

SITE PLAN - PROPOSED
1/8" = 1'-0"

MAXIMUM ALLOWABLE LOT COVERAGE = 40 %

PARCEL AREA: 19,387 S.F.
x 40%
MAX. ALLOWABLE = 7,754.8 S.F.

PROPOSED LOT COVERAGE = 29.4 %

SFR COVERAGE: 5,703 S.F. (5, 028 + 675 Balcony)
PARCEL AREA: ÷ 19,387 S.F.
TOTAL = .294 or 29.4 %

Note: Not less than 50% of a required front yard shall be used for landscaping

FRONT YARD SETBACK

PREVAILING SETBACK ON A SUB-STANDARD HILLSIDE LIMITED STREET

The Code defines Frontage in section 12.03 as "All property fronting on one side of the street between intersecting or intercepting streets, or between a street and right-of-way, waterway, end of dead-end street, or city boundary"

Only when a prevailing setback can't be determined, provide a 5-foot setback in lieu of the standard front yard as required for the Zone. (ZA 2001-0331(ZAI))

CITY OF LOS ANGELES MUNICIPAL CODE:

SEC 12.21 A 17. One-Family Dwellings, Accessory Buildings and Additions. Hillside Regulations. Notwithstanding any other provisions of this Code to the contrary, the following regulations shall apply to any Major Remodel - Hillside, or construction of or addition to any One-Family Dwelling or Accessory Building on a Lot in the A1, A2 or RD Zones which is located in whole or in part in a Hillside Area as defined in Section 12.03 of this Code. (Amended by Ord. No. 181,624, Eff. 5/9/11.)

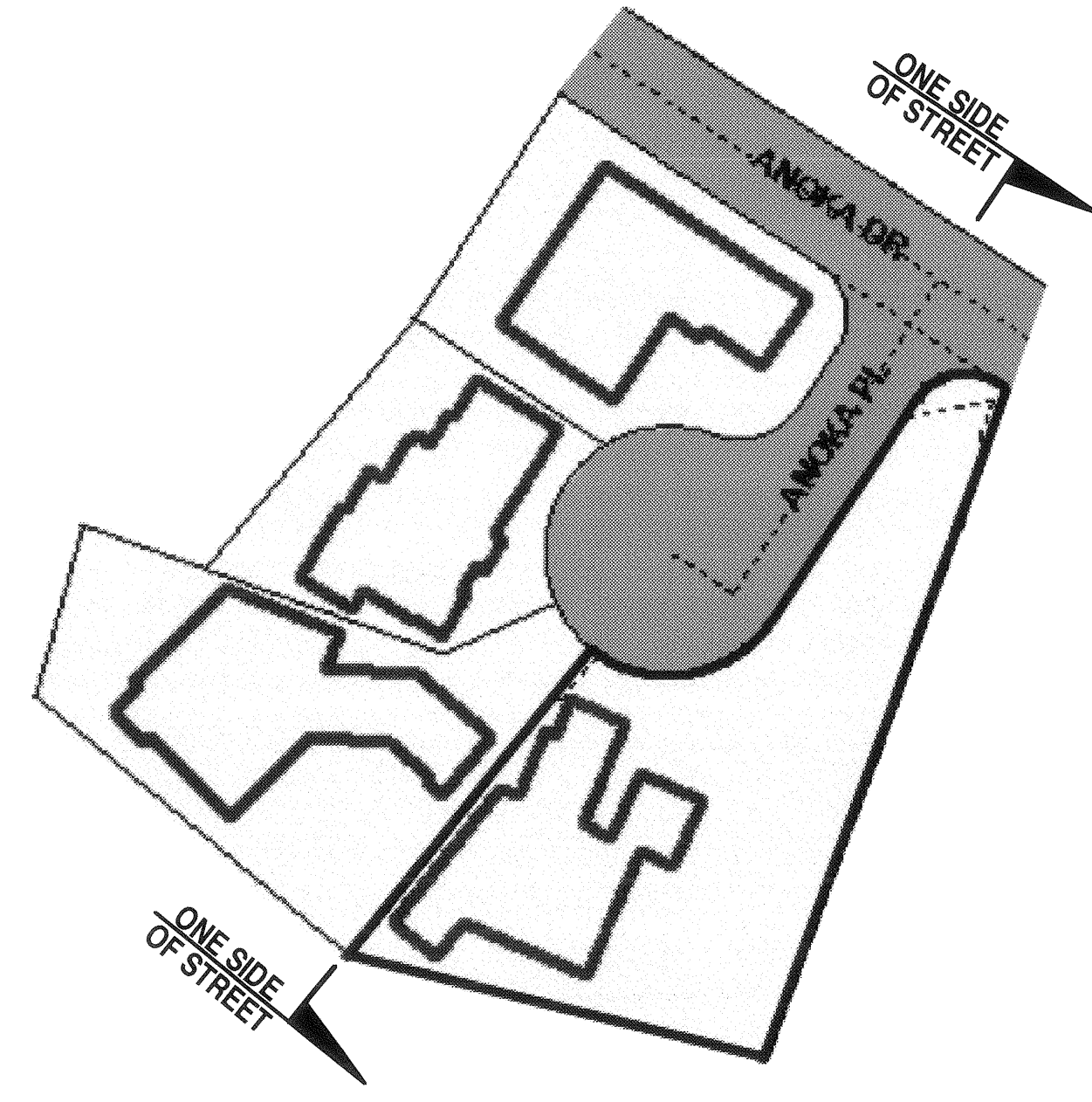
(a) Front Yards.

