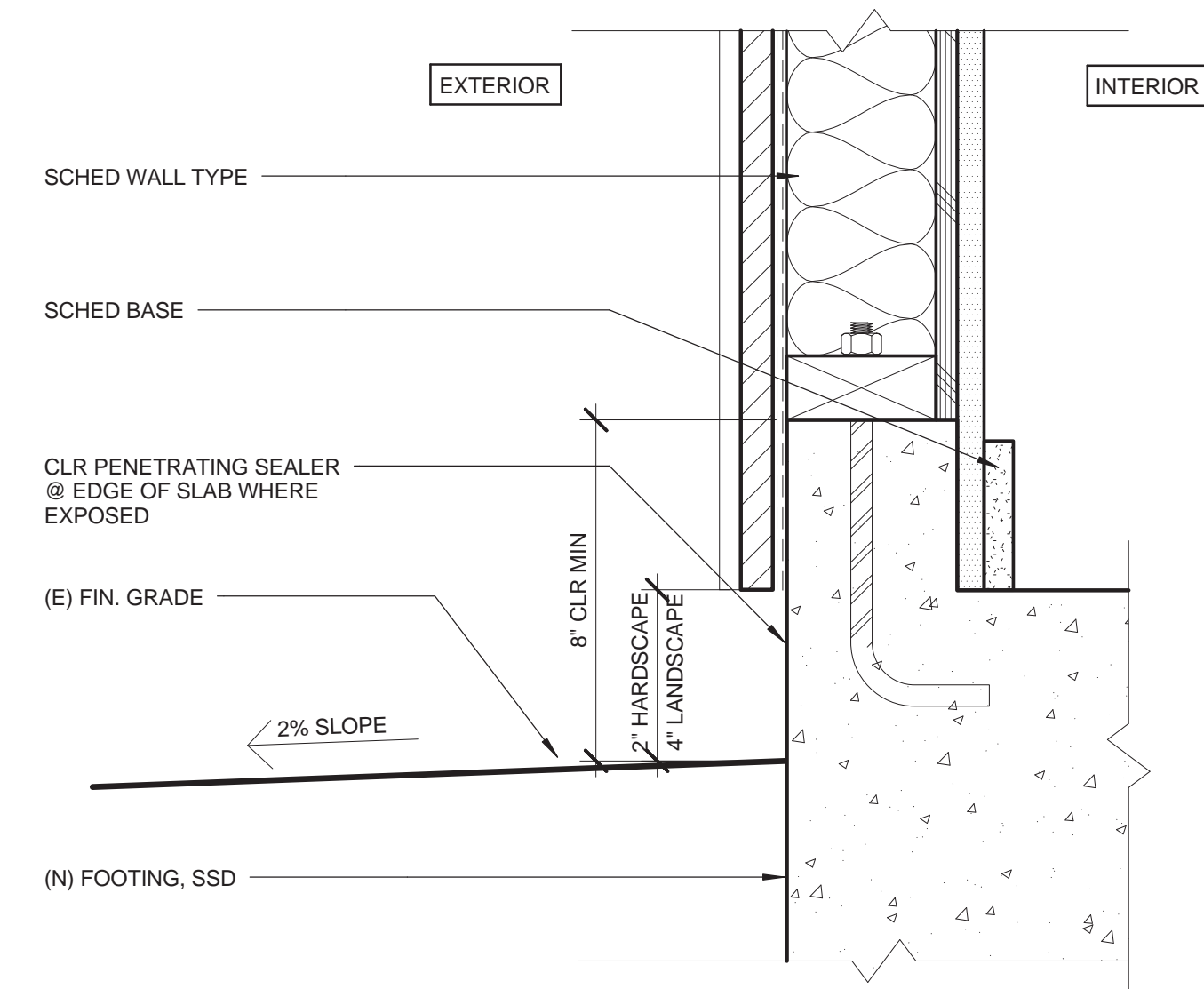
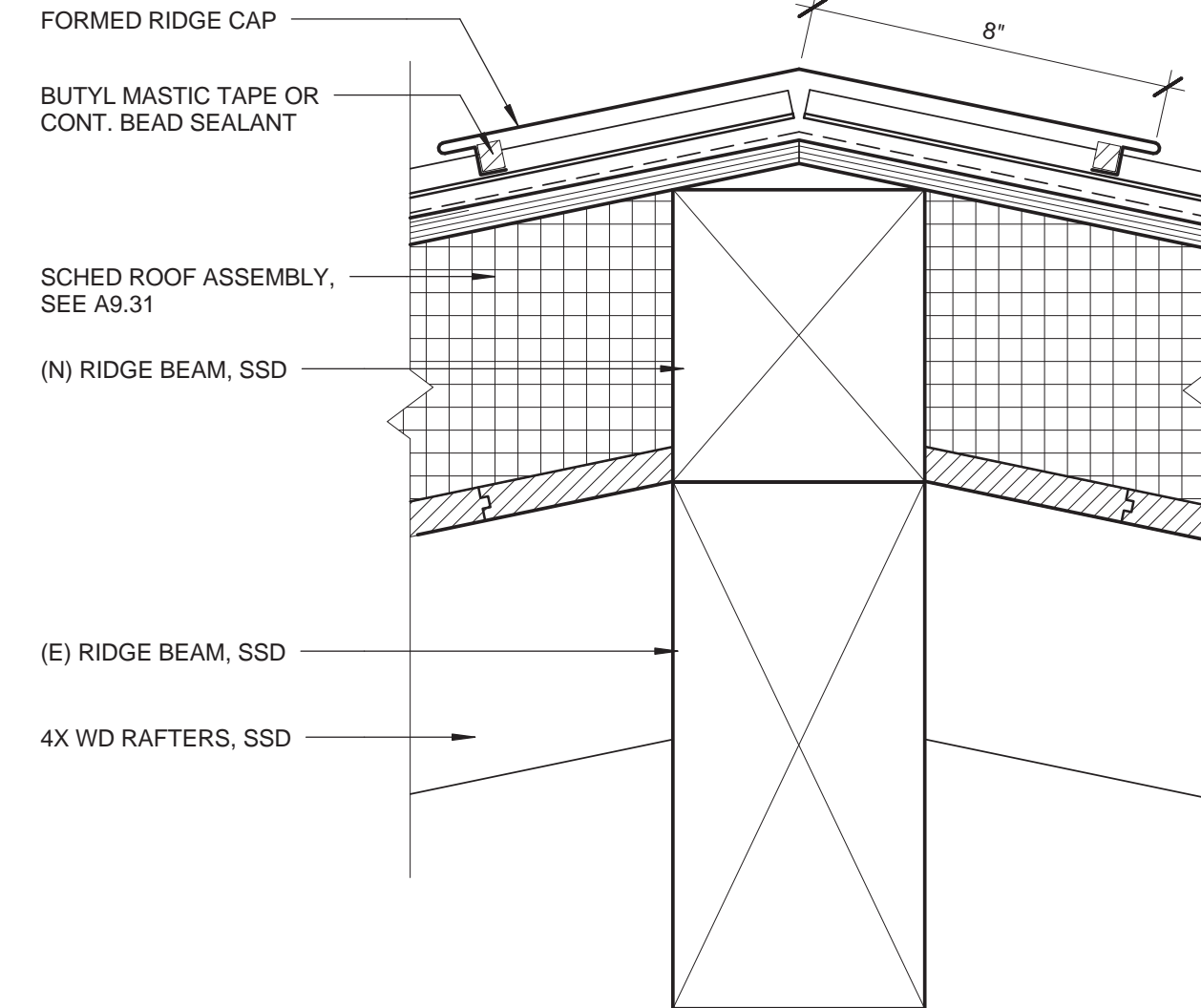
<b>VENT PIPE FLASHING</b>		$3" = 1'-0"$
---------------------------	--	--------------



