

# 1111 LAS PULGAS RD

## SHEET INDEX

### ARCHITECTURAL

- A-0.0
- COVER SHEET
- ZONING
- SOILS APPROVAL
- SITE PLAN
- EXISTING SITE SURVEY
- SLOPE ANALYSIS
- BASEMENT FLOOR PLAN
- FIRST FLOOR PLAN
- A-4.1
- ROOF PLAN
- EXTERIOR ELEVATIONS
- EXTERIOR ELEVATIONS
- BUILDING SECTIONS
- BUILDING SECTIONS

### CIVIL

- C-1 GRADING PLAN
- C-2 SECTIONS

## CONSULTANTS

### STRUCTURAL ENGINEER

### GEOTECHNICAL ENGINEER

IRVINE GEOTECHNICAL  
1150 ENCANTO DRIVE  
ARCADIA, CA, 91007  
TEL: (626)574-2921  
CONTACT: JON IRVINE

### CIVIL ENGINEER

FORMA ENGINEERING: JOEL THOMPSON  
10814 RESEDA BLVD.  
NORTHRIDGE, CA 91325  
TEL: 818-832-1710  
FAX: 818-832-1740

### SURVEY

LAWRENCE J. SCHMAHL  
LICENSED SURVEYOR PLS 5748  
11209 HOWARD ST. WHITTIER,  
CALIFORNIA 90606  
(562) 908-0570 / (323) 773-1675

## PROJECT INFORMATION

OWNER  
KWAN SUK SEO &  
SARAH JUNGSOON SEO  
1111 LAS PULGAS PL.  
LOS ANGELES, CA 90272

SCOPE OF WORK  
REMODEL OF EXISITING ONE STORY SFD  
WITH BASEMENT, TWO (10' MAX) NEW  
RETAINING WALLS, NEW POOL ON PILES

Construction Type: TYPE V/B - FULLY SPRINKLED

Occupancy: R3/U

Address: 1111 LAS PULGAS PL.  
LOS ANGELES, CA, 90272

Zoning: RE9-1

FRONT YARD SETBACK: 19.76 FT PREVAILING  
SIDE YARD SETBACK: 5'-0"  
REAR YARD SETBACK: 25'-0"

ENVELOPE HEIGHT: 28'-0"  
(E) BUILDING HEIGHT: 15'-6"  
ACTUAL (N)BUILDING HEIGHT: 14'-8"

Legal Description: TR 19890 BLK NONE LOT 2  
LOT OF TRACT NO 19890, IN THE CITY OF LOS  
ANGELES, COUNTY OF LOS ANGELES, STATE OF  
CALIFORNIA, AS PER MAP RECORDED IN BOOK 627,  
PAGES 46 THROUGH 50 OF MAPS IN THE OFFICE OF  
THE COUNTY RECORDER OF SAID COUNTY.

LOT SIZE: 23,427.1 SQFT APN: 4420012002

## VERY HIGH FIRE HAZARD SEVERITY ZONE SEE A1.1N FOR NOTES



## ARCHITECT

### VERTOCH DESIGN ARCHITECTS INC.

1423 # A CLOVERFIELD BLVD.  
SANTA MONICA, CA 90404  
TEL: 310. 829-6051  
FAX: 310. 829-2812  
vertoch@aol.com

CONTACT: PHILIP VERTOCH

THE BUILDING SHALL BE EQUIPPED WITH  
AN AUTOMATIC RESIDENTIAL FIRE  
SPRINKLER SYSTEM IN ACCORDANCE  
WITH SECTION R313.3 OR NFPA13D. (R313,  
12.21A17(D))

THE SPRINKLER SYSTEM SHALL BE  
APPROVED BY PLUMBING DIV. PRIOR TO  
INSTALLATION.

## RFA

FLOOR AREA FOR BASE LINE HILLSIDE ORDINANCE (FLOOR AREA WITHIN EXTERIOR WALLS )	
LOT SIZE 23,427.1 SQ FT	LOT COVERAGE 23,427.1 SQ FT LOT COVERAGE 40%
APPROVED MAX. RESIDENTIAL FLOOR AREA PER SLOPE ANALYSIS = 6,336 SF	23,427.1 SQ FT X .40 =9,371 SF MAX. ALLOWABLE LOT COVERAGE =4,975 SF CREDITS
FIRST FLOOR COVERED LOGGIA GARAGE	4,414 562 409+252 5,637 -316.8 (5% MAX RFA=6,336x5%) -400 (MAX 400) -716.8 4414+562+252+409-716.8=4,920.2
	4,920.2 SF < 6,336 SF

PROPOSED BASEMENT EXCLUDED =1290 SF

## FLOOR AREA PER BUILDING CODE (FLOOR AREA INCLUDING EXTERIOR WALLS )

HOUSE FLOOR AREA	TOTAL
FIRST FLOOR	4,920.2 SQUARE FEET
	TOTAL 4,913 SQUARE FEET

FLOOR AREA PER ZONING CODE(FLOOR AREA WITHIN EXTERIOR WALLS )	
HOUSE FLOOR AREA	TOTAL
FIRST FLOOR	4,920.2 SQUARE FEET
BASEMENT	1290 SQUARE FEET
TOTAL	5,704 R3 SQUARE FEET
COVERED PORCH	6,210.2 SQUARE FEET
	GARAGE 661 SF-U

VERTOCH DESIGN ARCHITECTS INC.  
1423 # CLOVERFIELD BLVD.  
SANTA MONICA, CA 90404  
TEL: 310 829-6051 FAX: 310 829-2812

RESIDENCE @  
1111 LAS PULGAS PL  
LOS ANGELES, CA, 90272

COVER SHEET

DRAWN:  
PROJECT:  
CHECKED:  
REVISED:  
DATE: JUNE 22, 2015  
REVISION DATE:  
SHEET NO:  
A-0.0

## GENERAL NOTES

- The drawings and specifications constitute only a part of the contract documents as identified in the owner/contractor agreement. The contractor is responsible for requirements set forth in the other instruments of the contract documents. Discrepancies in the documents shall be reported to VERTOCH DESIGN ARCHITECTS INC. at once for resolution.
- Contractor shall verify dimensions and existing conditions at the project site prior to bid submittal and start of construction. Contractor shall notify VERTOCH DESIGN ARCHITECTS INC. of any discrepancies for clarifications.
- Consultant work that is not part of the contract documents executed by this agreement has not been coordinated by VERTOCH DESIGN ARCHITECTS INC. contractor shall notify VERTOCH DESIGN ARCHITECTS INC. of any discrepancies that prevent execution of work covered by these documents.
- Contractor shall coordinate with other contractors directly and separately employed by owner for timely storage and installation of their products.
- At the time of bid submittal the contractor shall advise VERTOCH DESIGN ARCHITECTS INC. (In writing) of any specified materials or equipment which are either unavailable or will cause a delay in the construction completion schedule.
- Immediately upon being awarded the contract, the contractor shall prepare and submit to VERTOCH DESIGN ARCHITECTS INC. construction progress schedule. The construction schedule shall be continuously updated and posted on the job.
- Contractor shall provide protection during construction in accordance with division 44 of the Los Angeles building code.
- The contractor shall be responsible for conformance, with inspection requirements for the city of Los Angeles where the plans call for on site inspection by professional engineers, the contractor shall be responsible for retaining the engineers and securing their respective written approvals for work in progress.
- Contractor shall not scale the drawings. Dimensions of the floor plans are shown on the face of stud and outside of foundation wall unless noted otherwise.
- Contractor shall comply with shop drawing and sample submittal requirements as identified in division 1 of the construction specifications.
- Contractor shall be responsible for correction of work on his own expense for work installed in conflict with the contract documents.
- Contractor shall check and verify size and location of duct openings and plumbing runs with mechanical contractor before framing walls and ceilings. Duct openings in fire rated walls shall have fire dampers. Seal between ducts and partitions where required.
- Contractor shall provide and locate access panels as required after installation of mechanical ducts, plumbing and electrical work. VERTOCH DESIGN ARCHITECTS INC. shall approve location.
- Contractor shall provide all necessary blocking, stiffeners, bracing, framing, hangers, or other support for all fixtures, equipment, cabinetry, furnishings and other items requiring the same.
- Contractor shall provide plywood backboard required in telephone and electrical equipment room as documented on the electrical drawings.
- ALL ELECTRICAL TO FOLLOW CURRENT LOCAL & NATIONAL CODE REQUIREMENTS, INCLUDING MAIN & SUB PANELS & ALL UNDERGROUND CONNECTION**
- Contractor shall provide and install rough plumbing and final hook-up for all specified fixtures and appliances, and shall supply all such fixtures on appliances, where required, provide minimum additional partition thickness or furring for plumbing walls.
- ALL PLUMBING TO FOLLOW CURRENT LOCAL & NATIONAL CODE REQUIREMENTS.**
- All interior wall and ceiling finishes shall comply with division 42 of the Los Angeles building code.
- Fire resistant construction requirements shall be adhered to. Occupancy separations and openings in separation shall conform.
- All insulation shall be combustible.
- A smoke detector shall be located in all sleeping rooms and areas leading to sleeping rooms. all detectors shall be permanently wired to the building. (See electrical drawings)
- Under floor ventilation openings shall be provided at 1-1/2 square feet for each 25 linear feet of exterior wall: 1/2" wire mesh grilles; see architectural detail.
- Attic ventilation shall be provided by continuous vent at underside of soffit: 1/2" wire mesh grilles; see architectural detail.
- Under floor access panels and area ways shall be provided as called for on the plans; in addition, 18" X 24" clear crawl openings shall be provided where interior under floor foundations or crib walls restrict access to under floor access.
- Door opening into required 1-hour fire resistive corridor shall be protected with a smoke of draft stop fire assembly having a 20 minute rating.
- Enclosed useable space under interior stairs shall have 1-hour fire-resistive construction at walls and ceiling. Clothes chute shall be lined on the inside with gypsum wallboard w/such lining covered with not less than no. 20 galv. sheet metal gauge with all joints in such sheet metal locklocked. All openings into any such enclosure shall be protected by metal doors with metal frames.
- Top of chimney shall extend min. 2'-0" above any roof within 10'-0". Spark arrester shall be provided.
- 5 air change/hr vent for bathrooms w/o windows shall be provided.
- Glazed openings within 40" of the door lock when the door is in the closed position shall be fully tempered.
- All sliding windows shall be provided with a device in track to prevent removal of panel in the locked position.
- Swinging wood doors shall comply with security requirements outlined in section 91.6711 of the Los Angeles building code.
- Glass doors, adjacent panels and all glazed panels within 18" of the floor, shall be tempered glass.
- Windows with sills less than 5'-0" above tub or shower floor shall be tempered.

## SYMBOLS



VERTOCH DESIGN ARCHITECTS INC.

1423 #A CLOVERFIELD BLVD.

SANTA MONICA, CA 90404

TEL: 310 829-6051 FAX: 310 829-2812

RESIDENCE @  
1111 LAS PULGAS SPL  
LOS ANGELES, CA, 90272

## PROJECT TO COMPLY W/ LABC 2014 CODE

**LDCP** City of Los Angeles Department of City Planning  
1/9/2015 PARCEL PROFILE REPORT

PARCEL PROFILE INFORMATION

Lot Number: 129B121  
Lot/Parc Area (Calculated): 23,100.40 sq ft  
Assessor Parcel No.: 44200120024  
Map Reference: M 837-4600  
Lot: 2  
Sublot: 1  
Lot/Cult Ref.: 129B121  
Map Sheet: 129B121

RECENT ACTIVITY

None

CASE NUMBER

CPC-09899  
CPC-09900-CA  
CPC-09901-CA  
CPC-09902-CA  
ENR-2009-623-ND  
ENR-2010-646-ND  
NOVA-09-072-ND

PROPERTY INFORMATION

Community Plan Area: Bonneview - Pacific Palisades  
Neighborhood Council: West Los Angeles  
Council District: CD 11 - Westside  
LACDP District Office: West Los Angeles

Special Notes: None  
Zoning Information (2): None  
Lot/Cult Lines: None Residential  
General Use: Residential  
Building Type: Residential  
Baseline Vehicle Ordinance: Yes  
Speeds Per Axis: None  
Speed Limit: None  
Lot/Cult Use: Zoning  
Lot/Cult Use: Residential  
Historic Preservation Review: No  
Other Historic Designations: None  
Mile Art Certified: None  
Cultural Resources Inventory Districts: None  
CDD - Community Design Overlay: None  
Streetname: None  
Adaptive Reuse Inventory Area: None  
Control City Parks: No  
Downzone Parking: No  
500 ft Infill Zone: No  
500 ft Overlay Zone: No

This report is subject to the California Public Records Act. For more information, please refer to the terms and conditions of access by clicking here.