(1) For any lot that fronts on a Substandard Hillside Limited Street, there shall be a minimum front yard of at least five feet. For lots having a zoning classification that contains a provision calling for observance of the prevailing setback, the prevailing setback regulations shall apply, so long as a front yard of no less than five feet is provided. (Amended by Ord. No. 174,652, Eff. 7/27/02.)

CONCLUSION:

As there are no other properties fronting on the same side of street between the intersecting street and the "end of a dead end street" the "Prevailing Setback" does not apply.

Therefore, a minimum of a 5 foot front yard setback shall be observed



SITE PLAN NOTES

1. Provide rain gutters, and convey rain water to the street. All concentrated drainage, including roof water, shall be conducted, via gravity, to the street or an approved location at a 2 percent min.
2. An approved "Seismic" gas shutoff valve shall be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building containing the fuel gas piping. (Per ordinance 171.874)
3. The construction shall not restrict a five foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, aunts, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines - whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
4. A "Wet Weather Erosion Control Plan" (WWCEP), utilizing sediment and erosion control BMP's, for projects that will leave disturbed soil during the rainy season (October 1 to April 15) is required. The WWCEP must be prepared, for projects that have already broken ground, not less than 30 days prior to the beginning of each rainy season during which soil will be disturbed, and implemented through out the entire rainy season. A copy of the WWCEP shall be kept on the project site at all times beginning 30 days prior to the start of the rainy season through the end of the rainy season. For projects that will begin construction during the rainy season, the WWCEP must be available 30 days before construction commences. The WWCEP must be submitted to the Bureau of Engineering, Public Works for review and approval. The WWCEP is not a requirement for the issuance of a building or grading permit.
5. Provide Anti-Graffiti finish within first 9 feet above grade.
6. A copy of the evaluation report and/or conditions of listing shall be made available at the job site.
7. Lots shall be graded to drain surface water away from foundation walls with a minimum fall of 6 inches within the first 10 feet (R401.3)
8. Protection of wood and wood based products from decay shall be provided in the locations specified per section R317.1 by the use of naturally durable wood or wood that is preservative-treated in accordance with AWPA U1 for the species, product, preservative and use. Preservatives shall be listed in Section 4 of AWPA U1

GREEN NOTE

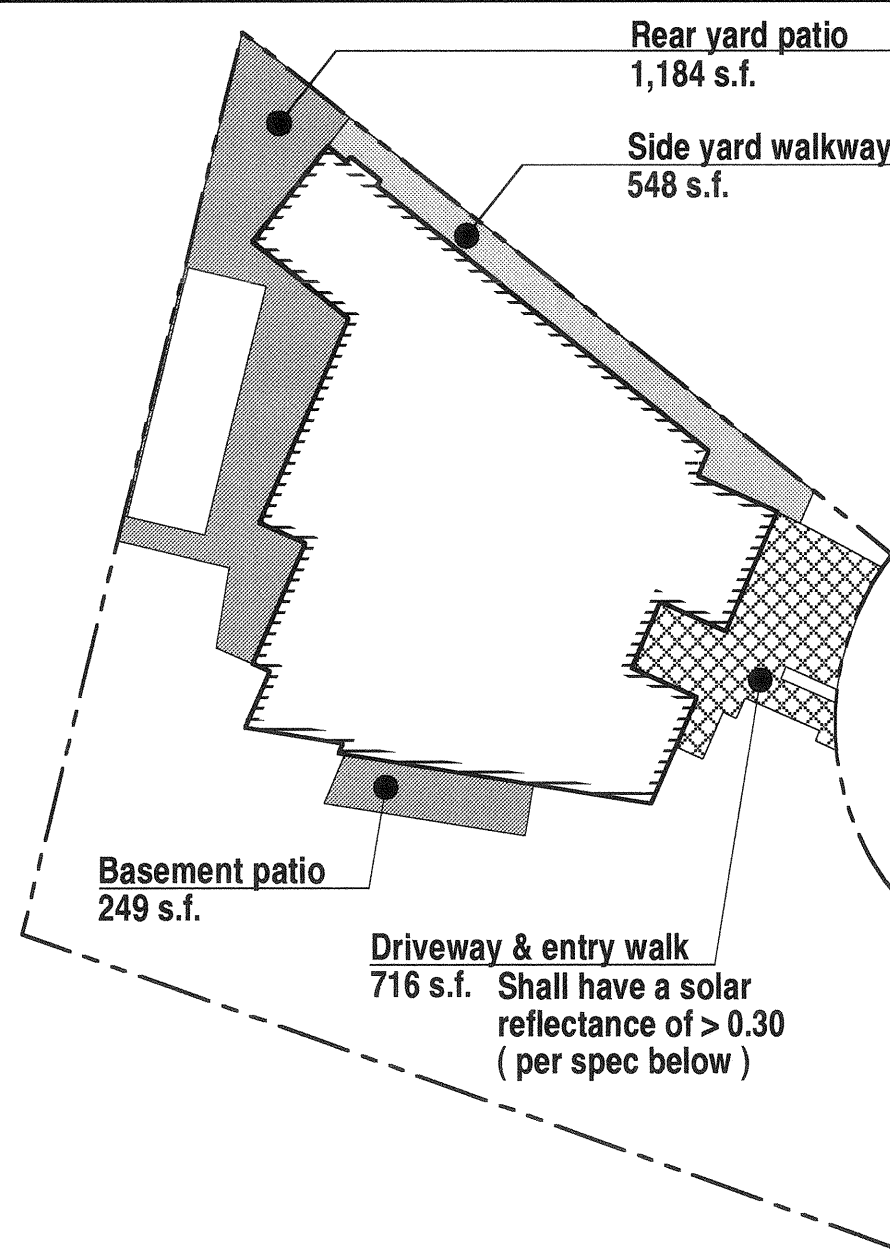
Construction Waste shall be reduced by 50%