<b>TYP. FASCIA &amp; GUTTER</b>		<b>08</b>
---------------------------------	--	-----------



**EXT WALL @ WD HEADER** 0 1" 2" 4" 3" = 1'-0"



BUILDING GRID LINE -  
LOCATED ON FACE OF  
FRAMING OR CENTER OF STL  
DEPENDING ON LOCATION -  
REFER TO PLANS

1/2" SHEATHING, SSD

EDGE OF CONC FOOTING TO  
ALIGN W/ OUTSIDE FACE OF  
STUD, SSD

**GRID LINES AND FOOTING**   $1\ 1/2" = 1'-0"$  **01**



04.16.15

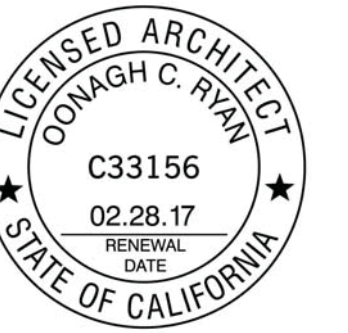




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## WALL TYPES

SHEET NO.

## A9.30

ISSUE	DATE
HOA SUBMISSION	04.16.15



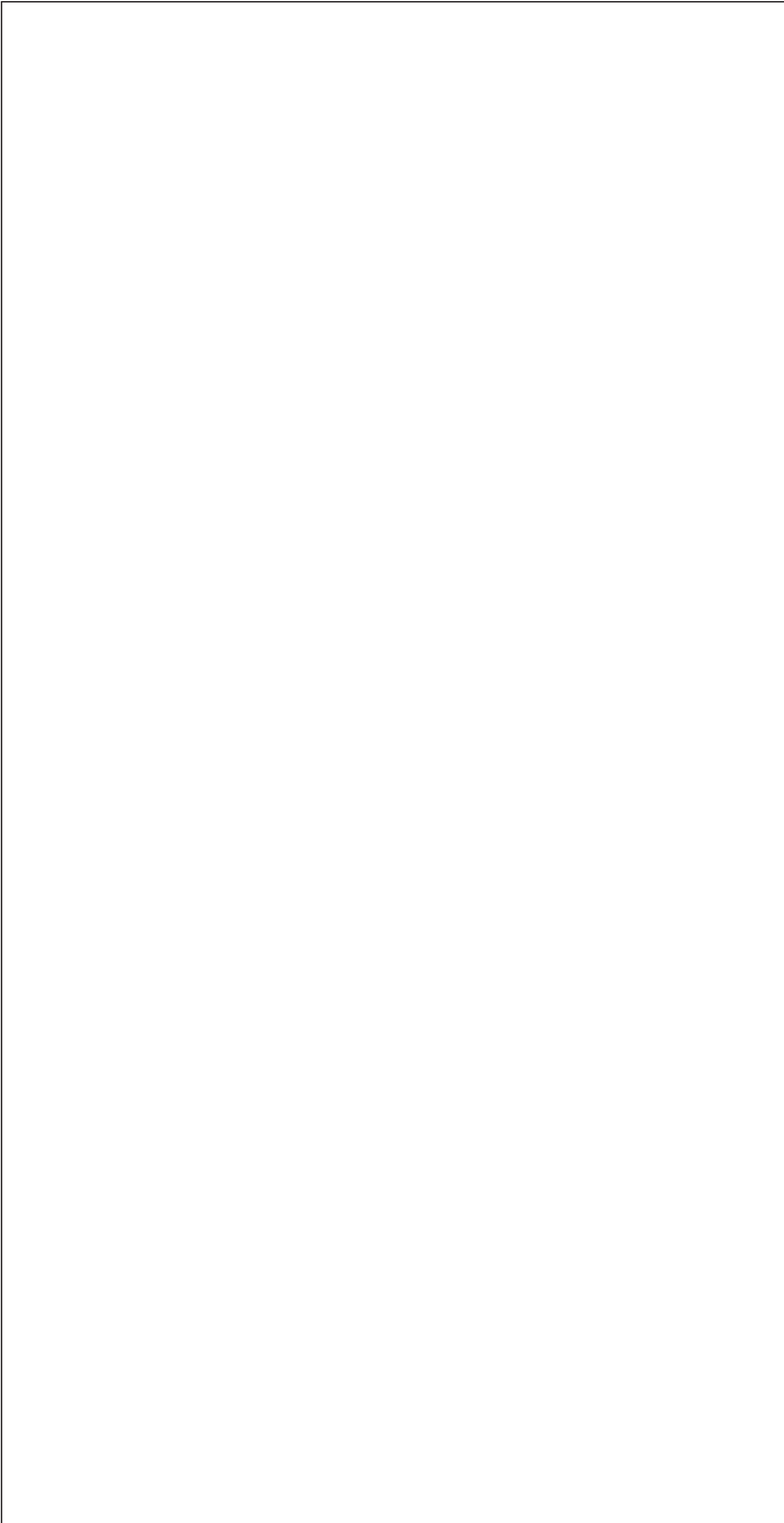
1. WHERE GLASS OR CERAMIC TILE OCCURS, PROVIDE 1/2" TILE BACKER BOARD. (SEE INTERIOR ELEVATIONS FOR TILE LOCATIONS)
2. ALL WET WALLS AT BATHROOMS, KITCHEN, AND LAUNDRY SHALL BE WATER RESISTANT GWB.
3. ADDITIONAL COMPONENTS MAY OCCUR AT FINISH FACE OF WALL. SEE INTERIOR ELEVATIONS AND ROOM FINISH SCHEDULE ON FLOOR PLANS.
4. APPLY 'PRIME COAT' SURFACE PREPARATIONS TO GYPSUM BOARD SURFACES TO BE PAINTED.
5. PROVIDE BACK UP BLOCKING FOR ALL FF&E INCLUDING FF&E NOT IN CONTRACT.
6. REFER TO STRUCTURAL DRAWINGS FOR STUD SIZES AND LOCATIONS/SPECIFICATIONS FOR ALL PLYWOOD SHEAR PANELS.
7. SEE ARCH. DRAWINGS FOR LAYOUT DIMENSIONS AND LOCATIONS OF FURRED WALLS, SOFFITS, ETC.
8. SEE A2.00 FOR WALL TYPE LOCATIONS.
9. SEE INTERIOR ELEVATIONS FOR FINISH MATERIAL LOCATIONS AND EXTENTS.

