

GENERAL NOTES

- The drawings and specifications constitute only a part of the contract documents as identified in the owner/contractor agreement. The contractor is responsible for requirements set forth in the other instruments of service. Discrepancies in the documents shall be reported to VERTCOCH DESIGN ARCHITECTS INC. at once for resolution.
 - Contractor shall verify dimensions and existing conditions at the project site prior to bid submittal and start of construction. Contractor shall notify VERTCOCH DESIGN ARCHITECTS INC. of any discrepancies for clarifications.
 - Consultant work that is not part of the contract documents executed by this agreement has not been coordinated by VERTCOCH DESIGN ARCHITECTS INC. Contractor shall notify VERTCOCH DESIGN ARCHITECTS INC. of any discrepancies that prevent execution of work covered by these documents.
 - Contractor shall coordinate with other contractors directly and separately employed by owner for timely storage and installation of their products.
 - At the time of bid submittal the contractor shall advise VERTCOCH DESIGN ARCHITECTS INC. (in writing) of any specified materials or equipment which are either unavailable or will cause a delay in the construction completion schedule.
 - Immediately upon being awarded the contract, the contractor shall prepare and submit to VERTCOCH DESIGN ARCHITECTS INC. a construction progress schedule. The construction schedule shall be continuously updated and posted on the job.
 - Contractor shall provide protection during construction in accordance with division 44 of the Los Angeles building code.
 - The contractor shall be responsible for conformance, with inspection requirements for the city of Los Angeles where the plans show for on site inspection by professional engineers, the contractor shall be responsible for retaining the engineers and securing their respective written approvals for work in progress.
 - Contractor shall not scale the drawings. Dimensions of the floor plans are shown on the face of stud and outside of foundation wall unless noted otherwise.
 - Contractor shall comply with shop drawing and sample submittal requirements as identified in division 1 of the construction specifications.
 - Contractor shall be responsible for correction of work at his own expense for work installed in conflict with the contract documents.
 - Contractor shall check and verify size and location of duct openings and plumbing runs with mechanical contractor before framing walls and ceilings. Duct openings in fire rated walls shall have fire dampers. Seal between ducts and partitions where required.
 - Contractor shall provide and locate access panels as required after installation of mechanical ducts, plumbing and electrical work. VERTCOCH DESIGN ARCHITECTS INC. shall approve location.
 - Contractor shall provide all necessary blocking, stiffeners, bracing, framing, hangers, or other support for all fixtures, equipment, cabinetry, furnishings and all other items requiring the same.
 - Contractor shall provide plywood backboard required in telephone and electrical equipment room as documented on the electrical drawings.
- ALL ELECTRICAL TO FOLLOW CURRENT LOCAL & NATIONAL CODE REQUIREMENTS INCLUDING MAIN & SUB PANELS & ALL UNDERGROUND CODES ETC.
 - Contractor shall provide and install rough plumbing and final hook-up for all specified fixtures and appliances, and shall supply all such fixtures an appliances, where required, provide minimum additional partition thickness or furring for plumbing walls.
- ALL PLUMBING TO FOLLOW CURRENT LOCAL & NATIONAL CODE REQUIREMENTS.
 - All interior wall and ceiling finishes shall comply with division 42 of the Los Angeles building code.
 - Fire resistant construction requirements shall be adhered to. Occupancy separations and openings in separation shall conform.
 - All insulation shall be incombustible.
 - A smoke detector shall be located in all sleeping rooms and areas leading to sleeping rooms. All detectors shall be permanently wired to the building. (See electrical drawings)
 - Under floor ventilation openings shall be provided at 1-1/2 square feet for each 25 linear feet of exterior wall: 1/2" wire mesh grills: see architectural detail.
 - Attic ventilation shall be provided by continuous vent at underside of soffit: 1"2" wire mesh grilles: see architectural detail.
 - Under floor access panels and area ways shall be provided as called for on the plans; in addition, 18" X 24" clear crawl openings shall be provided where interior under floor foundations or crib walls restrict access to under floor access.
 - Door opening into required 1 hour fire resistive corridor shall be protected with a smoke of draft stop fire assembly having a 20 minute rating.
 - Enclosed usable space under interior stairs shall have 1-hour fire-resistive construction at walls and ceiling. Clothes chute shall be lined on the inside with gypsum wallboard w/such lining covered with not less than no. 26 gaul. sheet metal gough with all joints in such sheet metal lockgaped. All openings into any such enclosure shall be protected by metal doors with metal frames.
 - Top of chimney shall extend min. 2'-0" above any roof within 10'-0". Spark arrestor shall be provided
 - 5 air change/hr. vent for bathrooms w/o windows shall be provided.
 - Glazed openings within 40" of the door lock when the door is in the closed position shall be fully tempered.
 - All sliding windows shall be provided with a device in track to prevent removal of panel in the locked position.
 - Swinging wood doors shall comply with security requirements outlined in section 91.6711 of the Los Angeles building code.
 - Glass doors, adjacent panels and oil glazed panels within 18" of the floor, shall be tempered glass.
 - Windows with sills less than 5'-0" above tub or shower floor shall be tempered.
 - Glazing used in doors and panels of shower and bathtub enclosures shall be fully tempered glass (1/8" min.)
 - A 70-inch high non-absorbat wall adjacent to shower enclosure shall be provided.
 - Shower to be made of approved shower enclosure shatter resistant materials.
 - Provide fire stops at pocket doors, chimneys, etc. and all concealed spaces greater than 10' both horizontally & vertically at ceilings and walls (section 2516 (f)) of the Los Angeles building code.
 - All plywood sub-flooring shall be applied to floor framing in accordance with tables 25.R-1, 25.R-2, 25.S-1 and 25.S-2 of the Los Angeles City building code.
 - All framing nailing shall be in conformance with tables 25-17 I, J, K, of the Los Angeles building code standards.
 - Flashing: At the juncture of the roof and vertical surfaces, flashing and counter flashing shall be provided as required in section 1707 (b) of the Los Angeles building code.
 - Provide flashing and counter flashing at all exterior openings that are exposed to the weatherrad all valleys, ridges, and junctions between exposed horizontal and vertical surfaces.
 - Plumbing access space: The water and waste connections to every bathtub shall be accessible and provided with a minimum 12"X12" access door. Locate as directed by VERTCOCH DESIGN ARCHITECTS INC.
 - Provide one attic access opening in second floor ceiling as indicated on drawing. Minimum opening size 22"X30" minimum clear head room above the access opening.
 - All exterior plastering work shall be in accordance with section 4708, and table 47-F of the city of Los Angeles building code.
 - All veneer application shall conform to requirements of the Los Angeles building code.
 - All wood in direct contact with concrete shall be pressure treated with an approved preservative.
 - All excavation and grading work shall comply with division A of the Los Angeles City building code, chapter 70 of the Los Angeles City building Code, and any special requirements of the City of Los Angeles.
 - New curbs and sidewalk, etc. as shown on drawings shall be constructed in accordance with the City of Los Angeles Departments of Public Works latest standards.
 - Swinging doors and windows to the exterior or to unconditioned spaces shall be fully weather-stripped, gasketed, or otherwise treated to limit air infiltration.
 - All gas appliances except water heaters and range top burners shall be equipped with intermittent devices.
 - Provide back draft dampers in all fan systems exhausting air from energy envelope.
 - Security: All openings marked are security openings and the following notes shall apply:
 - A. Swinging doors.
 - a) Door stops of in-swinging doors shall be of one piece construction with the jamb or joined by rabbit to the jamb.
 - b) All pin-type hinges which are accessible from outside the secured area when the door is closed shall have non-removable hinge pins. In addition, they shall have minimum 1/4" diameter steel jamb studs with 1/4" minimum projection unless the hinges are shaped to prevent removal of the door if the hinge pins are removed.
 - c) The strike plate for the latches and the holding device for projecting deadbolts in wood construction shall be secured to the jamb and the wall framing with screws not less than 2-1/2" in length.
 - d) Deadbolts shall contain hardened inserts.
 - e) Straight deadbolts shall have a minimum throw of 1" and an embedment of not less than 5/8".
 - f) A hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4".
 - g) Wood flush-type doors shall be 1-3/8" thick minimum with a solid core of wood, or particle board of 25 pcf density.
 - h) Wood panel-type doors shall be 1-3/8" thick minimum with all panels fabricated from material not less than 3/8" in thickness provided all shaped portions of the panels are minimum 1/4" thick.
 - i) Ferrous metal doors shall have surfaces not less than 16 gaul. in thickness.
 - k) Narrow-framed glass doors shall have a single pane of minimum 1/4" fully tempered glass.
 - B. Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools.
 - C. Sliding glass doors and windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in 91.6731 and 91.6732.
 - D. Sliding doors and windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position.
 - E. Louvered windows shall be protected by metal bars or grills which are constructed to preclude human entry.
 - F. Other openable windows shall be provided with substantial locking devices. In 6 occupancies, such devices shall be glide bars, bolts, cross-bars, and/or padlocks with minimum 9/32" hardened steel hasps.
 - G. Screens, barricades, or fences made of material which preclude human climbing shall be provided at every portion of every roof, balcony, or similarly surface which is within 8 feet of a utility pole or similar structure.
 - Additional Energy Conservation Notes:
 - a) The building design meets the requirements of title 24, part 2, chapter 2-53.AND ALL CURRENT REQUIREMENTS
 - b) Insulation installer shall post in a conspicuous location in the building the certificate signed by the installer and builder stating that the installation conforms with the requirements of title 24, chapter 2-53 and that the materials installed conform with the requirements of title 20, chapter 2, subchapter 4, article 3.
 - c) All insulation materials shall be certified by the manufacturer as complying with the California Quality Standard for Insulating Material.