[www.lacity.org/](http://www.lacity.org/) | [cityplanning.lacity.org/](http://cityplanning.lacity.org/)

## LA DBS The City of Los Angeles Department of Building and Safety

**How To Use Prevailing Setback Calculator**

Click the "Add Lot" button to add lots to the calculator. Enter the lot number, the frontage dimension and the corresponding front yard setback for each lot. Enter the frontage and setback dimensions in feet using decimals (e.g. 23.89). Inches to Feet Conversion Chart

For each lot enter the frontage and setback.

If the frontage of all the lots with front yard setback of 10' or more than 10' from each other is less than 40% of the total frontage, then there is no need to calculate. In that case the front yard is a percentage of the depth of the lot according to the zoning of the lot as prescribed in the Zoning Code.

Please read the Prevailing Setback Calculator Disclaimer

Add Lot	Enter the Lot information after adding rows:	
Lot	Frontage (ft)	Setback (ft)
1	61.35	24.54
2	77.96	0
3	81.1	13.45
4	90.58	21.03
5	73.36	22.45
6	65.91	18.90
7	66.60	20.65
8	100.76	31.29
9	57.38	22.09
10	57.38	22.09
11	32.84	33.71

**Results**

**Number of lots: 10**  
Prevailing Setback: 19.76 ft  
Calculation  
Total no of lots entered: 10  
Total no of lots with front yard setback of 10' or more than 10' from each other: 4  
40% from total frontage entered: 283.14 ft  
No of lots used in the calculation: 6  
Setback range used: 13.45 ft - 22.45 ft  
Total frontage used in the calculation: 434.93 ft

**Lots Used**

Lot	Frontage (ft)	Setback (ft)
3	81.1	13.45
4	90.58	21.03
5	73.36	22.45
6	65.91	18.90
7	66.60	20.65
10	57.38	22.09

**View Calculation Details**

**Clear** **Calculate**

To find out about Zoning Codes, click here ([http://www.amlegal.com/nx/gateway.dll?Itemplate&f=defult.htm&id=amlegal.lapz\\_c](http://www.amlegal.com/nx/gateway.dll?Itemplate&f=defult.htm&id=amlegal.lapz_c))  
To find out about the Prevailing Setback Information Bulletin, click here ([http://www.ladbs.org/LADBSWBLADBS\\_Forms/InformationBulletins/LB-P-ZC2002-015PrevailingSetback.pdf](http://www.ladbs.org/LADBSWBLADBS_Forms/InformationBulletins/LB-P-ZC2002-015PrevailingSetback.pdf))

**Back**

<https://www.ladbservices2.lacity.org/OnlineServices/PrevailingSetbackCalculator/Prevail...> 2/18/2015

**A. GENERAL**

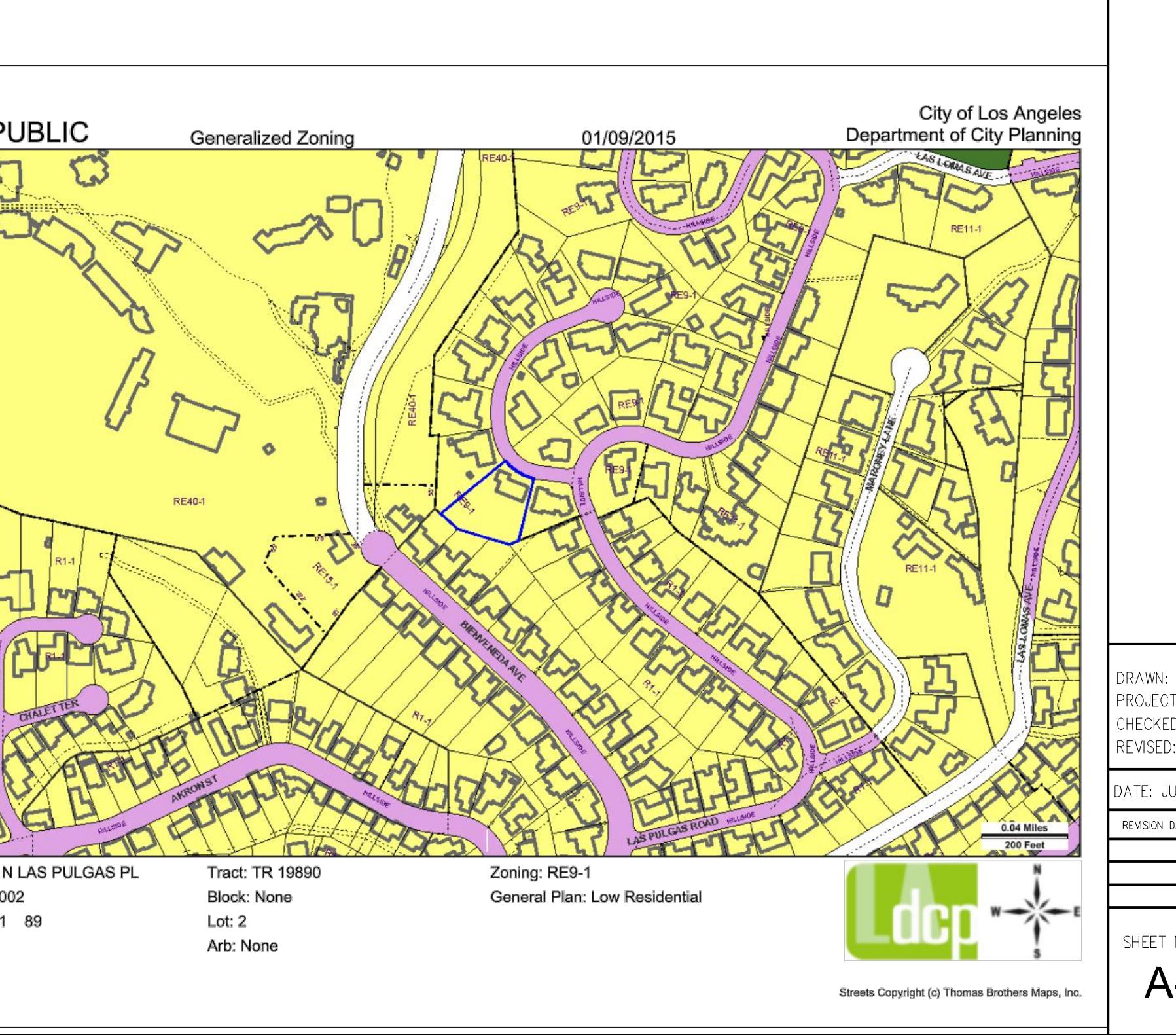
- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facility (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses. Obtain approval from Real Estate Business Unit of DWP (213) 367-0562.
- Obtain permits from Public Works prior to Construction for:
  - Temporary pedestrian protection as required by LABC Section 3306.
  - For any construction near any street or public area.
- Outlets along wall counter space, island and peninsula counter space in kitchens shall have a maximum spacing of 48" (210-52 NEC).
- The first light in new and remodeled bathrooms and kitchens shall be an energy efficient light meeting a minimum of 40 Lumens per watt (e.g. fluorescent lamp). (T-24, Sec. 130(b) & 150(k))
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303. or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
- A copy of the evaluation report and/or conditions of listing shall be made available at the job site.
- The sprinkler system shall be approved by Plumbing Division prior to installation.
- Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3).
- Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4).
- Automatic garage door openers, if provided, shall be listed in accordance with UL 325. (R309.4)
- Los Angeles City Electrical Test Lab Research Report is required to use an electro-mechanical lift for provided parking spaces.
- A "maintenance of vehicle lift system (2-levels or more) affidavit" shall be approved and recorded prior to issuing a building permit.
- Ducts shall be constructed, installed and insulated according to chapter 10 of the 1979 Uniform Mechanical Code. All joints of the duct system shall be tightly sealed with mastic.
- Storage type water heaters and storage tanks for solar water heating systems shall be externally wrapped with insulation of  $r=12$  or greater, unless internally insulated.
- Provide minimum  $r=3$  insulation on water heater inlet and outlet pipe for first five feet in unconditioned space.
- Insulate recirculating hot water piping in unheated areas.
- Gas filtered household heating and cooling appliances, shower heads and faucets shall comply with the appliance efficiency standards.
- All exterior plastering work shall be in accordance with division 4708, and table 47-F of the city of Los Angeles building code.
- Provide one attic access opening in second floor ceiling as indicated on drawing. Minimum opening size 22" x 30" minimum clear head room above the access opening.
- Provide minimum  $r=3$  insulation on water heater inlet and outlet pipe for first five feet in unconditioned space.
- Gas filtered household heating and cooling appliances, shower heads and faucets shall comply with the appliance efficiency standards.
- General lighting in kitchen and bathrooms shall have an efficiency of not less than 25 lumens/watts.
- Thermostatically controlled heating or cooling systems (except heat pumps) shall have an automatic thermostat with a clock mechanism which can be manually programmed to automatically set back the thermostat set points for at least two periods within 24 hours.
- There shall be no trenches or excavation into which a person is required to descend, or obtain necessary permit from the State of California, Division of Industrial Safety prior to the issuance of building permit.
- Swinging doors and windows to the exterior or to unconditioned spaces shall be fully weatherstripped, gasketed, or otherwise treated to limit air infiltration.
- All gas appliances except water heaters and range top burners shall be equipped with intermittent devices.
- Provide back draft dampers in all fan systems exhausting air from energy envelope.
- Garage areas shall be equipped with louvered or screened openings not less than 60 square inches in area for 200 square feet of floor area. Such openings shall be located in an exterior wall or connected to a continuous duct leading to the outside air.
- Swinging doors.
  - Door stops of in-swinging doors shall be of one piece construction with the jamb or joined by rabbet to the jamb.
  - All pin-type hinges which are accessible from outside the secured area when the door is closed shall have non-removable hinge pins. In addition, they shall have a minimum 1/4" diameter steel jamb studs with 1/4" minimum projection unless otherwise required to prevent removal of the door if the hinge pins are removed.
  - The strike plate for the latches and the holding device for projecting deadbolts in wood construction shall be secured to the jamb and the wall framing with screws not less than 2-1/2" in length.
  - Deadbolts shall contain hardened inserts.
  - Straight deadbolts shall have a minimum throw of 1" and an embedment of not less than 5/8".
  - A hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4".
  - Wood flush-type doors shall be 1-3/8" thick minimum with a solid core of wood, or particle board of 25 psf density.
  - Wood panel-type doors shall be 1-3/8" thick minimum with all panels fabricated from material not less than 3/8" in thickness provided all shaped portions of the panels are minimum 1/4" thick.
  - Ferrous metal doors shall have surfaces not less than 16 gauge in thickness.
  - Narrow-framed glass doors shall have a single pane of minimum 1/4" fully tempered glass.
  - Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools.
  - Sliding glass doors and windows shall be equipped with locking devices and shall be constructed and installed that they remain intact and engaged when subjected to the tests specified in 91.6731 and 91.6732.
  - Sliding glass doors and windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position.
  - Louvered windows shall be protected by metal bars or grills which are constructed to preclude human entry.
  - Other operable windows shall be provided with supplemental locking devices. In G occupancies, such devices shall be glide bars, bolts, cross-bars, and/or padlocks with minimum 9/32" hardened steel hasps.
  - Screens, barricades, or fences made of material which preclude human climbing shall be provided at every portion of every roof, balcony, or similarly surface which is within 8 feet of a utility pole or similar structure.
  - Additional Energy Conservation Notes:
    - The building design meets the requirements of title 24, part 2, chapter 2-53 AND ALL CURRENT REQUIREMENTS
    - Insulation installer shall post in a conspicuous location in the buildings certificate signed by the installer and builder stating that the installation conforms with the requirements of title 24, chapter 2-53 and that the materials installed conform with the requirements of title 20, chapter 2, subchapter 4, article 3.
    - All insulation materials shall be certified by the manufacturer as complying with the California Quality Standard for Insulating Material.