WALL NOTES 01

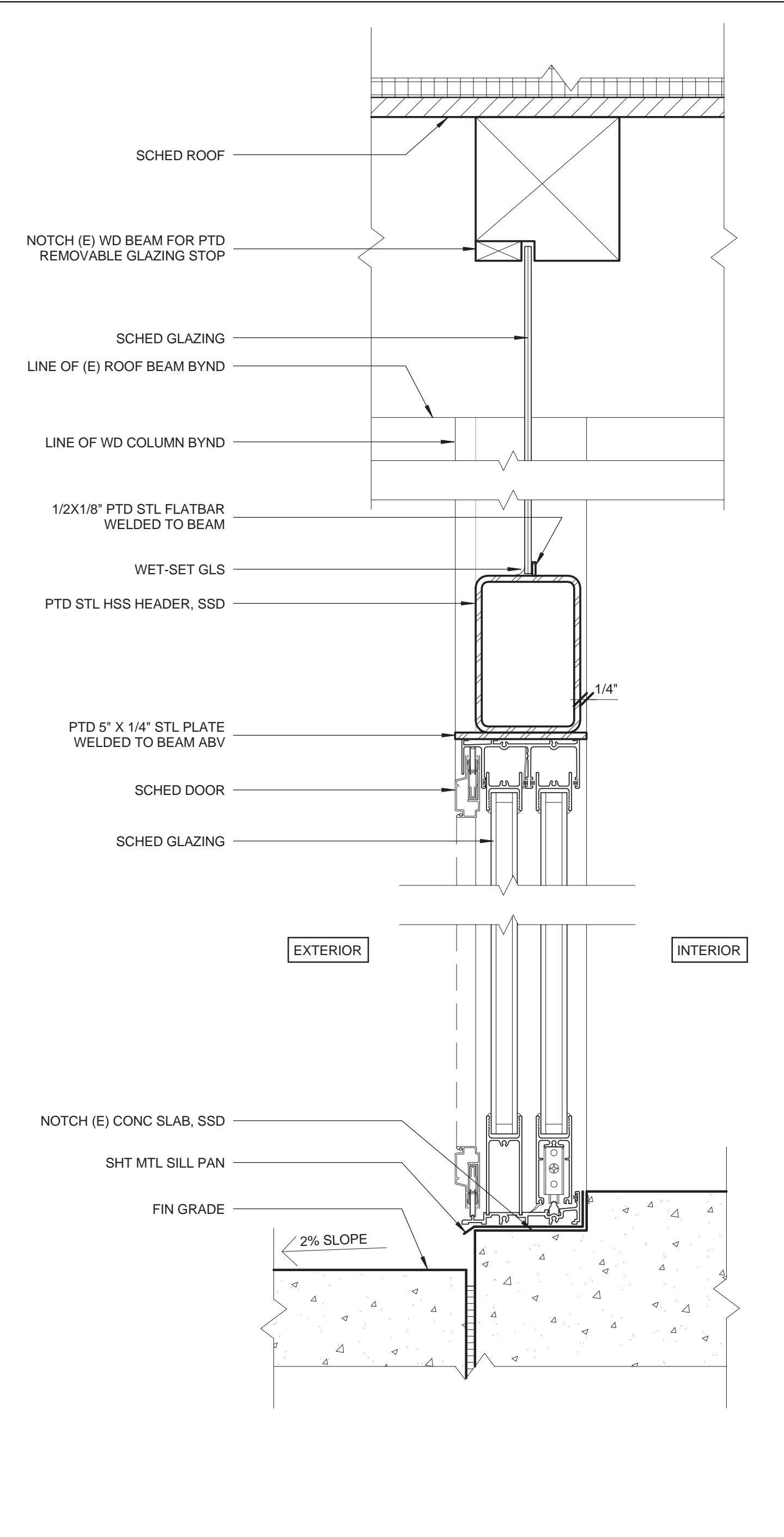




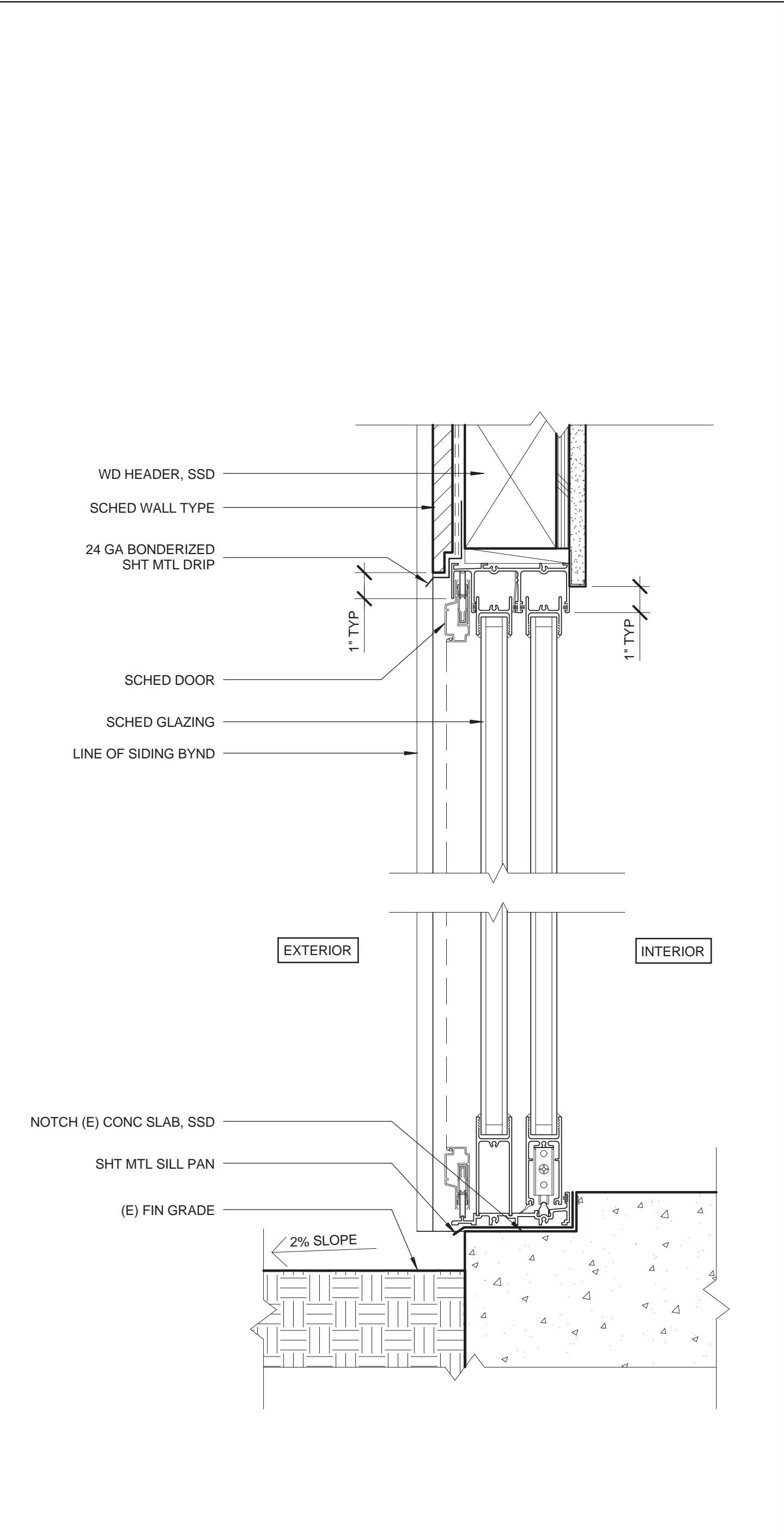




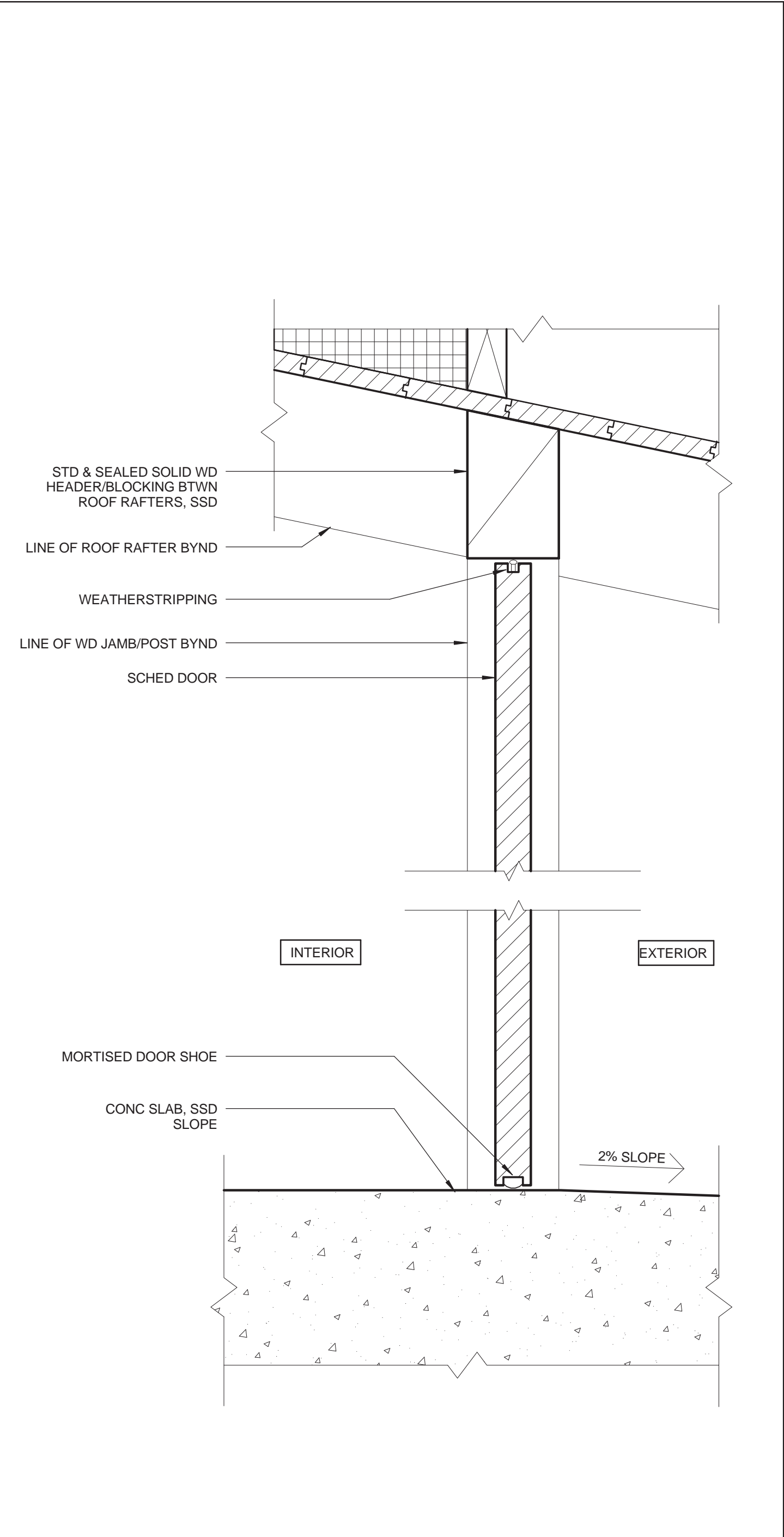