SYMBOLS

- d. Doors and windows between conditioned and outside or unconditioned spaces such as garages and compartments for central air gas furnaces shall be fully weatherstripped.

e. Manufactured doors and windows shall be certified and labeled in compliance with the appropriate infiltration standards listed in table 2-53V of the energy regulations.

f. All fan systems exhausting air from the building shall be provided with back draft dampers.

g. Caulk around plumbing and electrical penetrations into the building envelope.

h. Caulk and seal around windows and door frames between wall sole plates and floors and between exterior wall panels.

i. Masonry and factory built fireplaces shall have the following:

 - 1) Tight fitting closable metal or glass doors covering the entire opening of the firebox.
 - 2) A combustion air intake to draw air from the firebox, which is at least 6 square inches in area and is equipped with a readily accessible, operable and tight fitting damper.
 - 3) Tight fitting flue damper with readily accessible control.
 - 4) Continuous burning pilot lights are prohibited.

j. Ducts shall be constructed, installed and labeled according to chapter 10 of the 1979 Uniform Mechanical Code. All joints of the duct system shall be tightly sealed with mastic.

k. Storage type water heaters and storage tanks for solar water heating systems shall be externally wrapped with insulation of R-12 or greater, unless so internally insulated.

l. Provide minimum R-3 insulation on water heater inlet and outlet pipe for first five feet in unconditioned space.

m. Insulate recirculating hot water piping in unheated spaces.

n. Gas filtered household heating and cooling appliances, shower heads and faucets shall comply with the appliance efficiency standards.

o. General lighting in kitchen and bathrooms shall have an efficiency of not less than 25 lumens/watts.

p. Thermostatically controlled heating or cooling systems (except heat pumps) shall have an automatic thermostat with a clock mechanism which can be manually programmed to automatically set back the thermostat set points for at least two periods within 24 hours.

There shall be no trenches or excavation into which a person is required to descend, or obtain necessary permit from the State of California, Division of Industrial Safety prior to the issuance of building permit.

Maximum driveway slope not to exceed 20%. Maximum cross slope not to exceed 10%, and maximum slope in parking area not to exceed 5%.

Garage areas shall be equipped with louvered or screened openings not less than 60 square inches in area for 200 square feet of floor area. Such openings shall be located in an exterior wall or connected to a continuous duct leading to the outside air.

PROJECT TO COMPLY W/ LABC 2014 CODE


The City of Los Angeles
Department of Building and Safety

How To Use Prevailing Setback Calculator

- Click the "Add Lot" button.
- Enter the lot number, the frontage dimension and the corresponding front yard setback for each lot. Enter the frontage and setback dimensions in feet using decimals (e.g. 23.69). Inches to Feet Conversion Chart
- For vacant lots leave the setback blank.
- For buildings built up to the front lot line, enter 0 in the setback field.
- Click the "Calculate" button.
- If the frontage of all of the lots with front yards varying no more than 10' from each other is less than 40% of total frontage, then there is no prevailing setback. In that case the front yard is a percentage of the depth of a lot according to the zoning of the lot as prescribed in the Zoning Code.
- Please read the Prevailing Setback Calculator Disclaimer

Add Lot

Enter the Lot information after adding rows:

Lot	Frontage (ft)	Setback (ft)	Results																					
1	61.35	24.54	<div>Number of lots: 10</div> <div>Prevailing Setback: 19.76 ft</div> <div>Calculation</div> <div>Total no of lots entered: 10</div> <div>Total frontage entered: 707.84 ft</div> <div>40% from total frontage entered: 283.14 ft</div> <div>No of lots used in the calculation: 6</div> <div>Setback range used: 13.45 ft - 22.45 ft</div> <div>Total frontage used in the calculation: 434.93 ft</div> <div>Lots Used</div> <table><thead><tr><th>Lot</th><th>Frontage (ft)</th><th>Setback (ft)</th></tr></thead><tbody><tr><td>3</td><td>81.10</td><td>13.45</td></tr><tr><td>4</td><td>90.58</td><td>21.03</td></tr><tr><td>5</td><td>73.38</td><td>22.45</td></tr><tr><td>6</td><td>65.91</td><td>18.90</td></tr><tr><td>7</td><td>66.60</td><td>20.85</td></tr><tr><td>10</td><td>57.38</td><td>22.09</td></tr></tbody></table> <div>View Calculation Details</div>	Lot	Frontage (ft)	Setback (ft)	3	81.10	13.45	4	90.58	21.03	5	73.38	22.45	6	65.91	18.90	7	66.60	20.85	10	57.38	22.09
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2	77.96	0
3	81.1	13.45
4	90.58	21.03
5	73.36	22.45
6	65.91	18.90
7	66.60	20.65
9	100.76	31.29
10	57.38	22.09
11	32.84	33.71

Clear

Calculate

To find out about Zoning Codes, click here. (<http://www.amlegal.com/nxt/gateway.dll>)

To find out about the Prevailing Setback Information

(http://www.ladbs.org/LADBSWeb/LADBS_Forms/InformationBulletins/IB-P-ZC2002-015PrevailingSetback.pdf).

Back

D. MEANS OF EGRESS

1. Provide 32" wide doors to all interior accessible rooms within a dwelling unit. (LARC Section R311.2, LABC Section 6304.1).
 2. Provide emergency egress from sleeping rooms. Min. - 24" clear ht, 20" clear width, 5.7 sq ft min. area. (LARC Section R310, LABC Section 1029)
 3. Occupied roofs shall be provided with exits as required for stores.
- E. GRADING AND FOUNDATION**
1. If adverse soil conditions are encountered, a soils investigation report may be required. (LARC Section R401.4)
 2. Foundation and floor slabs shall conform to the following or the recommendation of an approved engineering report:
 - a. Depth of footings below the natural and finished grades shall not be less than 24" in for exterior and 18 inches for interior footings.

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1. If adverse soil conditions are encountered, a soils investigation report may be required. (LARC Section R401.4)
 2. Foundation and floor slabs shall conform to the following or the recommendation of an approved soils report:
 - a. Depth of footings below the natural and finished grades shall not be less than 24" below exterior and 18 inches for interior footings.
 - b. Exterior walls and interior bearing walls shall be supported on continuous footings.
 - c. Footings shall be reinforced with a minimum 4" x 1/2" diameter deformed reinforcing bars. Two bars shall be placed within 4 inches of the bottom of the footing and two bars within 4 inches of the top of the footings.
 - d. The soil below an interior concrete slab shall be saturated with moisture to a depth of 12 inches prior to placing the concrete.
 - e. Concrete floor slabs on grade shall be placed on a 4" fill of coarse aggregate or on a moisture barrier membrane. The slabs shall be at least 3/4" thick and shall be reinforced with #4 rebars at 16 inch on center in both directions.
 3. Concrete slabs on expansive soil, compacted fill or slopes over 1:10 shall be placed on a 4" fill of coarse aggregate or on a 2" sand bed covered moisture barrier membrane. The slabs shall be at least 3-1/2 inches thick and reinforced with #4 barspaced at intervals not exceed 16 inches on center every way.
- (LARC Section 1808.6, LARC Section R403.1.8, R506.1)
4. Provide Under-floor net ventilation opening size and locations equal to 1 sq. ft. for each 150 sq. ft. of under floor area and an access opening through the floor (18" x 24" min.) or an opening through a perimeter wall not less than (16" x 24" min). (LARC R408, LARC Section 2304.11, 1203.3)
 5. Openings shall be as close to corners as practicable and shall provide cross ventilation along the length of at least two opposite sides. Openings shall have 1/4 inch corrosion resistant mesh covering. (LARC Section 1203.3, LARC R408.2)
 6. Provide corrosion resistant weep pipes below the floor to a minimum of 4" above earth or 2" above paved area. (LARC Section R703.6.2.1, LARC Section 2512.1.2)
 7. Provide rain gutters and downspouts within the street. (LARC 1503.4.1, 2011)

F. ZONING NOTES

1. A/C units and water heaters are not allowed in the required side yards and front yard unless specifically allowed by exception per Information bulletin P/ZC 2002-006.