**B. MEANS OF EGRESS**

- Provide 32" wide doors to all interior accessible rooms within a dwelling unit.(LARC Section R311.2, LABC Section 6304.1)
- Provide emergency egress from sleeping rooms. Min. -24" clear ht, 20" clear width, 5.7 sq ft. min. area. (LARC Section R310, LABC Section 1029)
- Occupied roofs shall be provided with exits as required for stories.
- E. GRADING AND FOUNDATION**

  - If adverse soil conditions are encountered, a soils investigation report may be required. (LARC Section R401.4)
  - Foundation and floor slabs shall conform to the following or the recommendation of an approved soils report.
    - Depth of footings below the natural and finished grades shall not be less than 24 inches for exterior and 18 inches for interior footings.
    - Exterior walls and interior bearing walls shall be supported on continuous footings.
    - Footings shall be reinforced with a minimum 4 - 1/2 inch diameter deformed reinforcing bars. Two bars shall be placed within 4 inches of the bottom of the footing and two bars within 4 inches of the top of the footings.
    - The soil below an interior concrete slab shall be saturated with moisture to a depth of 18 inches prior to placing the concrete.
    - Concrete floor slabs on grade shall be placed on a 4" fill of coarse aggregate or on a moisture barrier membrane. The slabs shall be at least 3/8 inch thick and shall be reinforced with #4 rebars at 16 inch on center in both directions.
    - Concrete slabs on expansive soil, compact fill or slopes over 1:10 shall be placed on a 4-inch fill of coarse aggregate or on a 2" sand bed covered moisture barrier membrane. The slabs shall be at least 3/2 inches thick and reinforced with #4 bars spaced at intervals not exceeding 16 inches on center each way.
    - Where required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), (R314.6.2)
    - An approved smoke alarm shall be installed in each sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that activation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. (R314.14)
    - An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarm shall be provided outside of each separate dwelling unit and on every level of a dwelling unit including basements. (R315.2.2)
    - Approved carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2.2)
    - 50 percent of nonhazardous construction and demolition waste shall be recycled and/or salvaged for reuse in accordance with the California Green Building Code, Chapter 4, Division 4.4. (R324)
  - H. STRUCTURAL REQUIREMENTS**

    - Provide lead hole 40%-70% of threaded shank dia. and full dia. for smooth shank ported Lag Bolts.
    - All bolt holes, other than Lag Bolt holes, shall be drilled 1/32 to 1/16" oversized.
    - Provide lateral support for the top of interior non-bearing walls when manufactured trusses are used. (LARC Section 1607.13)
    - Provide double posts under parallel bearing partitions. (LARC Sec. R502.4, LABC Section 2512.1)
    - Provide rain gutters and convey rain water to the street.(LARC R903.4, LABC 1503.4.1, 7013.9)
    - Provide double posts under parallel bearing partitions. (LARC Sec. R502.4, LABC Section 2308.4)
    - Provide full length studs (balloon frame) on exterior walls of rooms with vaulted ceiling. (LARC Section R602.3, LABC Section 2308.9, Table 2308.9.1)
    - All roof and shear wall nailing shall utilize common nails or galvanized box. Nail guns using "Clipped head" or "Sinker" nails are not acceptable. (LARC Table R602.3(1), LABC Table 2304.9)
    - Roof nailing to be inspected before covering. Face grain of plywood shall be Perpendicular to the grain. Fixed or operable panels in swinging, sliding and bi-fold doors and fixed or operable panels adjacent to doors.
    - Fixed or operable window panels larger than 1/4" thick shall be protected against the passage of rodents by closing such openings in accordance with the California Green Building Standards Code, Chapter 4 Division 4.3 (R330.2)
    - Provide corrosion resistant screw sweep below the stucco a minimum of 4" above earth or 2" above paved area. (LARC Section R703.6.2.1, LABC Section 2512.1)
    - Provide rain gutters and convey rain water to the street.(LARC R903.4, LABC 1503.4.1, 7013.9)
    - Provide double posts under parallel bearing partitions. (LARC Sec. R502.4, LABC Section 2308.4)
    - Each light fixture shall be identified by a permanent label that specifies the labeler, and states that safety glazing material has been utilized in such installations.
    - Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating (research report not required). (R308.6.9)
    - Pre-fab fireplaces are required to have manufacturer, model, and Underwriter Laboratories certification (or ICC).
    - Provide ultra low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
    - A min 12' sq. access panel to the bathtub trap slip joint connection is required.(Plumbing Code Section 405.2)
    - Provide ultra low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
    - Structural wood shear walls shall be covered with minimum two layers 15# felt underlayment prior to placing finish material.
    - Shop welds must be performed in a LA City Bldg. Dept. licensed fabricator's shop.
    - Foundation walls shall be Douglas-Fir (Group II lumber) pressure treated or foundation grade Redwood. (LABC Section 2304.11.24)
    - Hold-down connector bolts into wood framing require approved plate washers; and hold-downs shall be tightened just prior to covering the wall framing.
    - All bolt holes shall be drilled a maximum of 1/16" oversized AND Inspector shall verify site.
    - Cutting, Notching, and Boring of Wood Framing Members. (LARC R602.6, LABC Section 2089.10, 11)



BOARD OF BUILDING AND SAFETY COMMISSIONERS	CITY OF LOS ANGELES CALIFORNIA		DEPARTMENT OF BUILDING AND SAFETY 201 NORTH FIGUEROA STREET LOS ANGELES, CA 90012
VAN AMBATIELOS PRESIDENT	E. FELICIA BRANNON VICE-PRESIDENT	ERIC GARCETTI MAYOR	RAYMOND S. CHAN, G.E., S.E. GENERAL MANAGER FRANK BUSH EXECUTIVE OFFICER
GEOLOGY AND SOILS REPORT APPROVAL LETTER			
March 17, 2015			
LOG # 87385 SOILS/GEOLOGY FILE - 2 LAN-Exempt			
Danny Seo c/o Vertoich Design Architects 1423 Cloverfield Blvd., #A Santa Monica, CA 90404			
TRACT: 19890 LOT(S): 2 LOCATION: 1111 N Las Pulgas Place			
CURRENT REFERENCE REPORT/LETTER(S)	REPORT No.	DATE(S) OF DOCUMENT	PREPARED BY
Geology/Soils Report	IC 14164-1	02/23/2015	Irvine Geotechnical, Inc.
Soils Laboratory Report	SL14.1612	12/23/2014	Soil Labworks, LLC
<p>The Grading Division of the Department of Building and Safety has reviewed the referenced report dated February 23, 2015, providing recommendations for the proposed one story residence over basement level, retaining walls, swimming pool.</p> <p>The earth materials at the subsurface exploration locations consist of fill and natural soil overlying Topanga Formation mudstone bedrock.</p> <p>The consultants recommend to support the proposed structure(s) on conventional and/or drilled-pile foundations bearing on competent bedrock.</p> <p>The site is located in a designated seismically induced landslide hazard zone as shown on the "Seismic Hazard Zones" map issued by the State of California. However, the proposed construction is currently exempt (P/BC 2011-044).</p> <p>The referenced report dated February 23, 2015, is acceptable, provided the following conditions are complied with during site development:</p> <p>(Note: Numbers in parenthesis () refer to applicable sections of the 2014 City of LA Building Code. P/BC numbers refer to the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)</p>			
LADS G-5 (Rev. 08/05/2014) AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER			