DOOR 01 & 02 - SECTION 0 1" 2" 4" 3" = 1'-0" 08



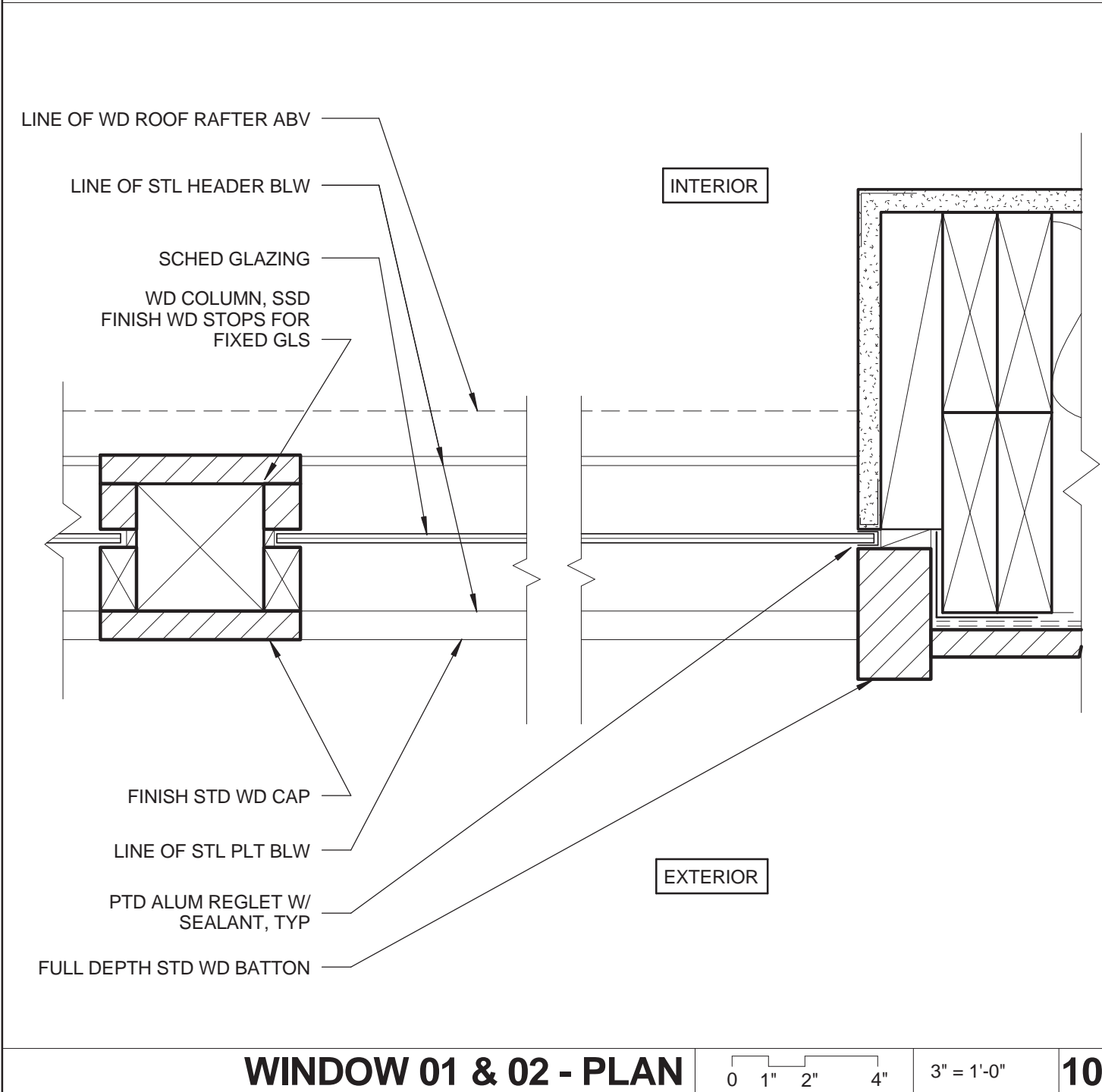
DOOR 01 & 02 - SECTION 0 1" 2" 4" 3" = 1'-0" 08