G. SPECIAL HAZARDS

1. Glazing in hazardous locations shall be tempered. (LARC R308, LABC Section 2406.4)

Fixed or operable panels in swinging, sliding and bifold doors and fixed or operable p adjacent to doors;

Fixed or operable window panels with panels larger than nine square feet and are less than inches above the floor, have a top edge greater than 36 inches above the floor and have or more walking surfaces within 36 inches, measured horizontally and in a straight line, of glazing.

Glazing in guards and railings, adjacent to wet surfaces, adjacent to stairs and ramps, adjacent to bottom stair landings.
2. Each light of safety glazing material installed in hazardous locations shall be identified by a permanent label that specifies the labeler, and states that safety glazing material has been utilized in such installations.
3. Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating (research report not required). (R308.6.9)
4. Pre-fab fireplaces are required to have manufacturer, model, and Underwriter Laboratories certification (or ICC).
5. Provide an approved spark arrester for the chimney of a fireplace, stove, or barbecue which uses fuel burning material. (L.A.M.C. §7.20.25)

6. An approved Seismic gas shutoff valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 171,874 for work over \$10,000.)
7. Water heater must be strapped to wall. Section 508.2, L.A.P.C. See Information Bulletin P/C 2011-003 "How to Brace Your Water Heater" for details.
8. For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 seconds, Max.) for a single opening. The deactivation switch shall be at least 54" above the floor. (6109 of LABC)
9. For existing pool on site, provide anti-entrapment cover meeting current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No. 2077. (31929)
10. Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.6.2)
11. An approved smoke alarm shall be installed in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms in the dwelling. In new construction, smoke alarms shall receive their electrical primary power source from the building wiring and shall be equipped with battery back up and low battery signal. (R314)
12. An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarm shall be provided outside of each separate dwelling unit and in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. (R315)
13. Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.1. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2.2)
14. 50 percent of nonhazardous construction and demolition waste shall be recycled and/or salvaged for reuse in accordance with the California Green Building Code, Chapter 4, Division 4.4. (R324)

H. STRUCTURAL REQUIREMENTS

1. Provide lead hole 40%-70% of threaded shank dia. and full dia. for smooth shank portion Lag Bolts.
2. All bolt holes, other than Lag Bolt holes, shall be drilled 1/32 to 1/16" oversized.
3. Provide lateral support for the top of interior non-bearing walls when manufactured trusses are used. (LABC 1607.13)
4. Provide double joists under parallel bearing partitions. (LARC SEC R502.4, LABC Section 2308.8.1)
5. Provide full length studs (balloon frame) on exterior walls of rooms with vaulted ceiling. (LARC Section R602.3, LABC Section 2308.9, Table 2308.9.1)
6. All roof and shear wall nailing shall utilize common nails or galvanized box. Nail guns using "Clipped head" or Sinker nails are not acceptable. (LARC Table R602.3.1, LABC Table 2304.9.1)
7. Roof nailing to be inspected before covering. Face grain of plywood shall be Perpendicular to supports. Floor shall have tongue and groove or blocked panel edges. Plywood spans shall conform with Table 2304.7.3). (LABC Section 2304.7)
8. All horizontal joints occurring in braced wall panels shall occur over minimum one (1) size of studs. (LARC Table R602.10.8, LABC Section 2308.9.3)
9. Stucco shear walls shall utilize firing, galvanized nails (having a minimum 11 ga., 1-1/2" long, 7/16" diameter head, and furred out a min of 1/4") to attach the wall to the studs. Staples shall not be used." (Table 2507.2). Self furring nail approved by a Los Angeles Research Report is permitted.
10. Structural wood shear walls shall be covered with minimum two layers 156 felt underlayment to placing finish material.
11. Shop welds must be performed in a LA City Bldg. Dept. licensed fabricator's shop.
12. Plate washers are required for all hold downs. (LABC Table 2306.4.1)
13. Foundation sills shall be Douglas-Fir (Group I lumber) pressure treated or foundation grade Redwood. (LABC Section 2304.11.2.4.)
14. Hold-down connector bolts into wood framing require approved plate washers; and hold-downs shall be tightened just prior to covering the wall framing.
15. All bolt holes shall be drilled a maximum of 1/16" oversized AND inspector shall verify at jobsite.
16. Cutting, Notching, and Boring of Wood Framing Members. (LARC R602.6, LABC SEC. 2089.10.11).

VERTOCH DESIGN ARCHITECTS INC.
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SANTA MONICA, CA 90404
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RESIDENCE @

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OS ANGELES, CA 90272

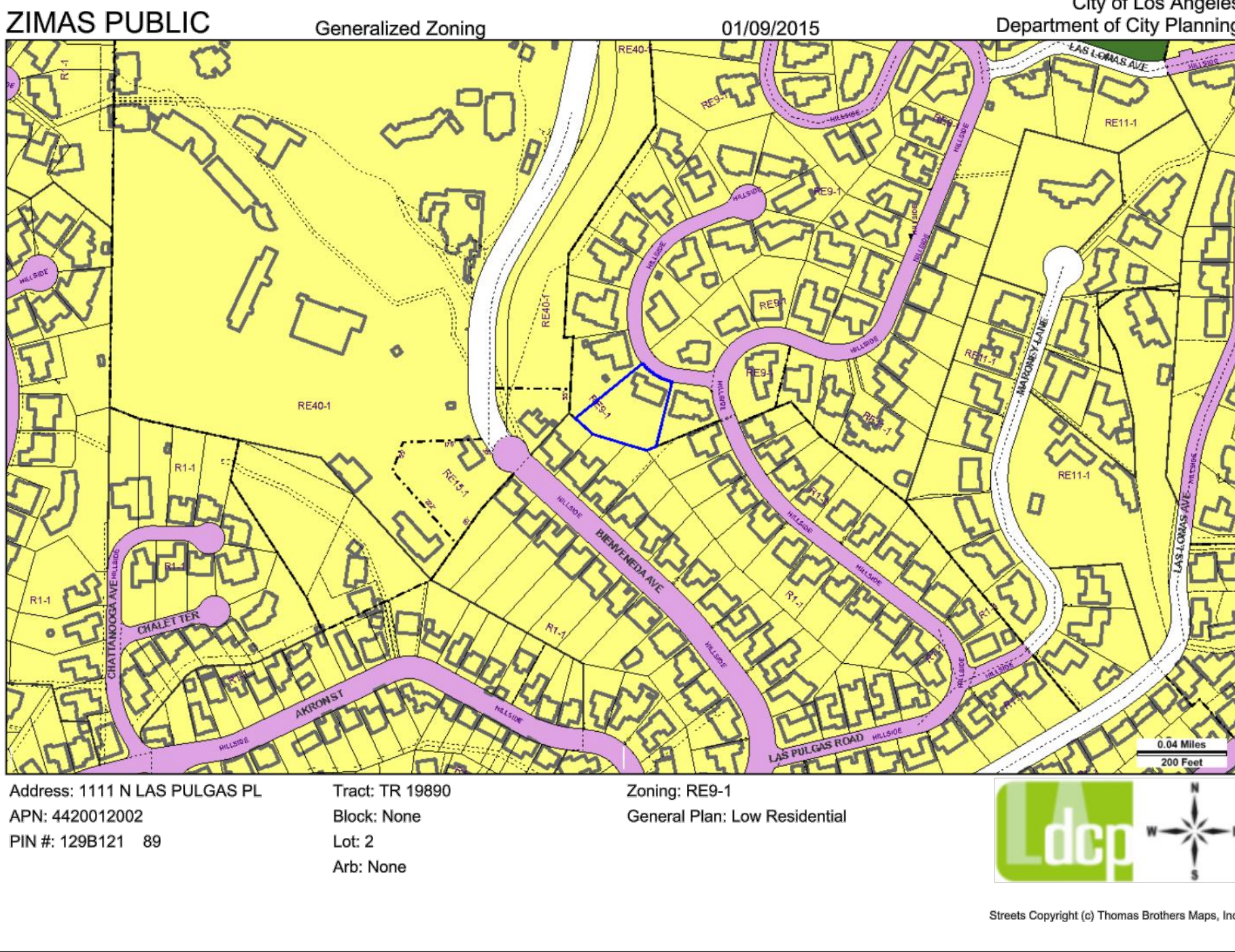
ZONING

DRAWN:
PROJECT:
CHECKED:
REVISED:

DATE: JUNE 22, 2015

REVISION DATE:

SHEET NO:
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LOG # 87385
SOILS/GEOLOGY FILE - 2
LAN-Exempt

GEOLOGY AND SOILS REPORT APPROVAL LETTER

March 17, 2015

Danny Seo
c/o Vertoch Design Architects
1423 Cloverfield Blvd., #A
Santa Monica, CA 90404

TRACT: 19890
LOT(S): 2
LOCATION: 1111 N Las Pulgas Place

CURRENT REFERENCE REPORT/LETTER(S)	REPORT No.	DATE(S) OF DOCUMENT	PREPARED BY
Geology/Soils Report	IC 14164-I	02/23/2015	Irvine Geotechnical, Inc.
Soils Laboratory Report	SL14.1612	12/23/2014	Soil Labworks, LLC

The Grading Division of the Department of Building and Safety has reviewed the referenced report dated February 23, 2015, providing recommendations for the proposed one story residence over basement level, retaining walls, swimming pool.