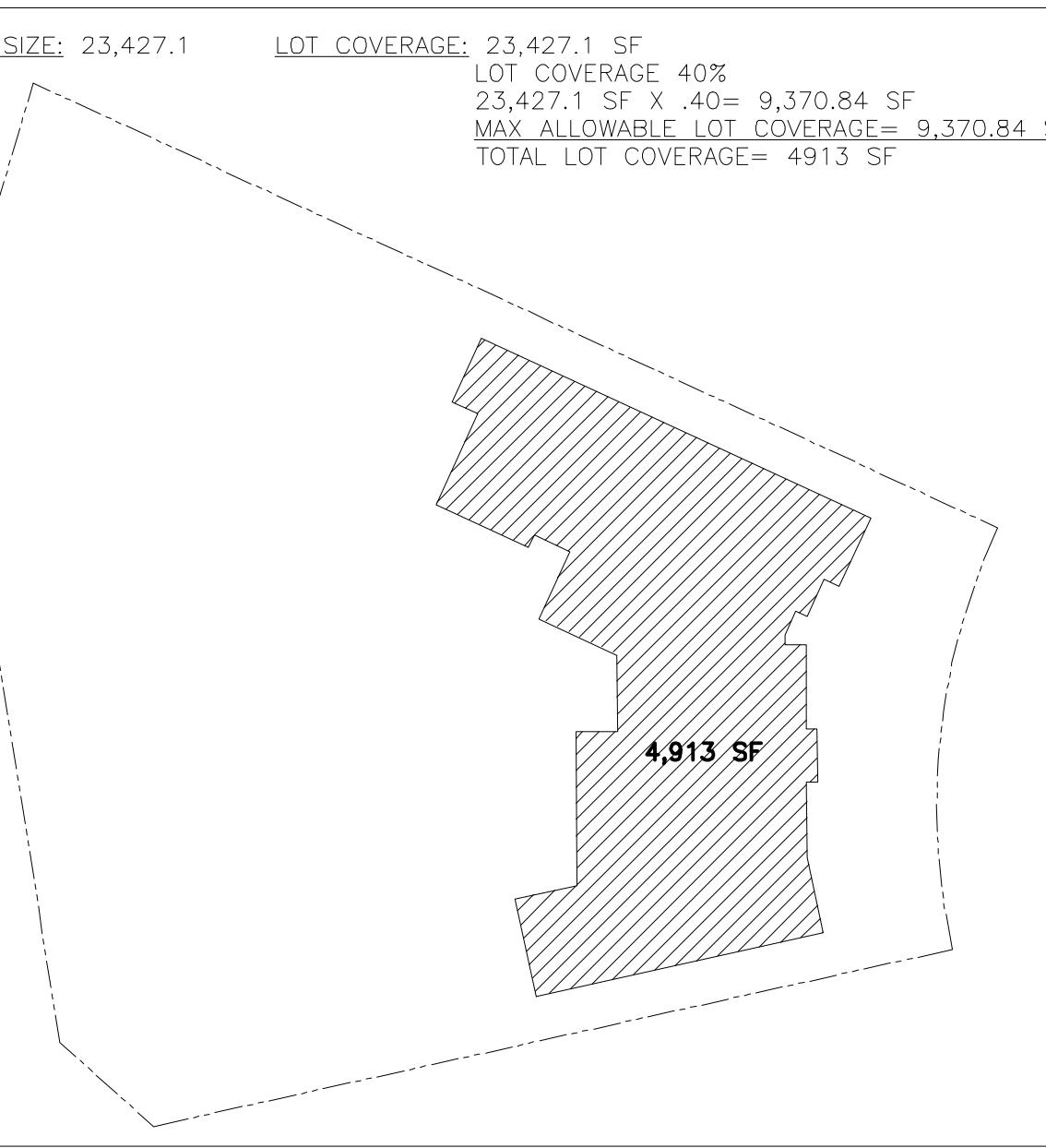
Page 2  
1111 N Las Pulgas Place

- Conformance with the Zoning Code Section 12.21.C8, which limits the heights and number of retaining walls, will be determined during structural plan check.
- The geologist and soils engineer shall review and approve the detailed plans prior to issuance of any permits. This approval shall be by signature on the plans which clearly indicates that the geologist and soils engineer have reviewed the plans prepared by the design engineer and that the plans include the recommendations contained in their reports. (7006.1)
- All recommendations of the reports which are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.
- A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans. Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit. (7006.1)
- A grading permit shall be obtained for all structural fill and retaining wall backfill. (106.1.2)
- All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density (D1556). Placement of gravel in lieu of compacted fill is allowed only if complying with Section 91.7011.3 of the Code. (7011.3)
- Existing uncertified fill shall not be used for support of footings, concrete slabs or new fill. (1809.2)
- Drainage in conformance with the provisions of the Code shall be maintained during and subsequent to construction. (7013.12)
- Grading shall be scheduled for completion prior to the start of the rainy season, or detailed temporary erosion control plans shall be filed in a manner satisfactory to the Grading Division of the Department and the Department of Public Works, Bureau of Engineering, B-Permit Section, for any grading work in excess of 200 cu yd. (7007.1)  
1828 Sawtelle Blvd., 3rd Floor, West LA (310) 575-8388
- All loose foundation excavation material shall be removed prior to commencement of framing. Slopes disturbed by construction activities shall be restored. (7005.3)
- The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the State Construction Safety Orders enforced by the State Division of Industrial Safety. (3301.1)
- The soils engineer shall review and approve the shoring and/or underpinning plans prior to issuance of the permit. (3307.3.2)
- Prior to the issuance of the permits, the soils engineer and/or the structural designer shall evaluate the surcharge loads used in the report calculations for the design of the retaining walls and shoring. If the surcharge loads used in the calculations do not conform to the

Page 3  
1111 N Las Pulgas Place

- actual surcharge loads, the soil engineer shall submit a supplementary report with revised recommendations to the Department for approval.
- Unsurcharged temporary excavations over 5 feet exposing fill shall be trimmed back at a gradient not exceeding 1(H):1(V), as recommended.
- Unsurcharged temporary excavations over 7 feet exposing bedrock shall be trimmed back at a gradient not exceeding 1(H):1(V), as recommended.
- South facing excavations in bedrock may unsupport bedding in the down dip direction, therefore south facing excavations in bedrock shall be trimmed along bedding (45-55 degrees).
- Shoring shall be designed for a minimum EFP of 30 PCF; all surcharge loads shall be included into the design, as recommended. Total lateral load on shoring piles shall be determined by multiplying the recommended EFP by the pile spacing.
- A shoring monitoring program shall be implemented to the satisfaction of the soils engineer.
- All foundations shall derive entire support from competent bedrock, as recommended and approved by the geologist and soils engineer by inspection.
- Proposed friction piles shall be founded a minimum of 8 feet into competent bedrock, as recommended.
- Shoring piles shall be founded a minimum of 6 feet into competent bedrock below the base of the excavation, as recommended.
- Foundations adjacent to a descending slope steeper than 3:1 (H:V) in gradient shall be a minimum distance of one-third the vertical height of the slope but need not exceed 40 feet measured horizontally from the footing bottom to the face of the slope (1808.7.2)
- Buildings adjacent to ascending slopes steeper than 3:1 (H:V) in gradient shall be set back from the toe of the slope a level distance equal to one-half the vertical height of the slope, but need not exceed 15 feet (1808.7.1)
- Pile caisson and/or isolated foundation ties are required by Code Sections 1809.13 and/or 1810.3.13. Exceptions and modification to this requirement are provided in Information Bulletin P/BC 2014-030.
- Pile and/or caisson shafts shall be designed for a lateral load of 1000 pounds per linear foot of shaft exposed to fill, soil and weathered bedrock. (P/BC 2014-050)
- When water over 3 inches in depth is present in drilled pile holes, a concrete mix with a strength of 1000 p.s.i. over the design p.s.i. shall be tremied from the bottom up; an admixture that reduces the problem of segregation of paste/aggregates and dilution of paste shall be included. (1808.8.3)
- Existing uncertified fill shall not be used for lateral support of deep foundation. (1810.2.1)

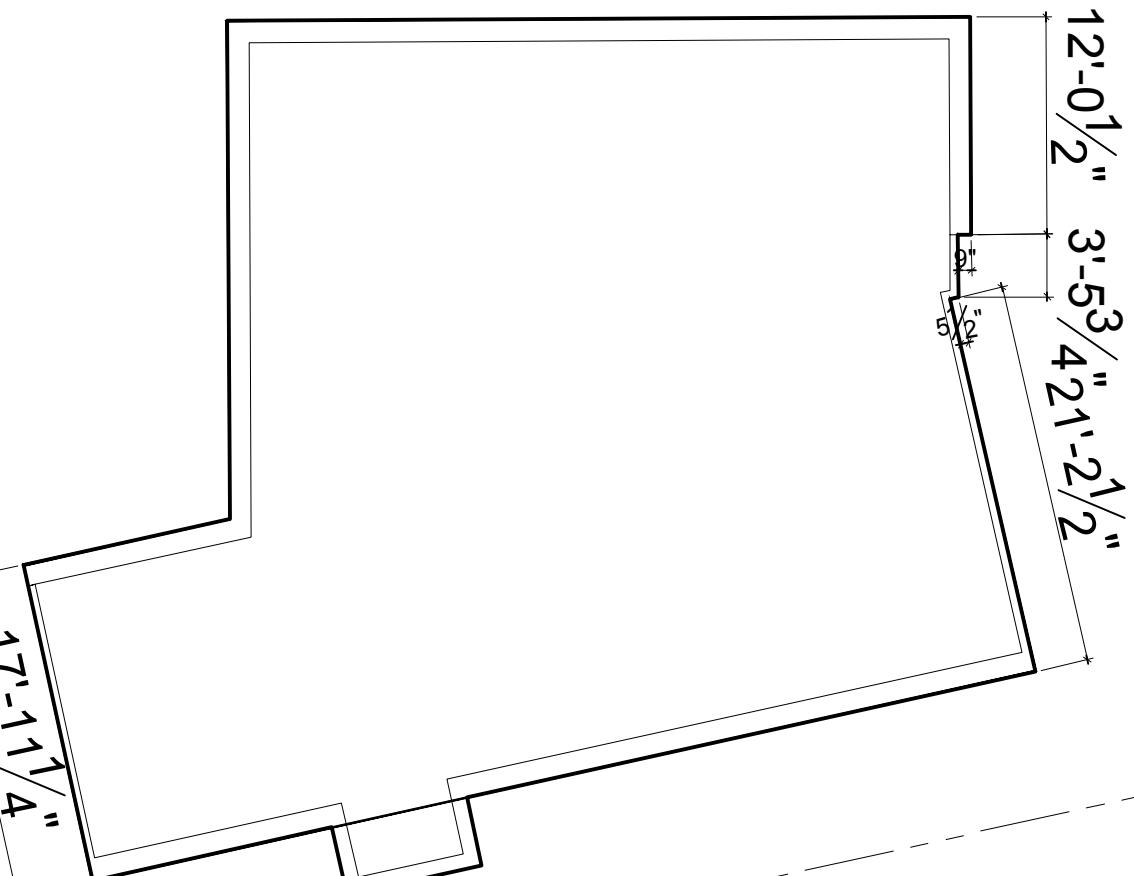
BHO LOT COVERAGE



BHO BASEMENT EXEMPTED FROM FAR

BASEMENT PERIMETER  
ALLOWABLE EXCEEDING 3'-0" ABOVE ANG  
193.6'  
193.6' X .4 = 77.36'

ACTUAL EXCEEDING 3'-0" ABOVE ANG  
43.79' < 77.36'



Page 4  
1111 N Las Pulgas Place

- to traditionally accepted methods of draining retained earth.
- The proposed swimming pool shall be designed for a freestanding condition. (1808.7.3)
- Pool deck drainage shall be collected and conducted to an approved location via a non-erosive device. (7013.10)
- Pools adjacent to ascending slopes shall be set back from the toe of the slope a level distance equal to one-fourth the vertical height of the slope, but need not exceed 7.5 feet (1808.7.3).
- Pool foundations adjacent to a descending slope steeper than 3H:1V in gradient shall be a minimum distance of one-sixth the vertical height of the slope but need not exceed 20 feet measured horizontally from the footing bottom to the face of the slope (1808.7.3).
- All roof and pad drainage shall be conducted to the street in an acceptable manner; water shall not be dispersed on to descending slopes without specific approval from the Grading Division and the consulting geologist and soils engineer. (7013.10)
- All concentrated drainage shall be conducted in an approved device and disposed of in a manner approved by the LADBS. (7013.10)
- Sprinkler plans for irrigation shall be submitted and approved by the Mechanical Plan Check Section (7012.3.1).
- Any recommendations prepared by the geologist and/or the soils engineer for correction of geological hazards found during grading shall be submitted to the Grading Division of the Department for approval prior to utilization in the field. (7008.3)
- The geologist and soils engineer shall inspect all excavations to determine that conditions anticipated in the report have been encountered and to provide recommendations for the correction of hazards found during grading. (7008 & 1705.6)
- All friction pile or caisson drilling and installation shall be performed under the inspection and approval of the geologist and soils engineer. The geologist shall indicate the distance that friction piles or caissons penetrate into competent bedrock in a written field memorandum. (1803.5.5, 1704.9)
- Prior to the pouring of concrete, a representative of the consulting soils engineer shall inspect and approve the footing excavations. He shall post a notice on the job site for the LADBS Building Inspector and the Contractor stating that the work so inspected meets the conditions of the report, but that no concrete shall be poured until the City Building Inspector has also inspected and approved the footing excavations. A written certification to this effect shall be filed with the Grading Division of the Department upon completion of the work. (108.9 & 7008.2)
- Prior to excavation, an initial inspection shall be called with LADBS Inspector at which time sequence of construction, shoring, pile installation, protection fences and dust and traffic control will be scheduled. (108.9.1)
- Prefabricated drainage composites (Miradrain) (Geotextiles) may be only used in addition

cc:  
Vertoich Design Architects, Applicant  
Irvine Geotechnical, Inc., Project Consultant  
WL District Office

JTW/YL:jtw/y  
Log No. 87385  
213-482-0480

JEFFREY T. WILSON  
Engineering Geologist I  
YING LIU  
Engineering Geologist Associate II

## PUBLIC WORKS STANDARD NOTES

- ALL LABOR, EQUIPMENT, AND MATERIAL REQUIRED FOR OFF-SITE IMPROVEMENTS ARE THE RESPONSIBILITY OF THE DEVELOPER.
- THE OFFSITE WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS/ DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION AS AMENDED BY THE CITY OF LOS ANGELES AND THE CITY OF LOS ANGELES STANDARDS.
- ULTRA-LOW FLOW PLUMBING FIXTURES ARE REQUIRED ON ALL NEW DEVELOPMENT AND REMODELING WHERE PLUMBING IS TO BE ADDED. (MAX. 1.6 GALTOLITES AND 1.0 GAL URINALS AND LOW FLOW SHOWER HEADS).
- NO WORK SHALL BE DONE WITHIN THE PUBLIC RIGHT-OF-WAY WITHOUT THE PRIOR APPROVAL OF THE ENVIRONMENTAL AND PUBLIC WORKS MANAGEMENT DEPT.
- TREES WITHIN THE PUBLIC RIGHT-OF-WAY CANNOT BE REMOVED BY THE PROPERTY OWNER FOR ANY REASON WITHOUT THE WRITTEN APPROVAL OF THE PARKS AND SPORTS DIVISION OR THE DIRECTOR OF ENVIRONMENTAL AND PUBLIC WORKS MANAGEMENT.