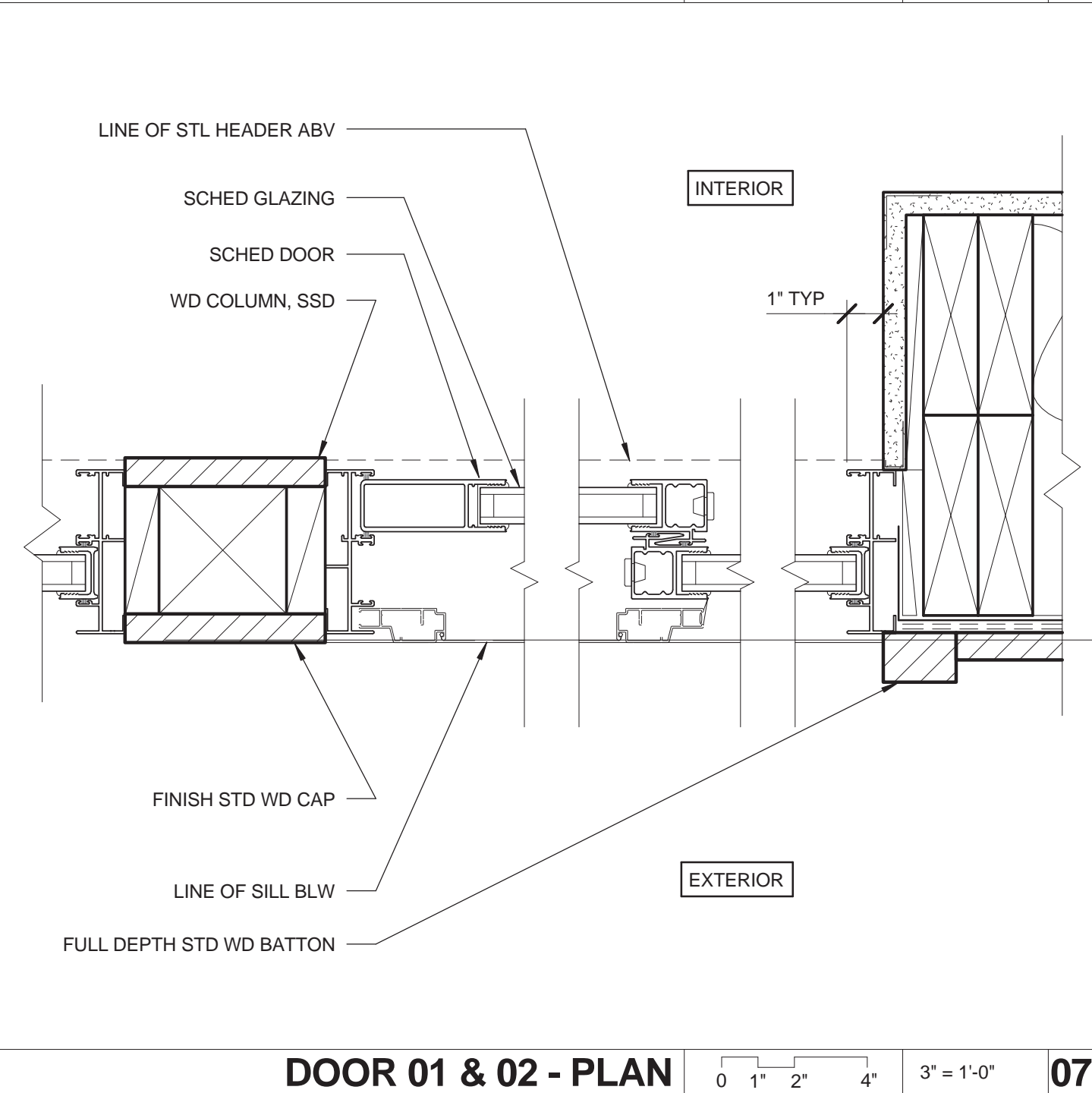
DOOR 08 - SECTION 0 1" 2" 4" 3" = 1'-0" 05



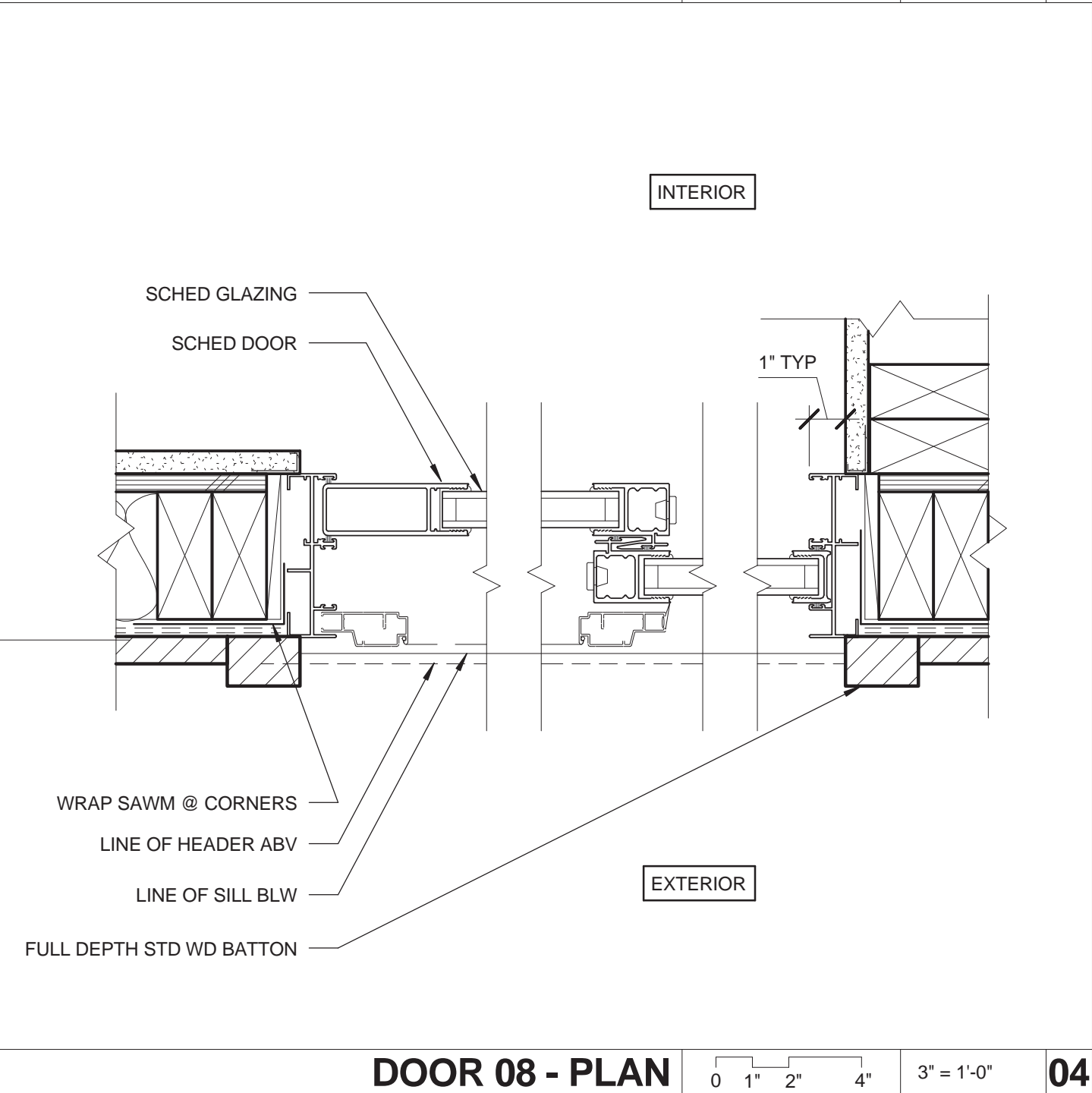
DOOR 05 - SECTION 0 1" 2" 4" 3" = 1'-0" 02