The earth materials at the subsurface exploration locations consist of fill and natural soil overlying Topanga Formation mudstone bedrock.

The consultants recommend to support the proposed structure(s) on conventional and/or drilled-pile foundations bearing on competent bedrock.

The site is located in a designated seismically induced landslide hazard zone as shown on the "Seismic Hazard Zones" map issued by the State of California. However, the proposed construction is currently exempt (P/BC 2011-044).

The referenced report dated February 23, 2015, is acceptable, provided the following conditions are complied with during site development:

(Note: Numbers in parenthesis () refer to applicable sections of the 2014 City of LA Building Code. P/BC numbers refer the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)

LADBS G-5 (Rev. 08/05/2014)

AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

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28. Slab on uncertified fill shall be designed as a structural slab. (7011.3)

29. Slabs placed on approved compacted fill shall be at least 3 1/4 inches thick and shall be reinforced with 1/2-inch diameter (#4) reinforcing bars spaced maximum of 16 inches on center each way.

30. Concrete floor slabs placed on expansive soil shall be placed on a 4-inch fill of coarse aggregate or on a moisture barrier membrane. The slabs shall be at least 3 1/4 inches thick and shall be reinforced with 1/2-inch diameter (#4) reinforcing bars spaced maximum of 16 inches on center each way.

31. The seismic design shall be based on a Site Class D as recommended. All other seismic design parameters shall be reviewed by LADBS building plan check.

32. Retaining walls shall be designed for a minimum EFP as specified on page 18 of the February 23, 2015, referenced report. All surcharge loads shall be incorporated into the design.

33. Retaining walls higher than 6 feet shall be designed for lateral earth pressure due to earthquake motions as specified on pages 18 and 19 of the February 23, 2015, referenced report (1803.5.12). Note: Lateral earth pressure due to earthquake motions shall be in addition to static lateral earth pressures and other surcharge pressures. The height of a stacked retaining wall shall be considered as the summation of the heights of each wall.

34. Retaining walls at the base of ascending slopes shall be provided with a minimum freeboard of 12 inches, as recommended.

35. The recommended equivalent fluid pressure (EFP) for the proposed retaining wall shall apply from the top of the freeboard to the bottom of the wall footing.

36. All retaining walls shall be provided with a standard surface backdrain system and all drainage shall be conducted to the street in an acceptable manner and in a non-erosive device. (7013.11)

37. With the exception of retaining walls designed for hydrostatic pressure, all retaining walls shall be provided with a subdrain system to prevent possible hydrostatic pressure behind the wall. Prior to issuance of any permit, the retaining wall subdrain system recommended in the soil report shall be incorporated into the foundation plan which shall be reviewed and approved by the soils engineer of record. (1805.4)

38. Installation of the subdrain system shall be inspected and approved by the soils engineer of record and the City grading/building inspector. (108.9)

39. Basement walls and floors shall be waterproofed/damp-proofed with an L.A. City approved "Below-grade" waterproofing/damp-proofing material with a research report number. (104.2.6)

40. Prefabricated drainage composites (Miradrain) (Geotextiles) may be only used in addition

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1. Conformance with the Zoning Code Section 12.21.C8, which limits the heights and number of retaining walls, will be determined during structural plan check.

2. The geologist and soils engineer shall review and approve the detailed plans prior to issuance of any permits. This approval shall be by signature on the plans which clearly indicates that the geologist and soils engineer have reviewed the plans prepared by the design engineer and that the plans include the recommendations contained in their reports. (7006.1)

3. All recommendations of the reports which are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.

4. A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans. Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit. (7006.1)

5. A grading permit shall be obtained for all structural fill and retaining wall backfill. (106.1.2)

6. All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density (D1556). Placement of gravel in lieu of compacted fill is allowed only if complying with Section 91.7011.3 of the Code. (7011.3)

7. Existing uncertified fill shall not be used for support of footings, concrete slabs or new fill. (1809.2)

8. Drainage in conformance with the provisions of the Code shall be maintained during and subsequent to construction. (7013.12)

9. Grading shall be scheduled for completion prior to the start of the rainy season, or detailed temporary erosion control plans shall be filed in a manner satisfactory to the Grading Division of the Department and the Department of Public Works, Bureau of Engineering, B-Permit Section, for any grading work in excess of 200 cu yd. (7007.1)
1828 Sawtelle Blvd., 3rd Floor, West LA (310) 575-8388

10. All loose foundation excavation material shall be removed prior to commencement of framing. Slopes disturbed by construction activities shall be restored. (7005.3)

11. The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the State Construction Safety Orders enforced by the State Division of Industrial Safety. (3301.1)

12. The soils engineer shall review and approve the shoring and/or underpinning plans prior to issuance of the permit. (3307.3.2)

13. Prior to the issuance of the permits, the soils engineer and/or the structural designer shall evaluate the surcharge loads used in the report calculations for the design of the retaining walls and shoring. If the surcharge loads used in the calculations do not conform to the

Page 5
1111 N Las Pulgas Place

to traditionally accepted methods of draining retained earth.

41. The proposed swimming pool shall be designed for a freestanding condition. (1808.7.3)

42. Pool deck drainage shall be collected and conducted to an approved location via a non-erosive device. (7013.10)

43. Pools adjacent to ascending slopes shall be set back from the toe of the slope a level distance equal to one-fourth the vertical height of the slope, but need not exceed 7.5 feet (1808.7.3).

44. Pool foundations adjacent to a descending slope steeper than 3H:1V in gradient shall be a minimum distance of one-sixth the vertical height of the slope but need not exceed 20 feet measured horizontally from the footing bottom to the face of the slope (1808.7.3).

45. All roof and pad drainage shall be conducted to the street in an acceptable manner; water shall not be dispersed on to descending slopes without specific approval from the Grading Division and the consulting geologist and soils engineer. (7013.10)

46. All concentrated drainage shall be conducted in an approved device and disposed of in a manner approved by the LADBS. (7013.10)

47. Sprinkler plans for irrigation shall be submitted and approved by the Mechanical Plan Check Section (7012.3.1).

48. Any recommendations prepared by the geologist and/or the soils engineer for correction of geological hazards found during grading shall be submitted to the Grading Division of the Department for approval prior to utilization in the field. (7008.3)

49. The geologist and soils engineer shall inspect all excavations to determine that conditions anticipated in the report have been encountered and to provide recommendations for the correction of hazards found during grading. (7008 & 1705.6)

50. All friction pile or caisson drilling and installation shall be performed under the inspection and approval of the geologist and soils engineer. The geologist shall indicate the distance that friction piles or caissons penetrate into competent bedrock in a written field memorandum. (1803.5.5, 1704.9)

51. Prior to the pouring of concrete, a representative of the consulting soils engineer shall inspect and approve the footing excavations. He shall post a notice on the job site for the LADBS Building Inspector and the Contractor stating that the work so inspected meets the conditions of the report, but that no concrete shall be poured until the City Building Inspector has also inspected and approved the footing excavations. A written certification to this effect shall be filed with the Grading Division of the Department upon completion of the work. (108.9 & 7008.2)

52. Prior to excavation, an initial inspection shall be called with LADBS Inspector at which time sequence of construction, shoring, pile installation, protection fences and dust and traffic control will be scheduled. (108.9.1)

Page 3
1111 N Las Pulgas Place

actual surcharge loads, the soil engineer shall submit a supplementary report with revised recommendations to the Department for approval.

14. Unsurcharged temporary excavations over 5 feet exposing fill shall be trimmed back at a gradient not exceeding 1(H):1(V), as recommended.

15. Unsurcharged temporary excavations over 7 feet exposing bedrock shall be trimmed back at a gradient not exceeding 1(H):1(V), as recommended.

16. South facing excavations in bedrock may unsupport bedding in the down dip direction, therefore south facing excavations in bedrock shall be trimmed along bedding (45-55 degrees).

17. Shoring shall be designed for a minimum EFP of 30 PCF; all surcharge loads shall be included into the design, as recommended. Total lateral load on shoring piles shall be determined by multiplying the recommended EFP by the pile spacing.

18. A shoring monitoring program shall be implemented to the satisfaction of the soils engineer.

19. All foundations shall derive entire support from competent bedrock, as recommended and approved by the geologist and soils engineer by inspection.

20. Proposed friction piles shall be founded a minimum of 8 feet into competent bedrock, as recommended.

21. Shoring piles shall be founded a minimum of 6 feet into competent bedrock below the base of the excavation, as recommended.