## GENERAL SITE PLAN NOTES

SEE LANDSCAPE DRAWINGS-IF APPLICABLE

A SEPARATE SET OF LANDSCAPE DRAWINGS WILL COMPLETE THIS ARCHITECTURAL SITE PLAN INCLUDING INFORMATION ON POOL/SPA GRADING, DRAINAGE, RETAINING WALLS, Hardscape, Planting Material, Lighting AND IRRIGATION.

CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND LANDSCAPE DRAWINGS.

ALL GRADES SHALL SLOP 2% MINIMUM AWAY FROM BUILDING AND BE A MINIMUM OF 8" BELOW WOOD SILL PLATE AT PERIMETER OF BUILDING. SEE GRADING PLAN FOR ADDITIONAL INFORMATION.

FOR GRADES SPECIFIED TO BE LESS THAN 8" FROM WOOD SILL PLATES AND FOR AREAS WHERE CONCRETE PAVING IS ADJACENT TO BUILDING, SILL PLATES SHALL BE PROJECTED WITH A CONTINUOUS STRIP OF 1/2" GRACE (1000 BITHINCH) WATERPROOFING MEMBRANE COVERED WITH 1/2" THICK SHEET METAL FLASHING BOTH PROJEICTING 6" BELOW WOOD SILL PLATE AND ABOVE GRADE. WIDTH OF WATERPROOFING WILL VARY ACCORDING TO GRADE ELEVATION.

## PERMIT

- THIS PERMIT APPLICATION IS FOR BUILDING PERMIT ONLY.
- THIS PERMIT APPLICATION DOES NOT INCLUDE LANDSCAPE ELEMENTS, Hardscape, Grading, POOL/SPA/FOUNTAINS, TENNIS COURT OR TREE REMOVAL. SEPARATE PERMITS AND APPLICATIONS WILL BE REQUIRED.
- THIS PERMIT APPLICATION DOES NOT INCLUDE MECHANICAL, PLUMBING, AND ELECTRICAL PERMITS.
- ARCHITECT WILL PROCESS PLANS THROUGH PLAN CHECK REVIEW FOR THE BUILDING PERMIT ONLY. CONTRACTOR WILL BE RESPONSIBLE TO SIGN AND OBTAIN THE BUILDING PERMIT ON BEHALF OF THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS INCLUDING ELECTRICAL, MECHANICAL, PLUMBING AND LANDSCAPE PERMITS. ANY APPLICATION FORMS OR DRAWINGS REQUIRED FOR SAID PERMITS WILL BE PREPARED BY THE SUBCONTRACTOR AND REMUNERATION SHALL BE INCLUDED IN BID.

**NOTE: DIMENSION IS TO FINISH MATERIAL FOR SETBACK: CONTRACTOR TO SETBACK FOUNDATION FOR APPROPRIATE EXTERIOR VENEER THICKNESS**

## SURVEYOR

A LICENSED SURVEYOR OR CIVIL ENGINEER SHALL LAY OUT THE STRUCTURES ON THE SITE AND SHALL PROVIDE A CERTIFICATE PLAN INDICATING THAT THE STRUCTURES ARE LOCATED IN ACCORDANCE WITH APPROVED PLANS. THE SURVEYOR SHALL ALSO CERTIFY COMPLIANCE ALL HEIGHT REQUIREMENTS, IF REQUIRED BY THE CITY OF LOS ANGELES.

## CONTRACTOR

VERIFY FRONT, REAR, SIDE YARDS, AND MAINTAIN ALL HEIGHT RESTRICTIONS. MEASURE FROM PROPERTY LINE TO FACE OF FINISH BUILDING MATERIAL. VERIFICATIONS TO BE CERTIFIED BY LICENSED CIVIL ENGINEER/SURVEYOR BEFORE SELLING FOUNDATION FORMS. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCY FROM THE PERMITTED SET OF PLANS.

## CIVIL ENGINEER

A LICENSED CIVIL ENGINEER TO DESIGN AND ENGINEER ANY SUMP PUMPS AND REQUIRED DRAIN LINKS FROM PUMP WHICH WILL BE INCLUDED ON THIS PROJECT.-IF REQUIRED

**SURVEY NOTE: CONTRACTOR TO SURVEY & VERIFY MAXIMUM HT. OF STRUCTURE FROM LOWEST POINT 5' OUT FROM STRUCTURE**

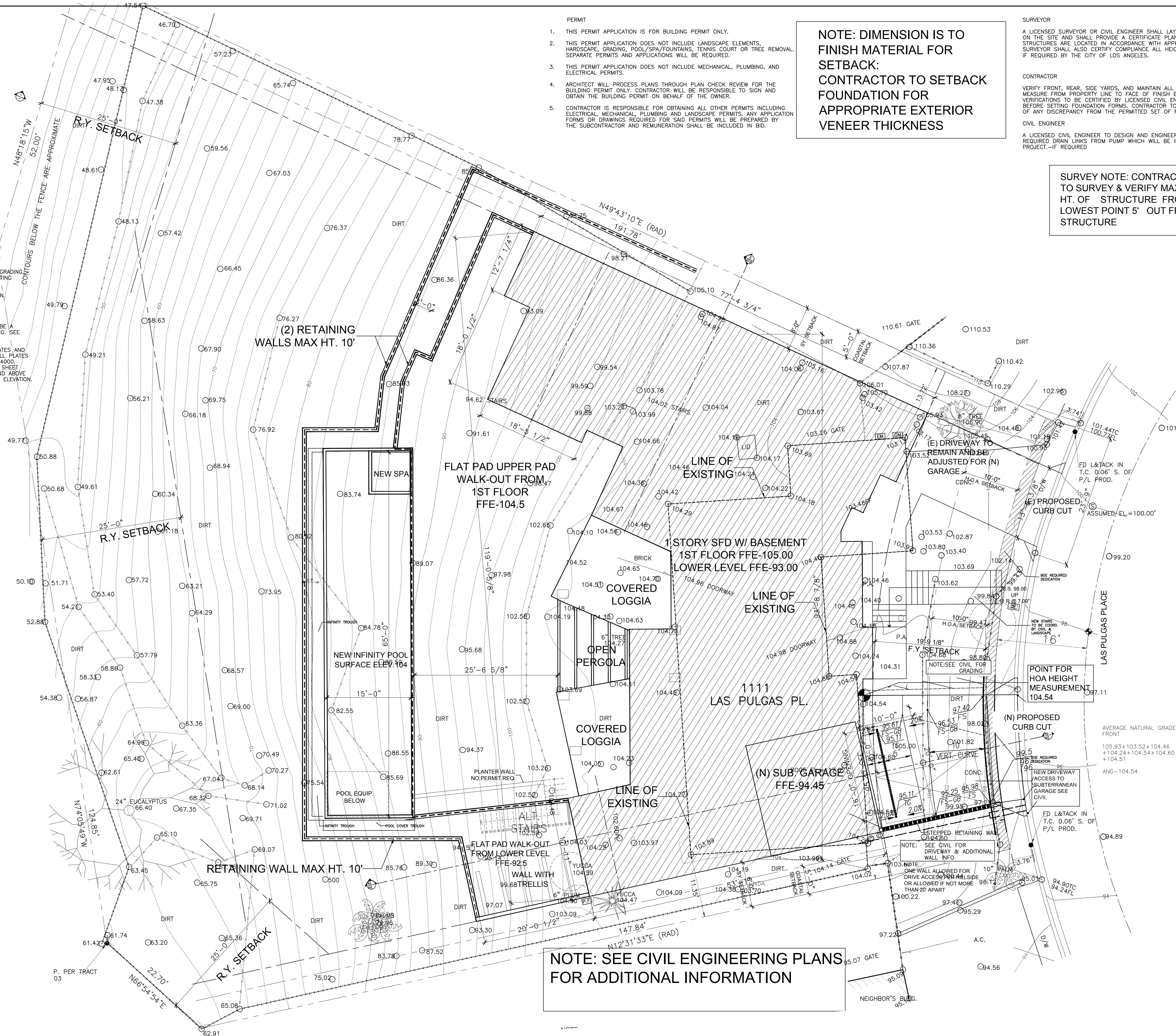
VERTOCH DESIGN ARCHITECTS INC.