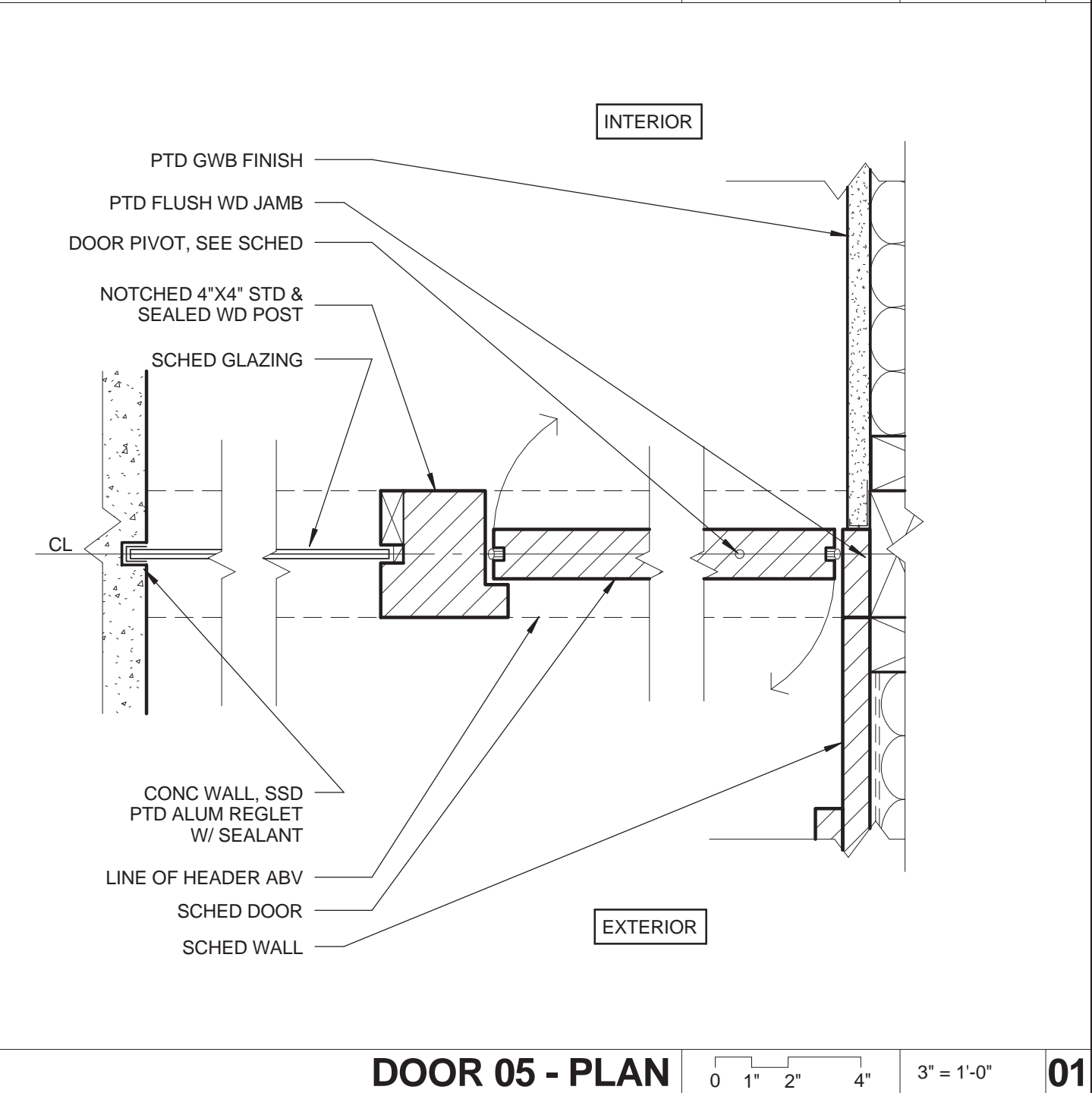
WINDOW 01 & 02 - PLAN 0 1" 2" 4" 3" = 1'-0" 10



DOOR 01 & 02 - PLAN 0 1" 2" 4" 3" = 1'-0" 07



DOOR 08 - PLAN 0 1" 2" 4" 3" = 1'-0" 04



DOOR 05 - PLAN 0 1" 2" 4" 3" = 1'-0" 01

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OWNER/CLIENT

PHILIP AND RACHEL OROSCO

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PACIFIC PALISADES, CA 90272

PROJECT

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RESIDENCE**

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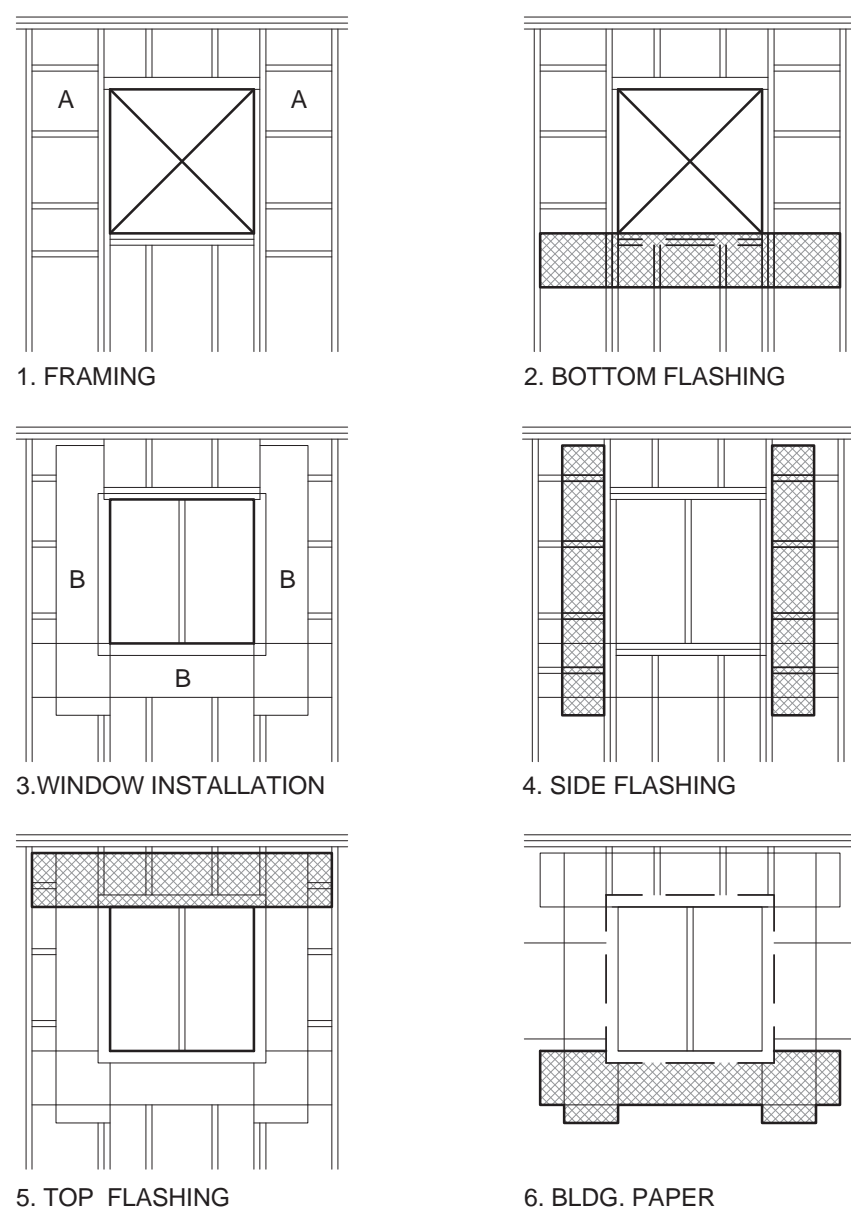
**DOOR AND WINDOW  
DETAILS**

SHEET NO.