22. Foundations adjacent to a descending slope steeper than 3:1 (H:V) in gradient shall be a minimum distance of one-third the vertical height of the slope but need not exceed 40 feet measured horizontally from the footing bottom to the face of the slope (1808.7.2)

23. Buildings adjacent to ascending slopes steeper than 3:1 (H:V) in gradient shall be set back from the toe of the slope a level distance equal to one-half the vertical height of the slope, but need not exceed 15 feet (1808.7.1)

24. Pile caisson and/or isolated foundation ties are required by Code Sections 1809.13 and/or 1810.3.13. Exceptions and modification to this requirement are provided in Information Bulletin P/BC 2014-030.

25. Pile and/or caisson shafts shall be designed for a lateral load of 1000 pounds per linear foot of shaft exposed to fill, soil and weathered bedrock. (P/BC 2014-050)

26. When water over 3 inches in depth is present in drilled pile holes, a concrete mix with a strength of 1000 p.s.i. over the design p.s.i. shall be tremied from the bottom up; an admixture that reduces the problem of segregation of paste/aggregates and dilution of paste shall be included. (1808.8.3)

27. Existing uncertified fill shall not be used for lateral support of deep foundation. (1810.2.1)

Page 6
1111 N Las Pulgas Place

53. Installation of shoring and/or pile installation shall be performed under the inspection and approval of the soils engineer and deputy grading inspector. (1705.6)

54. Prior to the placing of compacted fill, a representative of the soils engineer shall inspect and approve the bottom excavations. He shall post a notice on the job site for the City Grading Inspector and the Contractor stating that the soil inspected meets the conditions of the report, but that no fill shall be placed until the LADBS Grading Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be included in the final compaction report filed with the Grading Division of the Department. All fill shall be placed under the inspection and approval of the soils engineer. A compaction report together with the approved soil report and Department approval letter shall be submitted to the Grading Division of the Department upon completion of the compaction. In addition, an Engineer's Certificate of Compliance with the legal description as indicated in the grading permit and the permit number shall be included. (7011.3)

55. No slab shall be poured until the compaction report is submitted and approved by the Grading Division of the Department.

JEFFREY T. WILSON
Engineering Geologist I

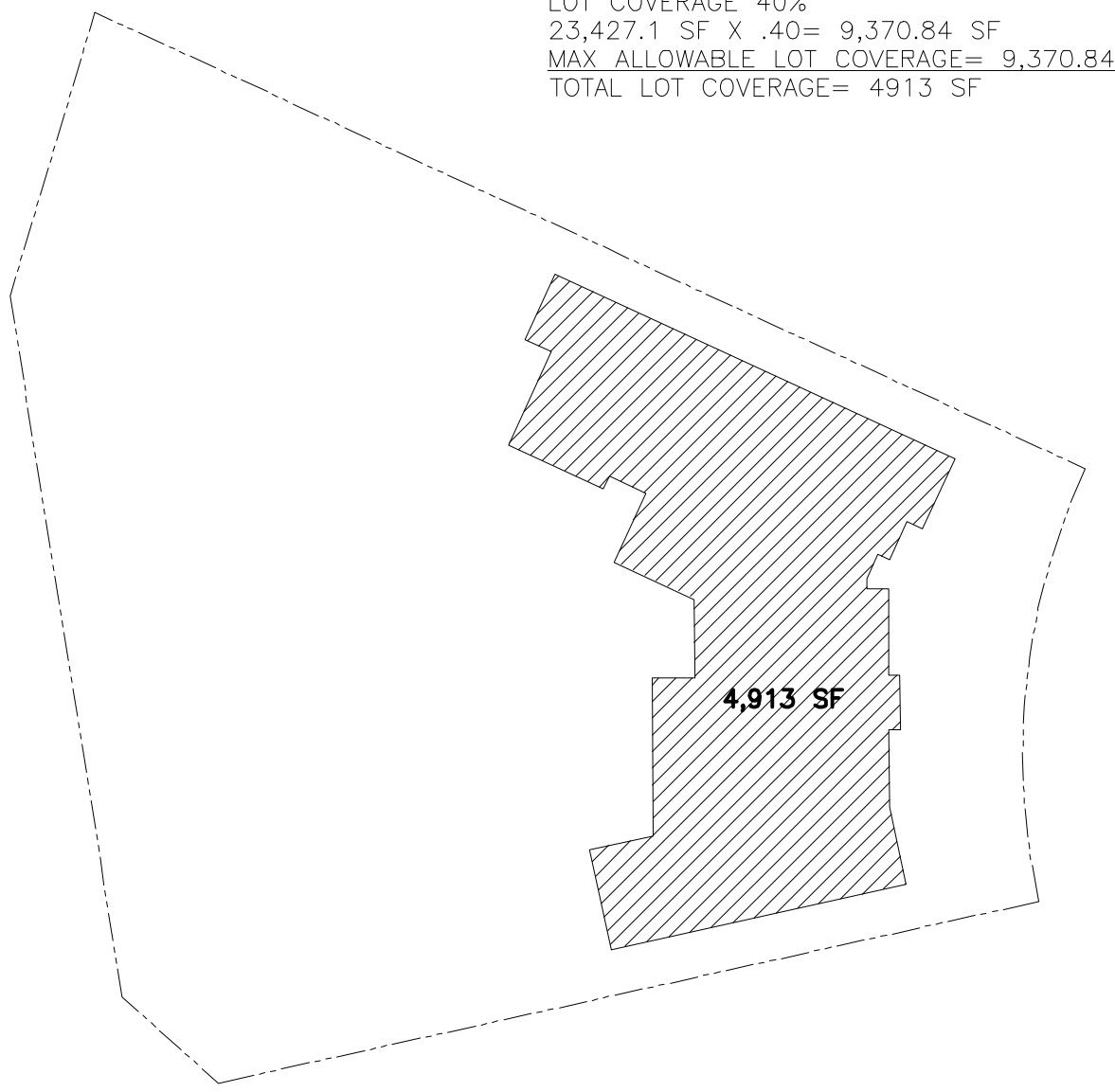
YING LIU
Engineering Geologist Associate II

JTW/YL:jtw/yf
Log No. 87385
213-482-0480

cc: Vertoch Design Architects, Applicant
Irvine Geotechnical, Inc., Project Consultant
WL District Office

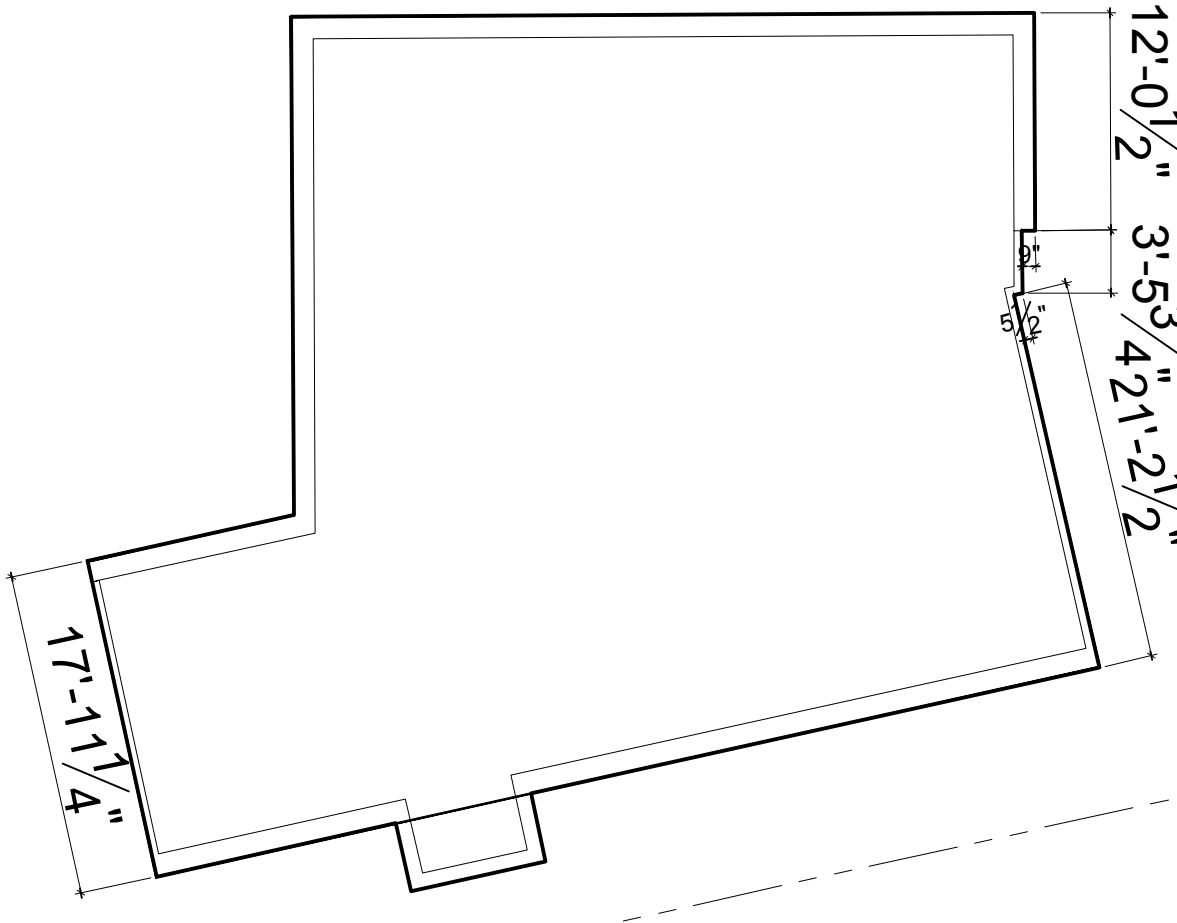
BHO LOT COVERAGE

LOT SIZE: 23,427.1 LOT COVERAGE: 23,427.1 SF
LOT COVERAGE 40%
23,427.1 SF X .40= 9,370.84 SF
MAX ALLOWABLE LOT COVERAGE= 9,370.84 SF
TOTAL LOT COVERAGE= 4913 SF