Construction waste will be handled by a City of Los Angeles "certified" hauler.

GREEN CODE

- | | | |
|-----|--|------|
| G1 | Irrigation controls: ESP-SMT weather based irrigation controller by RAIN BIRD. (See B/A1.1) | B |
| NEW | | A1.1 |
| G2 | For projects that include landscape work: the Landscape Certification, Form GRN 12, shall be completed prior to final inspection approval. | |
| G3 | | |
| G4 | | |
| G5 | | |
| G6 | | |
| G7 | | |

HEAT ISLAND EFFECT



Reduction of "Heat Island Effect" for non-roof areas calculation
Reduce non-roof heat islands for 25% of pathways, driveway, or other paved areas

Area Calculation:		
Driveway & entry walk	716 sq. ft.	
Side yard walkway	548 sq. ft.	
Basement patio	249 sq. ft.	
Rear yard patio	1,184 sq. ft.	
Total sq. ft.	2,697 sq. ft.	
x 25% Reduction		
Total sq. ft. reduction	674 sq. ft.	

A minimum of 674 sq. ft. of paved area shall comply with the following: See DRIVEWAY & ENTRY WALK at a minimum of 674 sq. ft.

- Hardscape material with an initial solar reflectance of at least 0.30 (or greater).
- SOLACHROME for High-SRI Concrete by L.M. Scofield Company 6533 Bandini Blvd. Los Angeles Ca. 90040 800-800-9900

WHITE PICKET FENCE
212 26TH STREET, SUITE 124
SANTA MONICA, CA. 90402
tel: 310.213.1694
fax: 310.807.4183
www.whitepicketfence.com

OWNER:
TIMOTHY & SHERYL SCHEY
1030 N. Anoka Place
Pacific Palisades, Ca. 90272

CONSULTANTS:

STRUCTURAL ENGINEER :
BEROZ & ASSOC., INC.
5530 Corbin Ave., Suite 355
Torrance, Ca. 90503
PH: 818 588-5588

CIVIL ENGINEER :
ADVANCED ENGINEERING
22837 Ventura Bl., Suite 100
Woodland Hills, Ca. 91364
PH: 818 222-7982

GEOTECHNICAL ENGINEER :
BYER GEOTECHNICAL INC.
1461 E. Chevy Chase Dr., Suite 200
Glendale, Ca. 91205
PH: 818 548-9559

ENERGY CALCULATIONS:
ALTERNATIVE ENERGY SYSTEMS
915 E. Taunaga Avenue
Burbank, Ca. 91501
PH: 818 569-0243

PROJECT
1030 N. ANOKA PLACE
PACIFIC PALISADES
CA. 90272

DRAWING TITLE
SITE PLAN - PROPOSED

SCALE
1/8" = 1'-0"

NO.	DATE	ISSUANCE
1	11.21.14	AS-BUILT PLAN
2	11.24.14	STUDY 1
3	01.08.15	STUDY 2
4	01.09.15	STUDY 3
5	01.13.15	HOA REVIEW
6	01.20.15	ENGINEER
7	01.24.15	REVISIONS
8	01.26.15	REVISIONS
9	01.28.15	ENGINEER
10	01.28.15	HOA REVIEW
11	03.02.15	PLAN CHECK
12	04.30.15	VERIFICATION