**A9.40**

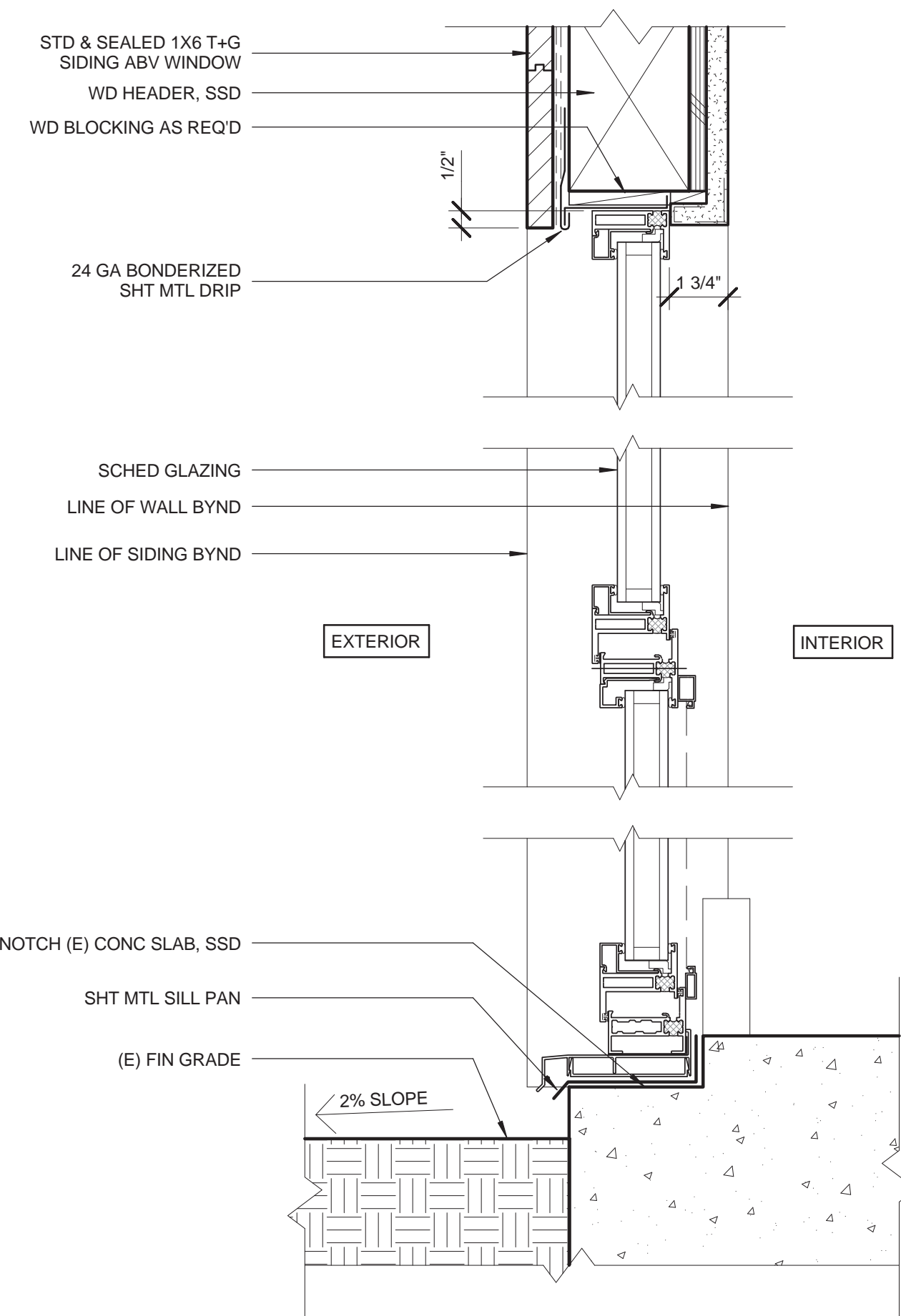
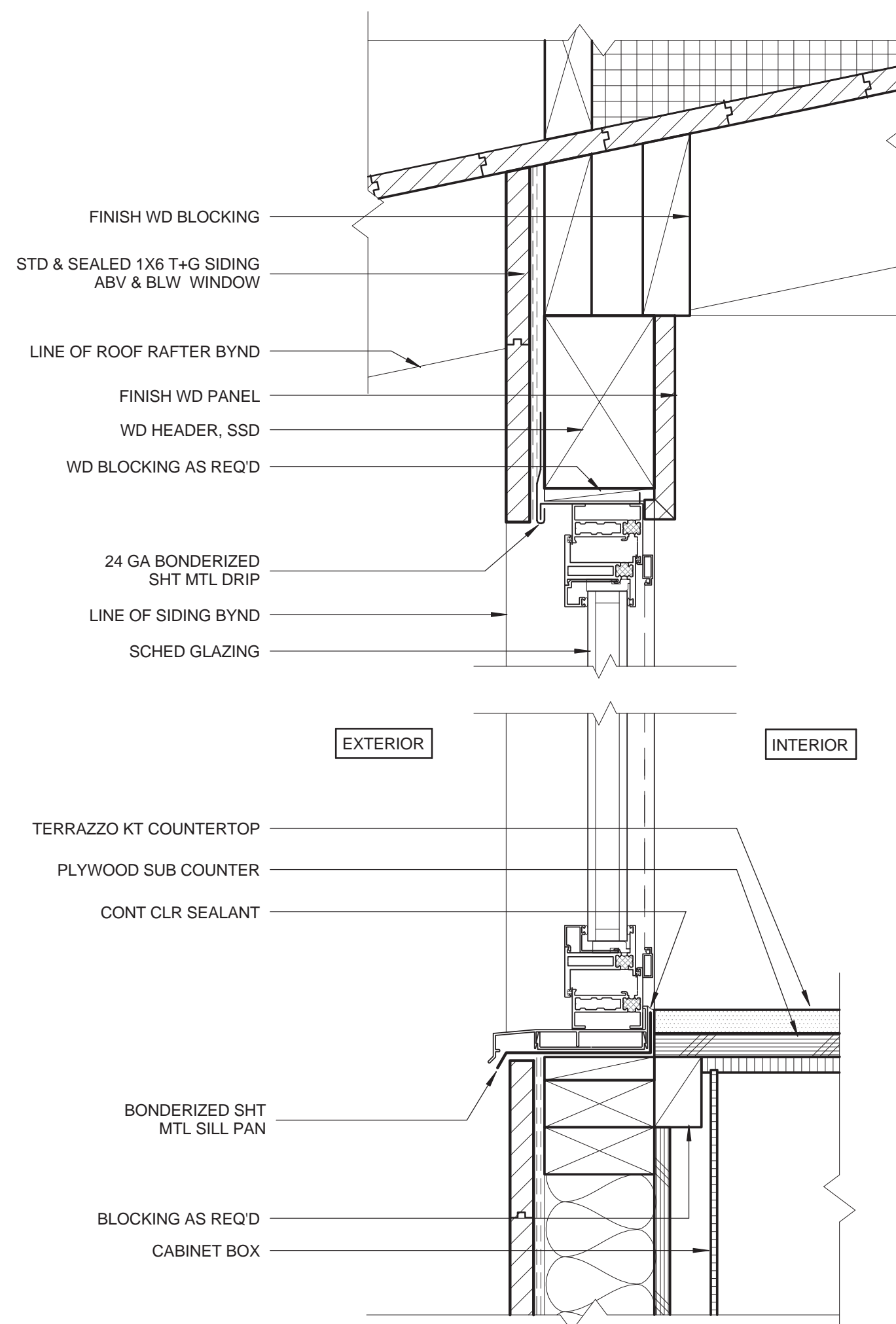
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## WINDOW FLASHING NOTES