BHO BASEMENT EXEMPTED FROM FAR

BASEMENT PEREMETER 193.6'
ALLOWABLE EXCEEDING 3'-0" ABOVE ANG 193.6' X .4= 77.36'
ACTUAL EXCEEDING 3'-0" ABOVE ANG 43.79' < 77.36'



DRAWN:
PROJECT:
CHECKED:
REVISED:

DATE: JUNE 22, 2015
REVISION DATE:

SHEET NO:
A-1.1

VERTOCH DESIGN ARCHITECTS INC.
1423 #A CLOVERFIELD BLVD.
SANTA MONICA, CA 90404
TEL: 310 829-6051 FAX: 310 829-2812

RESIDENCE @
1111 LAS PULGAS PL
LOS ANGELES, CA. 90272

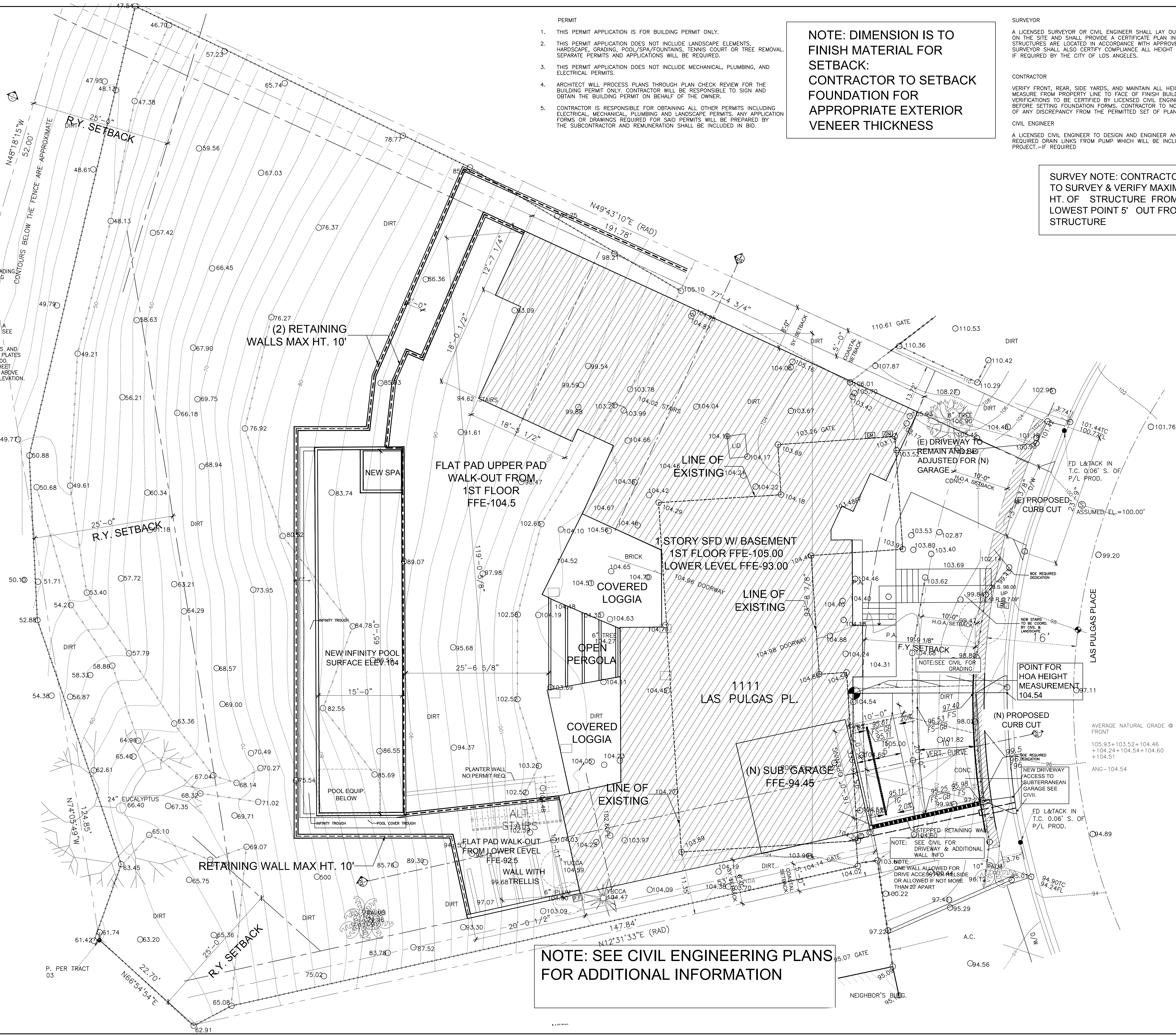
SOILS APPROVAL

PUBLIC WORKS STANDARD NOTES

1. ALL LABOR, EQUIPMENT, AND MATERIAL REQUIRED FOR OFF-SITE IMPROVEMENTS ARE THE RESPONSIBILITY OF THE DEVELOPER.
2. THE OFFSITE WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS/ DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION AS AMENDED BY THE CITY OF LOS ANGELES AND THE CITY OF LOS ANGELES STANDARDS.
3. ULTRA-LOW FLOW PLUMBING FIXTURES ARE REQUIRED ON ALL NEW DEVELOPMENT AND REMODELING WHERE PLUMBING IS TO BE ADDED. (MAX. 1.6 GAL/TOILETS AND 1.0 GAL. URINALS AND LOW FLOW SHOWER HEADS).
4. NO WORK SHALL BE DONE WITHIN THE PUBLIC RIGHT-OF-WAY WITHOUT THE PRIOR APPROVAL OF THE ENVIRONMENTAL AND PUBLIC WORKS MANAGEMENT DEPT.
5. TREES WITHIN THE PUBLIC RIGHT-OF-WAY CANNOT BE REMOVED BY THE PROPERTY OWNER FOR ANY REASON WITHOUT THE WRITTEN APPROVAL OF THE PARKS AND SPORTS DIVISION OR THE DIRECTOR OF ENVIRONMENTAL AND PUBLIC WORKS MANAGEMENT.

GENERAL SITE PLAN NOTES

- SEE LANDSCAPE DRAWINGS-IF APPLICABLE
- A SEPARATE SET OF LANDSCAPE DRAWINGS WILL COMPLETE THIS ARCHITECTURAL SITE PLAN INCLUDING INFORMATION ON POOL/SPA GRADING, DRAINAGE, RETAINING WALLS, HARDSCAPE, PLANTING MATERIAL, LIGHTING AND IRRIGATION.
- CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND LANDSCAPE DRAWINGS.
- ALL GRADES SHALL SLOPE 2% MINIMUM AWAY FROM BUILDING AND BE A MINIMUM OF 8" BELOW WOOD SILL PLATE AT PERIMETER OF BUILDING. SEE GRADING PLAN FOR ADDITIONAL INFORMATION.
- FOR GRADES SPECIFIED TO BE LESS THAN 8" FROM WOOD SILL PLATES AND/ OR AREAS WHERE CONCRETE PAVING IS ADJACENT TO BUILDING, SILL PLATES SHALL BE PROTECTED WITH A CONTINUOUS STRIP OF W.R. GRACE 4000 BITUTHENE WATERPROOFING MEMBRANE COVERED WITH GALVANIZED SHEET METAL FLASHING, BOTH PROJECTING 6" BELOW WOOD SILL PLATE AND ABOVE GRADE. WIDTH OF WATERPROOFING WILL VARY ACCORDING TO GRADE ELEVATION.