1423 #A CLOVERFIELD BLVD.  
SANTA MONICA, CA 90404  
TEL: 310 829-6051 FAX: 310 829-2812

RESIDENCE @  
1111 LAS PULGAS PL.  
LOS ANGELES, CA, 90272

SITE PLAN

DRAWN:  
PROJECT:  
CHECKED:  
REVISED:  
DATE: JUNE 22, 2015  
REVISION DATE:  
SHEET NO:  
A-2.0



TOPOGRAPHIC SURVEY

SCALE: 1" = 8' NOVEMBER, 2014

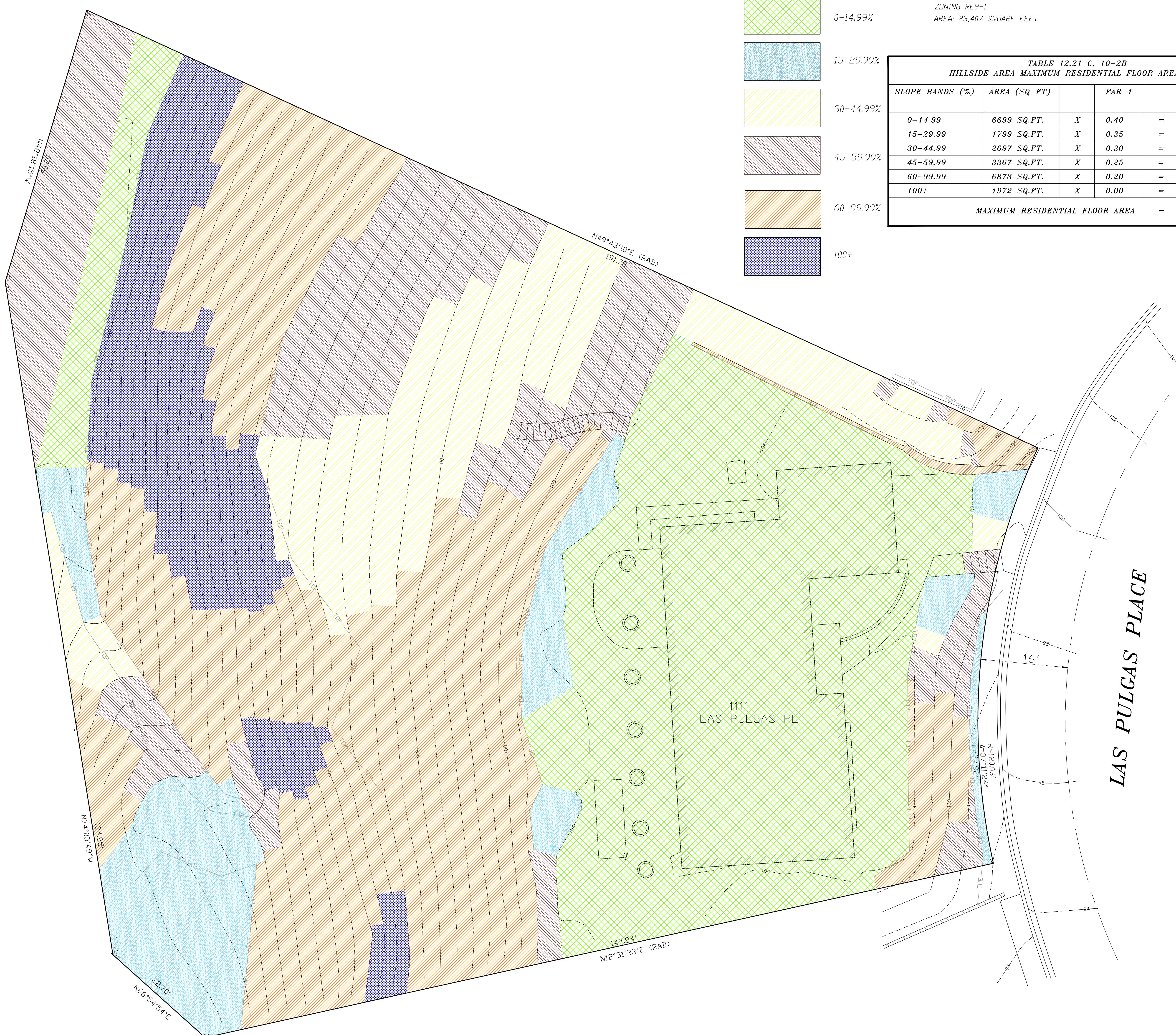


SLOPE ANALYSIS MAP

SCALE: 1' = 8' NOVEMBER, 2014

THIS SLOPE ANALYSIS MAP WAS PREPARED BY ME AND WAS ACCURATELY CALCULATED.  
ZONING RE9-1  
AREA: 23,407 SQUARE FEET

TABLE 12.21 C. 10-2B HILLSIDE AREA MAXIMUM RESIDENTIAL FLOOR AREA FORMULA				
SLOPE BANDS (%)	AREA (SQ.FT.)		FAR-1	RESIDENTIAL FLOOR AREA
0-14.99	6699 SQ.FT.	X	0.40	= 2680
15-29.99	1799 SQ.FT.	X	0.35	= 630
30-44.99	2697 SQ.FT.	X	0.30	= 809
45-59.99	3367 SQ.FT.	X	0.25	= 842
60-99.99	6873 SQ.FT.	X	0.20	= 1375
100+	1972 SQ.FT.	X	0.00	= 0
MAXIMUM RESIDENTIAL FLOOR AREA			=	6,336 SQ. FT.



LEGAL DESCRIPTION:  
LOT 2 OF TRACT NO. 19890, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 627, PAGES 46 THROUGH 50 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

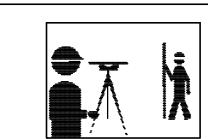
FOR:  
SCOTT BIRDWELL  
16640 BIENVENIDA PL.  
PACIFIC PALISADES, CA 90272

BY:  
LAWRENCE J. SCHMAHL L.S. 5748

LEGEND:  
 E  
 N  
 S  
 W  
 E  
 N  
 S  
 W

LEGEND:

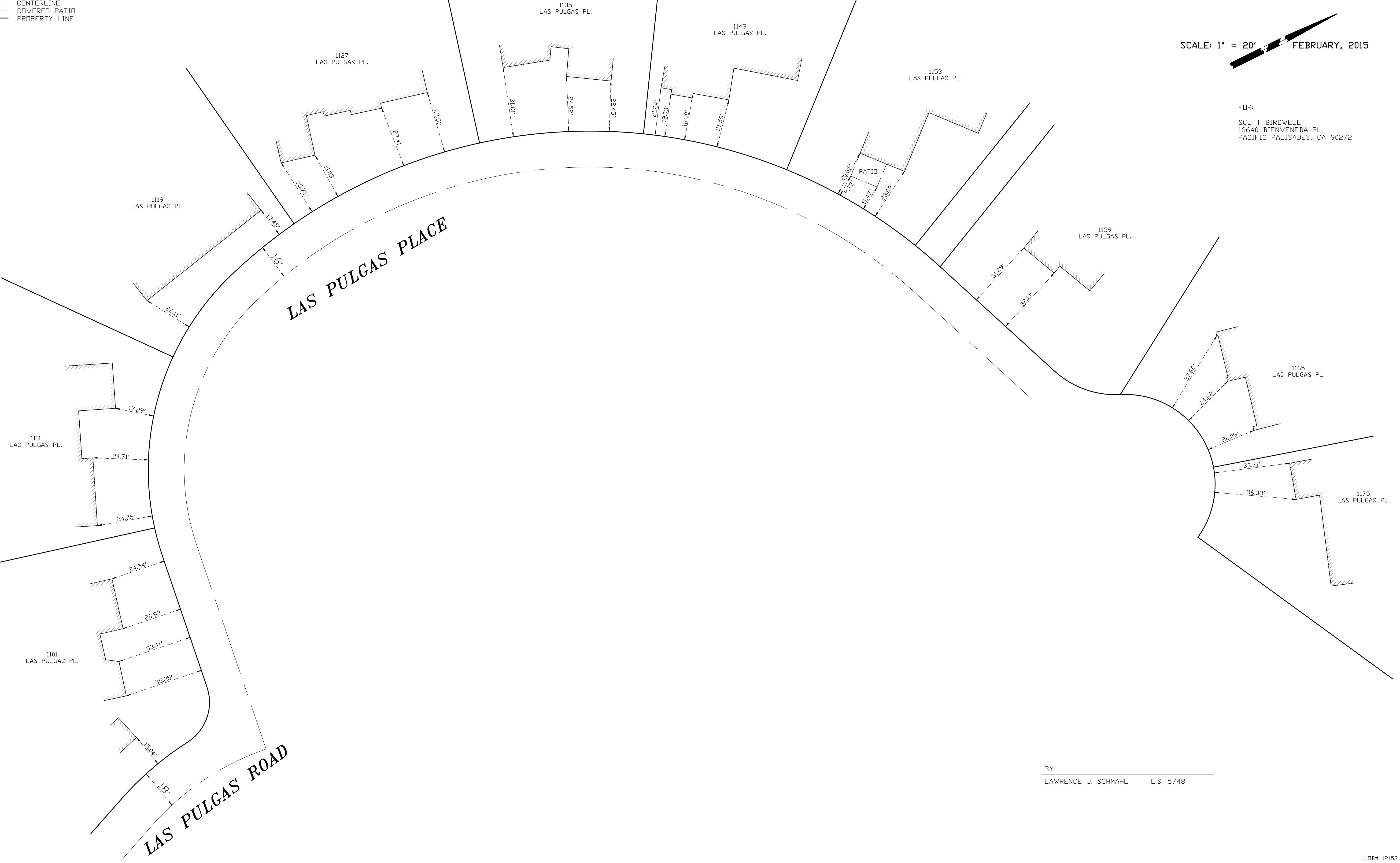
- E EAST
- N NORTH
- S SOUTH
- W WEST
- Building Line
- Centerline
- Covered Patio
- Property Line

 LAWRENCE J. SCHMAHL LICENSED SURVEYOR PLS 5748  
11209 HOWARD ST. WHITTIER, CALIFORNIA 90606 (562) 908-0570 / (323) 773-1675

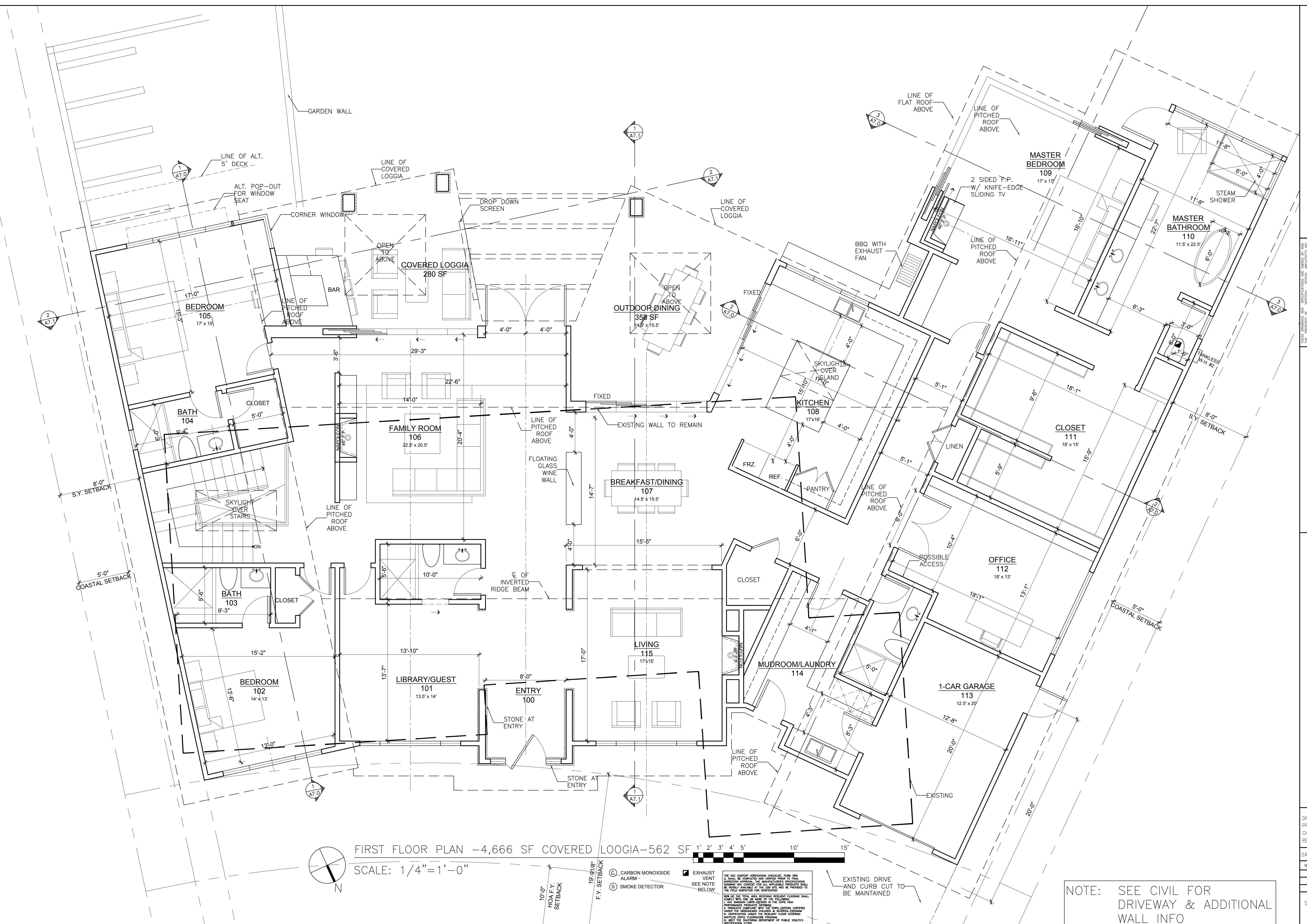
## PREVAILING SETBACKS

SCALE: 1" = 20' FEBRUARY, 2015

FOR:  
SCOTT BIRDWELL  
16640 BIENVENIDA PL.  
PACIFIC PALISADES, CA 90272







VERTOCH DESIGN ARCHITECTS INC.  
NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS  
OR USED IN CONNECTION WITH ANY WORK OR PROJECTS  
OTHER THAN SPECIFIED PROJECT FOR WHICH THEY HAVE  
BEEN PREPARED WITHOUT WRITTEN CONSENT OR VERTOCH  
DESIGN ARCHITECTS INC. VISUAL CONTACT WITH THESE  
DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE  
EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. COPYRIGHT  
© VERTOCH DESIGN ARCHITECTS INC.  
WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE  
PRECEDENCE OVER SCALF DIMENSIONS. DRAWINGS SHALL HAVE

RESIDENCE @  
1111 LAS PULGAS PL

DRAWN:  
PROJECT:  
CHECKED:  
REVISED:  
DATE: JUNE 22, 2010

HEET NO:

A-4.1

MECHANICAL EQUIPMENT— COORDINATE WITH MECHANICAL & OWNER REQ

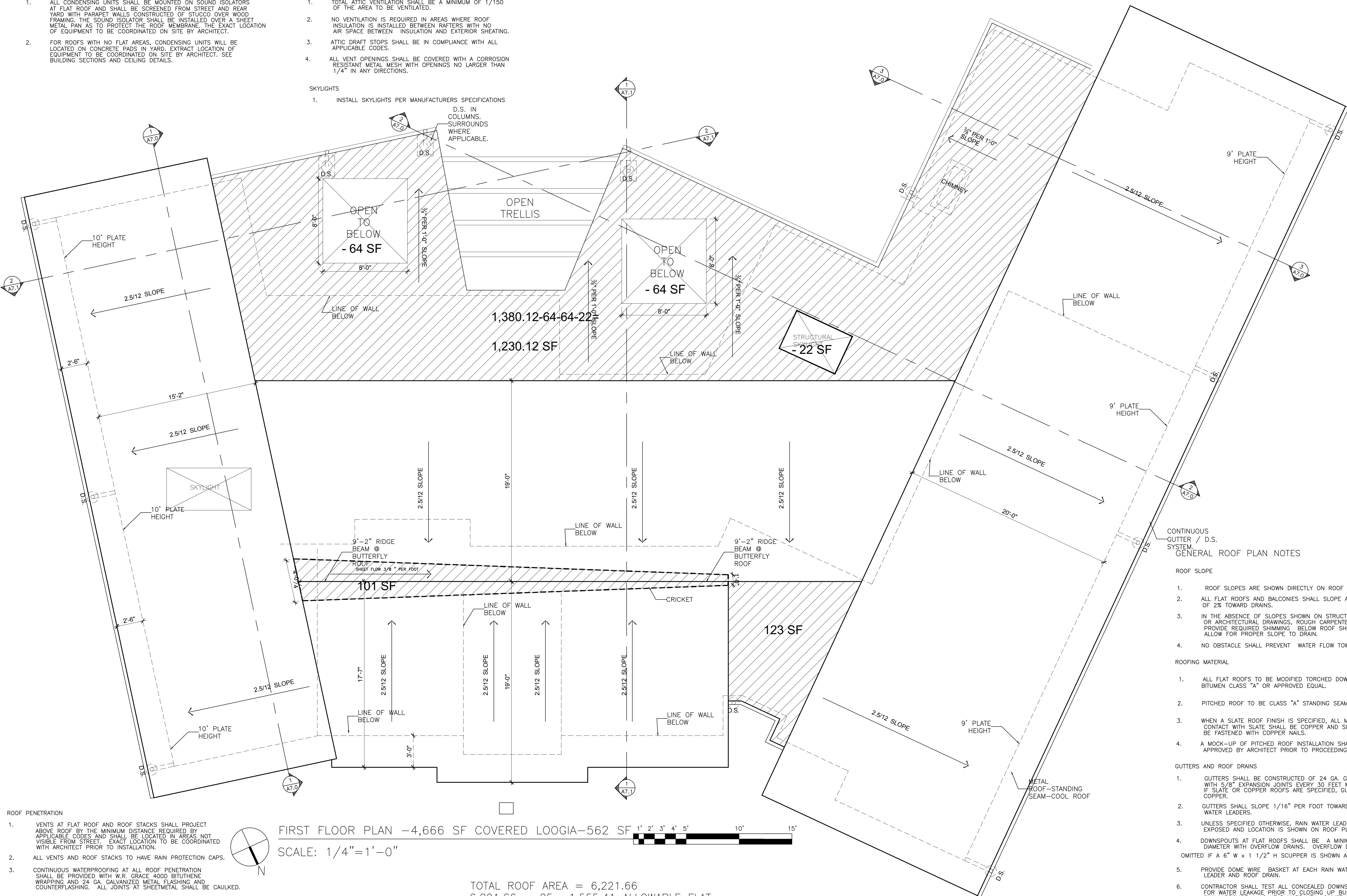
1. ALL CONDENSING UNITS SHALL BE MOUNTED ON SOUND ISOLATORS AT FLAT ROOF AND SHALL BE SCREENED FROM STREET AND REAR YARD WITH PARAPET WALLS CONSTRUCTED OF STUCCO OVER WOOD FRAMING. THE SOUND ISOLATOR SHALL BE INSTALLED OVER A SHEET METAL PAN AS TO PROTECT THE ROOF MEMBRANE. THE EXACT LOCATION OF EQUIPMENT TO BE COORDINATED ON SITE BY ARCHITECT.
2. FOR ROOFS WITH NO FLAT AREAS, CONDENSING UNITS WILL BE LOCATED ON CONCRETE PADS IN YARD. EXTRACT LOCATION OF EQUIPMENT TO BE COORDINATED ON SITE BY ARCHITECT. SEE BUILDING SECTIONS AND CEILING DETAILS.

## ATTIC VENTILATION

1. TOTAL ATTIC VENTILATION SHALL BE A MINIMUM OF 1/150 OF THE AREA TO BE VENTILATED.
2. NO VENTILATION IS REQUIRED IN AREAS WHERE ROOF INSULATION IS INSTALLED BETWEEN RAFTERS WITH NO AIR SPACE BETWEEN INSULATION AND EXTERIOR SHEATHING.
3. ATTIC DRAFT STOPS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES.
4. ALL VENT OPENINGS SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH OPENINGS NO LARGER THAN 1/4" IN ANY DIRECTIONS.

SKYL

## 1. INSTALL SKYLIGHTS PER MANUFACTURERS SPECIFICATIONS

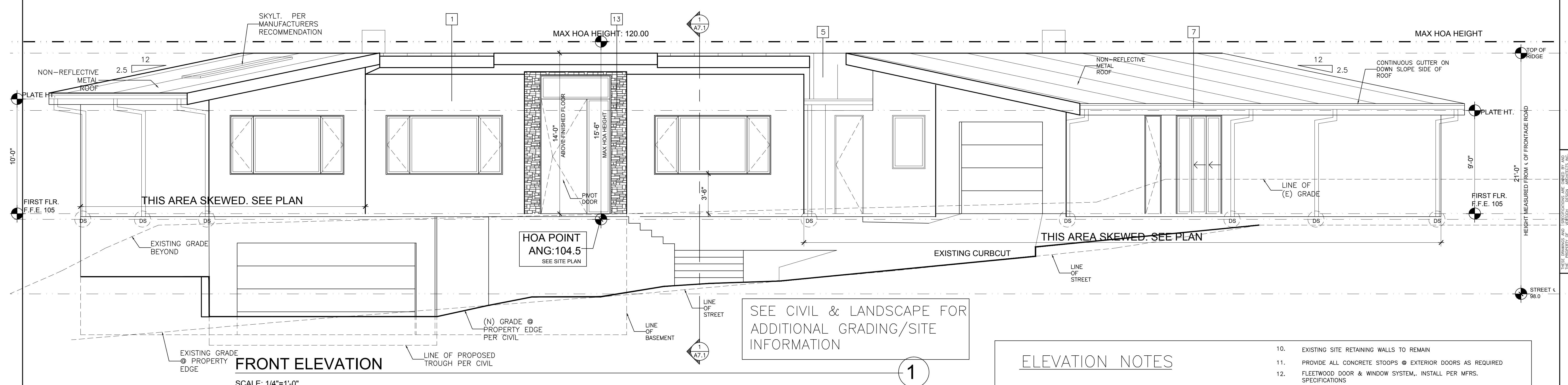


RESIDENCE @  
11 LAS PULGAS PL  
ANGELIS, CA 90272

DESIGN ARCHITECTS INC.  
1423 #A CLOVERFIELD BLVD.  
SANTA MONICA, CA 90404  
TEL: 310 829-6051 FAX: 310 829-2812

D  
P  
C  
R  
D  
R  
S

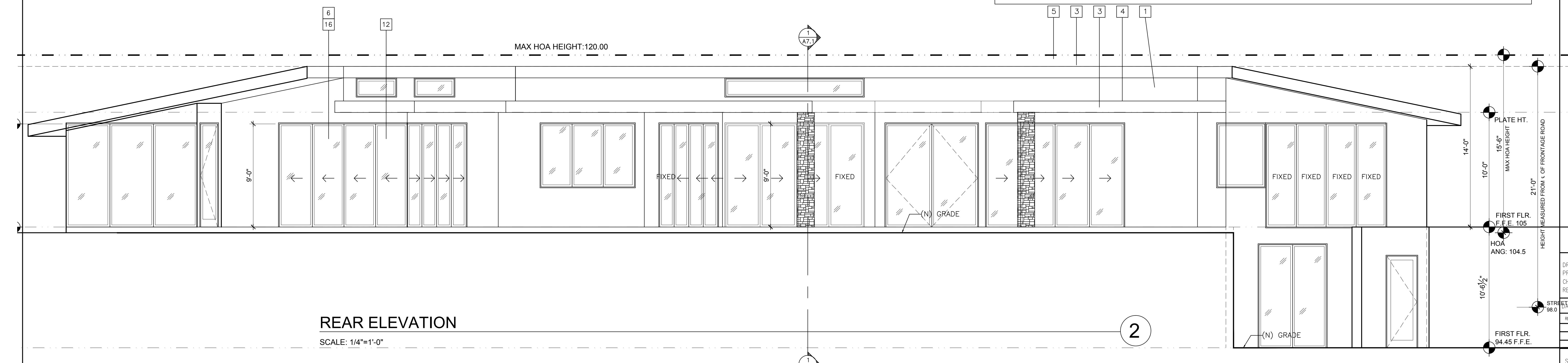
## A-5.0



SEE CIVIL & LANDSCAPE FOR  
ADDITIONAL GRADING/SITE  
INFORMATION

## ELEVATION NOTES

EXISTING SITE RETAINING WALLS TO REMAIN  
PROVIDE ALL CONCRETE STOOPS @ EXTERIOR DOORS AS REQUIRED  
FLEETWOOD DOOR & WINDOW SYSTEM,. INSTALL PER MFRS.  
SPECIFICATIONS  
STONE VENEER: MATERIAL & PATTERN BY I.D.  
EXISTING PLANTER AREAS TO BE MODIFIED PER. LS ARCH.  
REMOVE SOIL,REVIEW SUBGRADE CONDITION,PROVIDE  
CONCRETE STEM WALL & W.P. WITH MIRA DRAIN  
SYSTEM & FRENCH DRAINS  
METAL & SANDBLASTED GLASS SECTIONAL GARAGE DOOR  
BY CLOPAY  
FIXED BUTT GLAZED CORNER GLASS SECTION  
BOLT ON RAILING  
CLASS A ROOF TORCH DN. MEMBRANE  
ROOF COATING TO MATCH STUCCO—BUFF COLOR  
EXTERIOR LIGHTING: SEE POWER & LIGHTING PLANS.  
TOP OF CHIMNEY MUST EXTEND A MINIMUM  
OF 2' ABOVE ANY PART OF THE BUILDING WITHIN 10'.  
PROVIDE APPROVED SPARK ARRESTORS AT TOPS OF ALL  
FIREPLACE CHIMNEYS. UL APPROVED METALBESTOS #SSII FLUE  
SYSTEM BY SELKIRK. SEE DETAIL .