1. FRAMING - WHERE THE OPENING OCCURS IN A WALL WITHOUT EXTERIOR PLYWOOD SHEATHING, THE BLOCKING MEMBERS (A) SHOULD BE INSTALLED AS NECESSARY TO SUPPORT THE OUTSIDE EDGES OF SIDE FLASHING. INSTALL APPROX. 16" O.C. BLOCKING MAY BE OMITTED WHEN A STUD IS INSTALLED TO SUPPORT THE OUTSIDE EDGE OF SIDE FLASHING.
2. BOTTOM FLASHING - APPLY THE FIRST STRIP OF FLASHING HORIZONTAL, TIGHT TO THE BOTTOM OF THE WINDOW OPENING. EXTEND FLASHING GREATER THAN 12" PAST THE SIDES OF THE OPENING AND ATTACH TO THE NEXT AVAILABLE STUD. FASTEN ONLY THE TOP EDGE SO THAT SUBSEQUENT LAYERS OF BLDG. PAPER MAY BE LAPPED UNDER (SHINGLED).
3. INSTALL THE WINDOW BY FIRMLY PRESSING THE NAIL FLANGE ONTO A CONTINUOUS, FULL CONTACT BEAD OF COMPATIBLE SEALANT (B) EXTENDING AROUND THE BOTTOM AND SIDES OF THE OPENING. BEND THE TOP OF THE WINDOW CAN THAN BE TRUE'D AND NAILED INTO PLACE PER MFR. INSTRUCTIONS.
4. INSTALL THE TWO SIDE FLASHING STRIPS VERTICAL, TIGHT TO THE SIDES OF THE WINDOW OPENING. EXTEND ABOVE THE TOP AND BELOW THE BOTTOM OF THE OPENING FOR A DISTANCE EQUAL TO AT LEAST THE WIDTH OF THE FLASHING STRIP. THE BOTTOMS OF THE VERTICAL SIDE STRIPS SHOULD LAP OVER THE BOTTOM HORIZONTAL STRIP AND SHOULD NOT BE NAILED SO THAT SUBSEQUENT LAYERS OF BLDG. PAPER MAY BE LAPPED UNDER (SHINGLED).
5. INSTALL THE TOP FLASHING STRIP HORIZONTAL OVER THE TOP NAILING FLANGE. PRESS THE BOTTOM EDGE OF THE FLASHING STRIP INTO A CONTINUOUS, FULL CONTACT BED OF SEALANT (C) ON THE FULL HEIGHT OF THE OUTSIDE FACE OF THE NAILING FLANGE FOR A WATER TIGHT INSTALLATION. EXTEND THE ENDS OF THE TOP FLASHING STRIP SO THAT IT AT LEAST OVERLAPS THE OUTER EDGES OF THE SIDE FLASHING STRIPS.
6. STARTING AT THE BOTTOM OF THE WALL, INSTALL THE WATERPROOF BLDG. PAPER IN "SHINGLE" FASHION UP THE WALL. THE LAYER WHICH FALLS AT THE BOTTOM OF THE WINDOW OPENING SHOULD BE LAPPED UP UNDER THE BOTTOM FLASHING. SUCCESSIVE LAYERS OF BLDG. PAPER SHOULD LAP OVER THE SIDE NAILING FLANGES.



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## WINDOW DETAILS

SHEET NO.

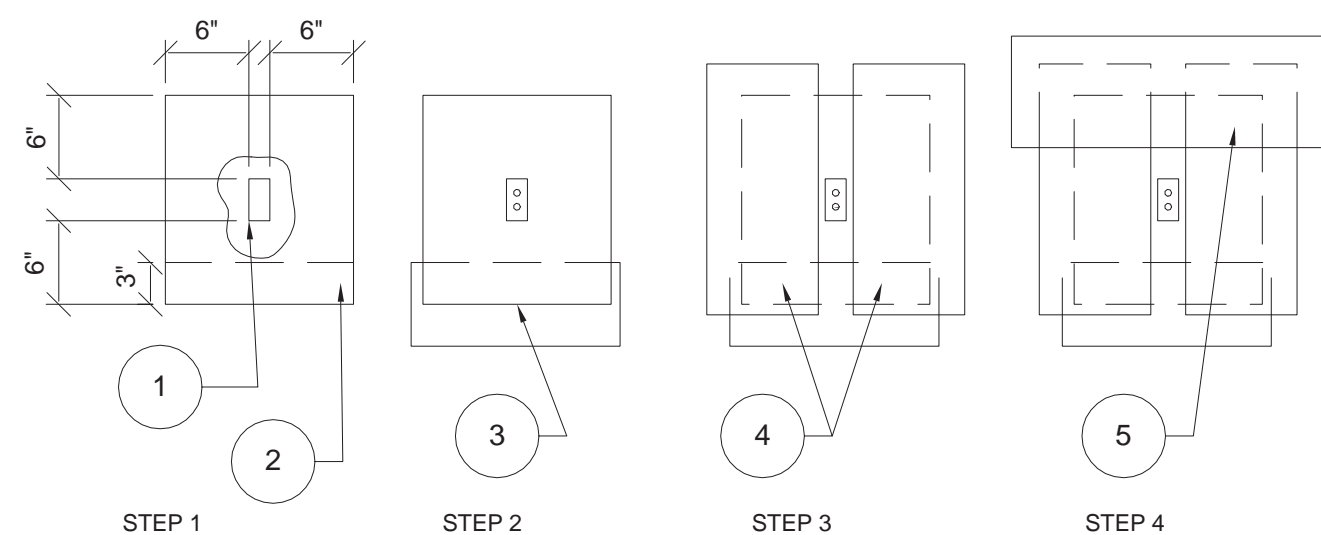
## A9.41

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1. PENETRATING ITEM (OLTS, BRACKET, BASE, PLATES ETC.) INSTALLED OVER SELF-SEALING, SELF-HEALING, ADHESIVE-BACKED RUBBERIZED ASPHALTIC WALL FLASHING (BITUTHENE, PERM-A-BARRIER). COAT THE ENTIRE PORTION OF THE PENETRATING ITEM THAT IS TO BE COVERED BY THE BUILDING FINISH WITH ASPHALTIC FLASHING COMPATIBLE LIQUID APPLIED WPG. COMPOUND AND OVERLAP ONTO FLASHING 2" MINIMUM.
2. WHEN ADHERING THE MEMBRANE TO SUBSTRATE, DO NOT REMOVE THE ADHESIVE RELEASE SHEET FROM THE BOTTOM 3' OF THE SHEET SO THAT IT CAN BE LAPPED OVER BLDG. PAPER.
3. PLACE BLDG. PAPER UNDER THE BOTTOM 3' FLAP. REMOVE THE REMAINING RELEASE SHEET FROM THE FLASHING SHEET AND ADHERE TO THE BLDG. PAPER.
4. PLACE THE SIDE SHEETS OF BLDG. PAPER TO WITHIN 4" OF THE PENETRATING ITEM SHINGLE OVER THE BOTTOM FLASHING/BLDG. PAPER JOINT.
5. PLACE THE TOP SHEET OF BLDG. PAPER TO WITHIN 4" OF THE PENETRATING ITEM. SHINGLE OVER THE PREVIOUS LAYERS OF BLDG. PAPER. ENTIRE ASSEMBLY SHOULD BE SHINGLED INTO THE OVERALL BLDG. PAPER SKIN OF THE BUILDING.

**NOTE:**  
THIS WATERPROOFING METHOD IS TO BE USED WHEREVER THE WATERPROOF BUILDING PAPER PENETRATED OR INTERRUPTED. THIS INCLUDES BUT IS NOT LIMITED TO ELEC. FIXTURES, SWITCHES, HOSE BIBS, SUPPORT BRACKETS AND BOLTS.