- PERMIT
1. THIS PERMIT APPLICATION IS FOR BUILDING PERMIT ONLY.
 2. THIS PERMIT APPLICATION DOES NOT INCLUDE LANDSCAPE ELEMENTS, HARDSCAPE, GRADING, POOL/SPA/FOUNTAINS, TENNIS COURT OR TREE REMOVAL. SEPARATE PERMITS AND APPLICATIONS WILL BE REQUIRED.
 3. THIS PERMIT APPLICATION DOES NOT INCLUDE MECHANICAL, PLUMBING, AND ELECTRICAL PERMITS.
 4. ARCHITECT WILL PROCESS PLANS THROUGH PLAN CHECK REVIEW FOR THE BUILDING PERMIT ONLY. CONTRACTOR WILL BE RESPONSIBLE TO SIGN AND OBTAIN THE BUILDING PERMIT ON BEHALF OF THE OWNER.
 5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS INCLUDING ELECTRICAL, MECHANICAL, PLUMBING AND LANDSCAPE PERMITS. ANY APPLICATION FORMS OR DRAWINGS REQUIRED FOR SAID PERMITS WILL BE PREPARED BY THE SUBCONTRACTOR AND REMUNERATION SHALL BE INCLUDED IN BID.

NOTE: DIMENSION IS TO
FINISH MATERIAL FOR
SETBACK:
CONTRACTOR TO SETBACK
FOUNDATION FOR
APPROPRIATE EXTERIOR
VENEER THICKNESS

SURVEY NOTE: CONTRACTOR
TO SURVEY & VERIFY MAXIMUM
HT. OF STRUCTURE FROM
LOWEST POINT 5' OUT FROM
STRUCTURE

SURVEYOR
A LICENSED SURVEYOR OR CIVIL ENGINEER SHALL LAY OUT THE STRUCTURES ON THE SITE AND SHALL PROVIDE A CERTIFICATE PLAN INDICATING THAT THE STRUCTURES ARE LOCATED IN ACCORDANCE WITH APPROVED PLANS. THE SURVEYOR SHALL ALSO CERTIFY COMPLIANCE ALL HEIGHT REQUIREMENTS, IF REQUIRED BY THE CITY OF LOS ANGELES.

CONTRACTOR
VERIFY FRONT, REAR, SIDE YARDS, AND MAINTAIN ALL HEIGHT RESTRICTIONS. MEASURE FROM PROPERTY LINE TO FACE OF FINISH BUILDING MATERIAL. VERIFICATIONS TO BE CERTIFIED BY LICENSED CIVIL ENGINEER/SURVEYOR BEFORE SETTING FOUNDATION FORMS. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCY FROM THE PERMITTED SET OF PLANS.

CIVIL ENGINEER
A LICENSED CIVIL ENGINEER TO DESIGN AND ENGINEER ANY SUMP PUMPS AND REQUIRED DRAIN LINKS FROM PUMP WHICH WILL BE INCLUDED ON THIS PROJECT.-IF REQUIRED

NOTE: SEE CIVIL ENGINEERING PLANS
FOR ADDITIONAL INFORMATION

VERTOCH DESIGN ARCHITECTS INC.
1423 #A CLOVERFIELD BLVD.
SANTA MONICA, CA 90404
TEL: 310 829-6051 FAX: 310 829-2812

THESE DRAWINGS AND SPECIFICATIONS ARE OWNED BY AND NOT BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF VERTOCH DESIGN ARCHITECTS INC. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A BREACH OF CONTRACT AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. VERTOCH DESIGN ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS OR SPECIFICATIONS. THE USER SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND ANY VARIATION FROM THE MEASUREMENTS AND CONDITIONS SHOWN ON THESE DRAWINGS.

RESIDENCE @
1111 LAS PULGAS PL
LOS ANGELES, CA. 90272

SITE PLAN

DRAWN:
PROJECT:
CHECKED:
REVISED:

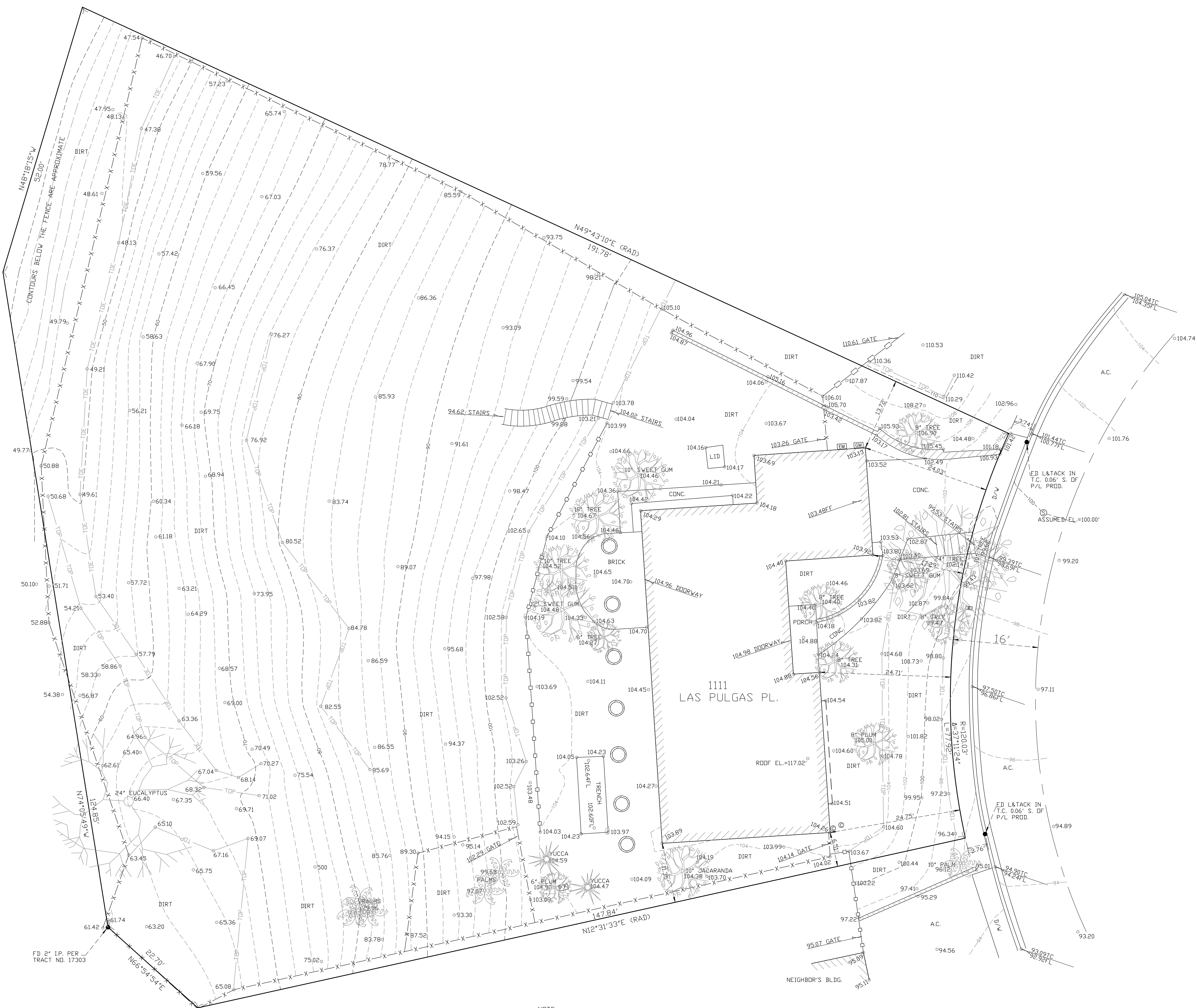
DATE: JUNE 22, 2015
REVISION DATE:

SHEET NO:
A-2.0

TOPOGRAPHIC SURVEY

SCALE: 1" = 8'

NOVEMBER, 2014



LEGAL DESCRIPTION:
LOT 2 OF TRACT NO. 19890, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 627, PAGES 46 THROUGH 50 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

FDR:
1111 LAS PULGAS, LP
16640 BIENVENIDA PL.
PACIFIC PALISADES, CA 90272

BY:
LAWRENCE J. SCHMAHL L.S. 5748

- LEGEND:
- A.C. ASPHALT CONCRETE
 - B.W. BACK OF WALK
 - CONC. CONCRETE
 - D/V DRIVEWAY
 - E EAST
 - FF FINISHED FLOOR
 - FL FLOWLINE
 - N NORTH
 - S SOUTH
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TP TOP OF WALL
 - V WEST
 - BUILDING LINE
 - CENTERLINE
 - CLEANOUT
 - EDGE OF PAVEMENT
 - ELECTRIC METER
 - FENCE, CHAIN-LINK
 - FENCE, IRON
 - FENCE, WOOD
 - GAS METER
 - POOL FILTER
 - POWER POLE
 - PROPERTY LINE
 - SEWER MANHOLE
 - SPOT ELEVATIONS
 - WALL
 - WATER METER
 - WATER VALVE