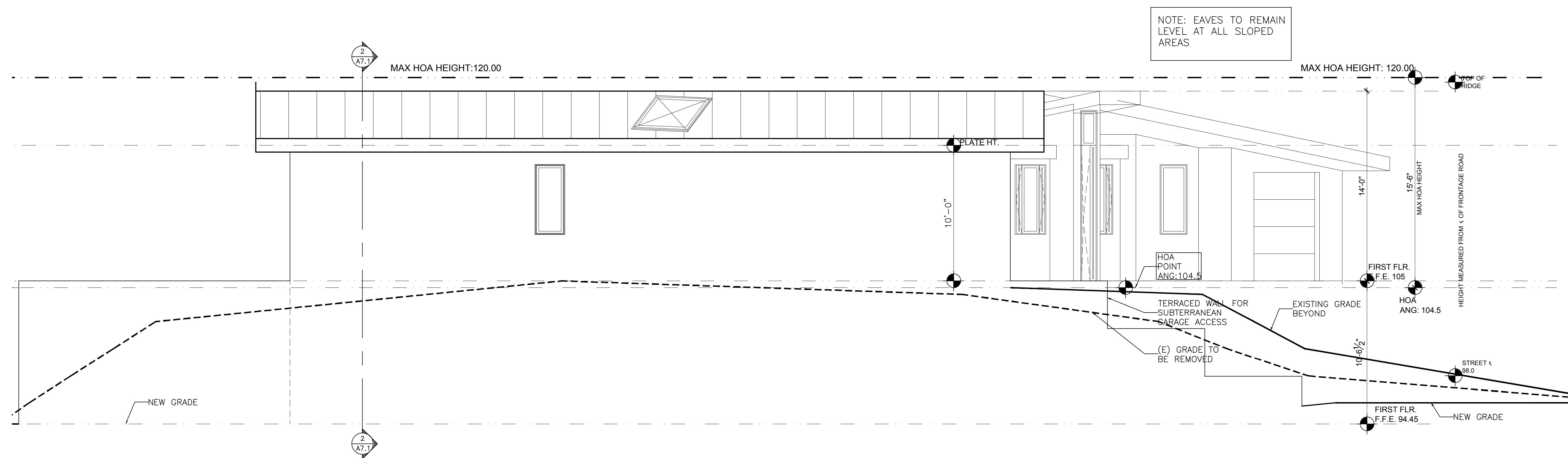
RESIDENCE @  
1111 LAS PULGAS PL  
LOS ANGELES CA 900272

VERTOCH DESIGN ARCHITECTS INC.  
1423 #A CLOVERFIELD BLVD.  
SANTA MONICA, CA 90404  
TEL: 310 829-6051 FAX: 310 829-2812

H DESIGN ARCHITECTURE  
1423 #A CLOVERFIELD BLVD.  
SANTA MONICA, CA 90404  
TEL: 310 829-6051 FAX: 310 829-2812

DRAWN:  
PROJECT:  
CHECKED:  
REVISED:  
DATE: JUNE 22, 201

HEET NO:  
**A-6.0**

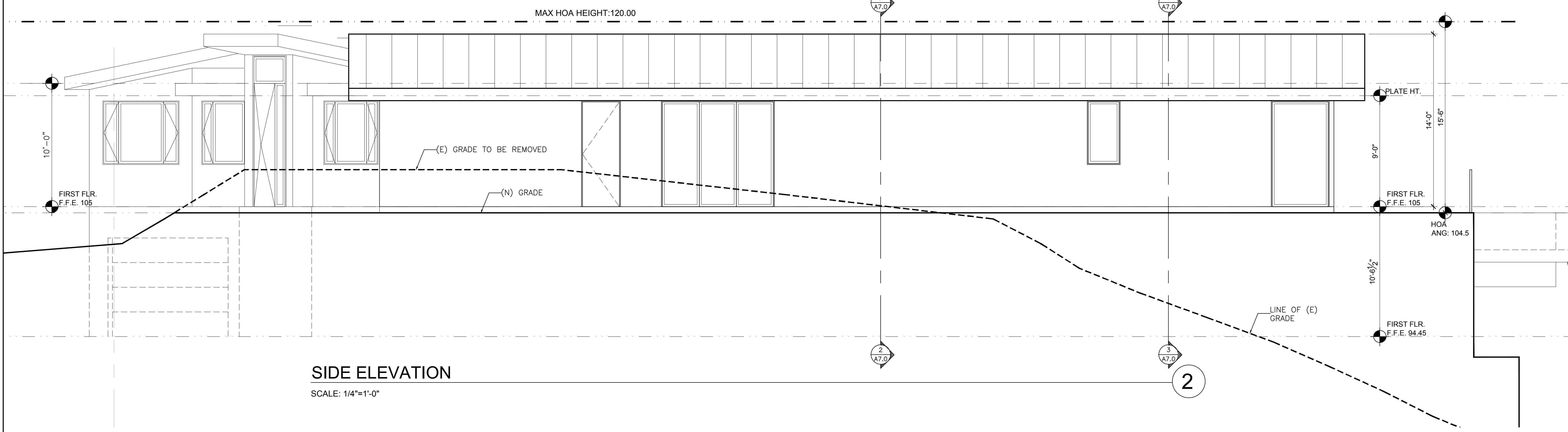


### SIDE ELEVATION

SCALE: 1/4"=1'-0"

### ELEVATION NOTES

1. SMOOTH TROWEL PLASTER
2. FLEETWOOD ALUMINUM DOOR/ WINDOWS
3. BONDER RED METAL FASCIA/ GUTTER D.S.
4. FLAT ROOF/ MEMBRANE
5. SLOPE ROOF/ STANDING SEAM METAL ROOF.
6. GLASS ON ALL SWINGING DOORS: GLAZING WITHIN 18" OF THE ADJACENT FLOOR WALKING SURFACE SHALL BE FULLY TEMPERED.
7. CONTINUOUS 20 GA GALVANIZED IRON GUTTER: SEE EAVES DETAIL.
8. DOWN SPOUTS: SEE EXTERIOR ELEVATIONS AND ROOF PLAN FOR LOCATIONS. ALL DOWN SPOUTS TO CONNECT INTO SUBSURFACE
9. CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED: LOCATE WEEP SCREED AT LOWEST POSSIBLE POINT OF CONCRETE FOOTING AND SILL PLATE JUNCTURE. COLOR COAT STEM BELOW WEEP SCREED
10. EXISTING SITE RETAINING WALLS TO REMAIN
11. PROVIDE ALL CONCRETE STOOPS @ EXTERIOR DOORS AS REQUIRED
12. FLEETWOOD DOOR & WINDOW SYSTEM, INSTALL PER MFRS. SPECIFICATIONS
13. STONE VENEER: MATERIAL & PATTERN BY I.D.
14. EXISTING PLANTER AREAS TO BE MODIFIED PER. LS ARCH. REMOVE SOIL, REVIEW SUBGRADE CONDITION, PROVIDE CONCRETE STEM WALL & W.P. WITH MIRA DRAIN SYSTEM & FRENCH DRAINS
15. METAL & SANDBLASTED GLASS SECTIONAL GARAGE DOOR BY CLOPAY
16. FIXED BUTT GLAZED CORNER GLASS SECTION BOLT ON RAILING
17. CLASS A ROOF TORCH DN. MEMBRANE ROOF COATING TO MATCH STUCCO-BUFF COLOR
18. EXTERIOR LIGHTING: SEE POWER & LIGHTING PLANS.
19. TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING WITHIN 10'.
20. PROVIDE APPROVED SPARK ARRESTORS AT TOPS OF ALL FIREPLACE CHIMNEYS. UL APPROVED METALESTOS #SSII FLUE SYSTEM BY SELKIRK. SEE DETAIL .



### SIDE ELEVATION

SCALE: 1/4"=1'-0"

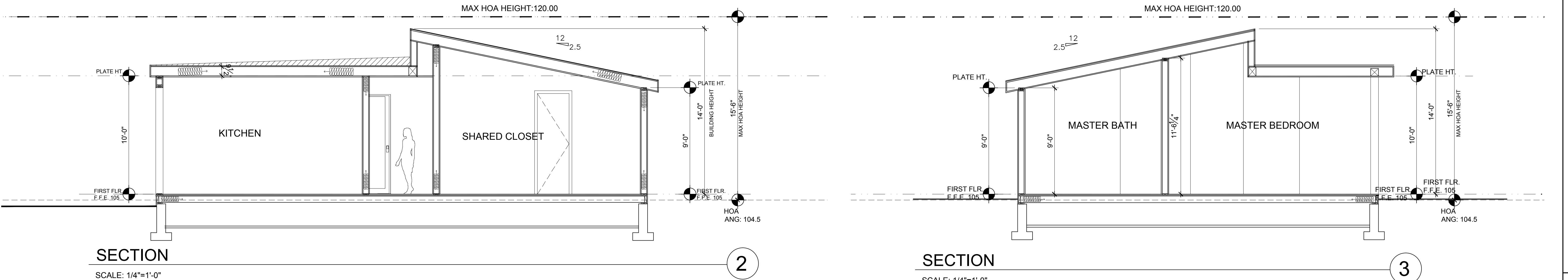
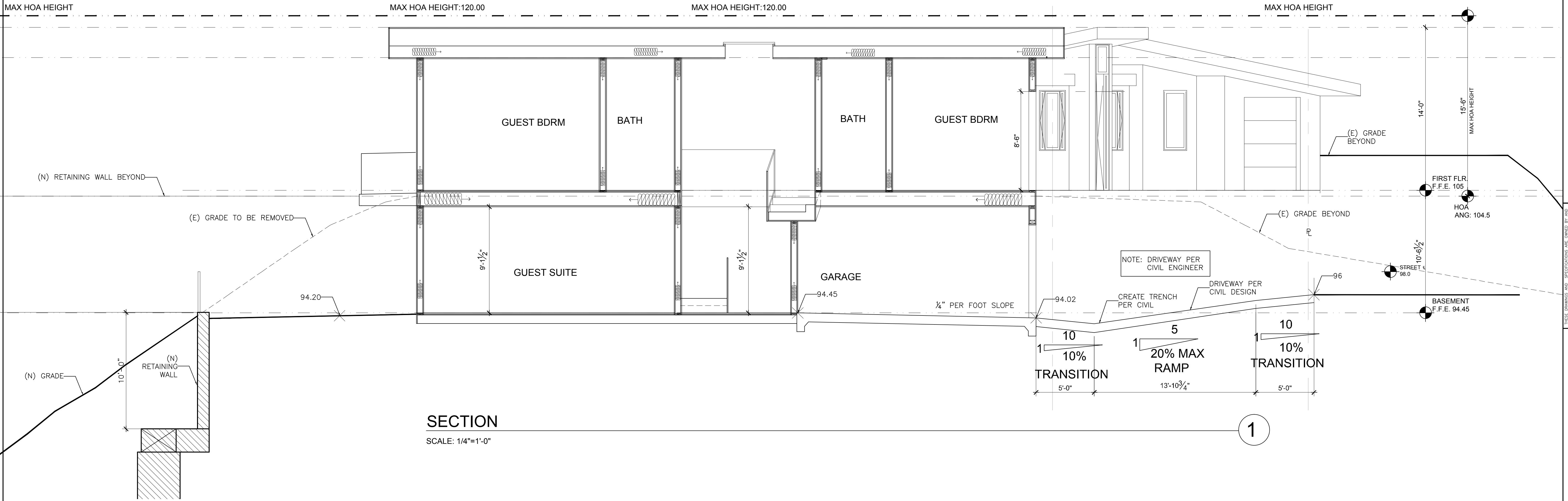
### ELEVATIONS

RESIDENCE @  
1111 LAS PULGAS SPL  
LOS ANGELES, CA, 90272

VERTOCH DESIGN ARCHITECTS INC.  
1423 #A CLOVERFIELD BLVD.  
SANTA MONICA, CA 90404  
TEL: 310 829-6051 FAX: 310 829-2812

DRAWN:  
PROJECT:  
CHECKED:  
REVISED:  
DATE: JUNE 22, 2015  
REVISION DATE:  
SHEET NO:

A-6.1



SECTION

SCALE: 1/4"=1'-0"