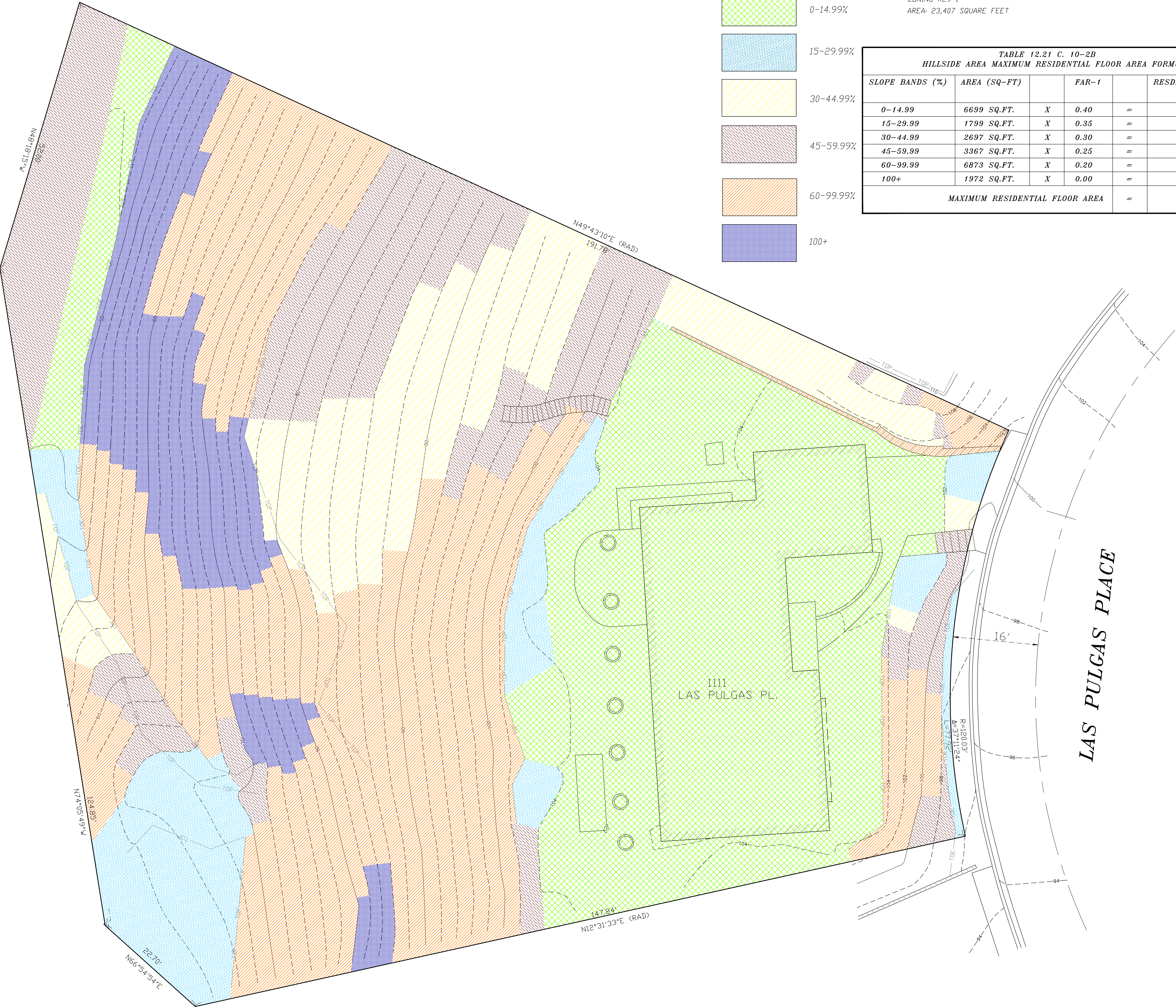
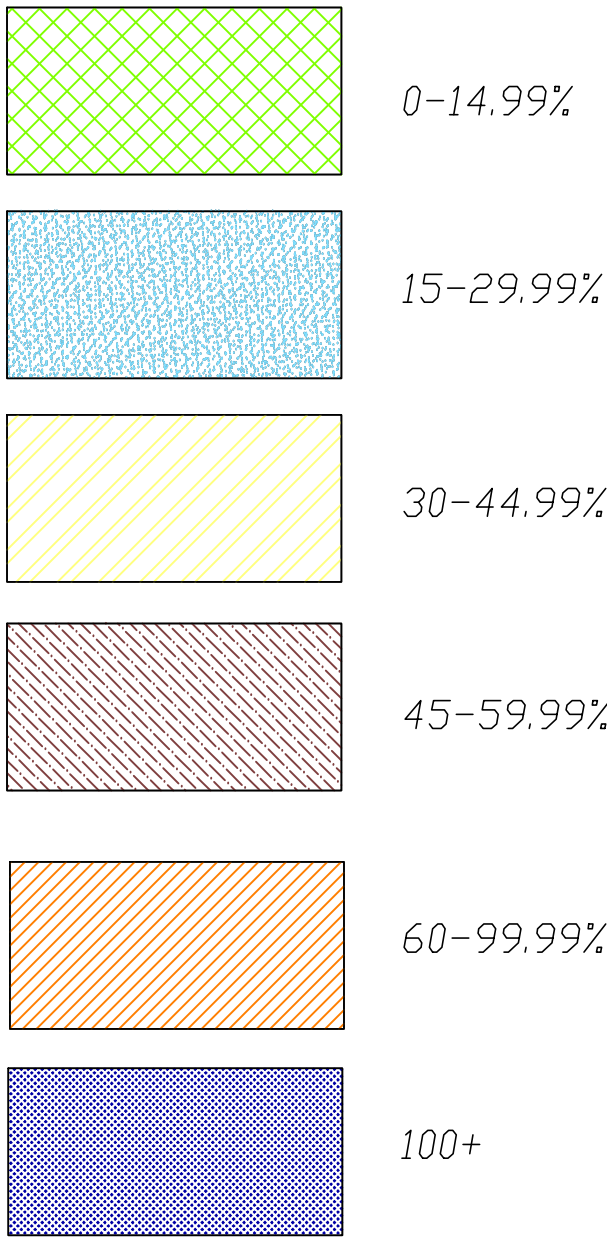
NOTE:
THIS SURVEY DOES NOT INCLUDE EASEMENTS OF RECORD OR OTHERWISE, UNDERGROUND PUBLIC UTILITIES, OR OTHER SUBSTRUCTURES, OR ZONE EASEMENTS, SETBACK OR STREET WIDENING DATA IF APPLICABLE.
IF THIS MAP IS TO BE INCLUDED IN CONSTRUCTION PLANS, IT MUST BE INCLUDED IN ITS ENTIRETY. ALTHOUGH REQUESTED, NO TITLE POLICY OR PRELIMINARY TITLE REPORT WAS MADE AVAILABLE TO THIS SURVEYOR.

SLOPE ANALYSIS MAP

SCALE: 1" = 8'
NOVEMBER, 2014

THIS SLOPE ANALYSIS MAP WAS PREPARED BY ME AND WAS ACCURATELY CALCULATED.
ZONING RE9-1
AREA: 23,407 SQUARE FEET

TABLE 12.21 C. 10-2B HILLSIDE AREA MAXIMUM RESIDENTIAL FLOOR AREA FORMULA					
SLOPE BANDS (%)	AREA (SQ-FT)		FAR-1		RESIDENTIAL FLOOR AREA
0-14.99	6699 SQ.FT.	X	0.40	=	2680
15-29.99	1799 SQ.FT.	X	0.35	=	630
30-44.99	2697 SQ.FT.	X	0.30	=	809
45-59.99	3367 SQ.FT.	X	0.25	=	842
60-99.99	6873 SQ.FT.	X	0.20	=	1375
100+	1972 SQ.FT.	X	0.00	=	0
MAXIMUM RESIDENTIAL FLOOR AREA					= 6,336 SQ. FT.



LEGAL DESCRIPTION:
LOT 2 OF TRACT NO. 19890, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 627, PAGES 46 THROUGH 50 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

FDR:
SCOTT BIRDWELL
16640 BIENVENEDA PL.
PACIFIC PALISADES, CA 90272

BY:
LAWRENCE J. SCHMAHL L.S. 5748

LEGEND:
E EAST
N NORTH
S SOUTH
W WEST
BUILDING LINE
CENTERLINE
PROPERTY LINE
WALL

NOTE: THIS SURVEY DOES NOT INCLUDE EASEMENTS OF RECORD OR OTHERWISE, UNDERGROUND PUBLIC UTILITIES, OR OTHER SUBSTRUCTURES, OR ZONE EASEMENTS, SETBACK OR STREET WIDENING DATA IF APPLICABLE.

LEGEND:

E

N

S

W

EAST

NORTH

SOUTH

WEST

BUILDING LINE

CENTERLINE

COVERED PATIO

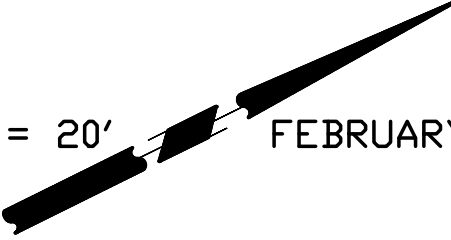
PROPERTY LINE



LAWRENCE J. SCHMAHL LICENSED SURVEYOR PLS 5748
11209 HOWARD ST. WHITTIER, CALIFORNIA 90606 (562) 908-0570 / (323) 773-1675

PREVAILING SETBACKS

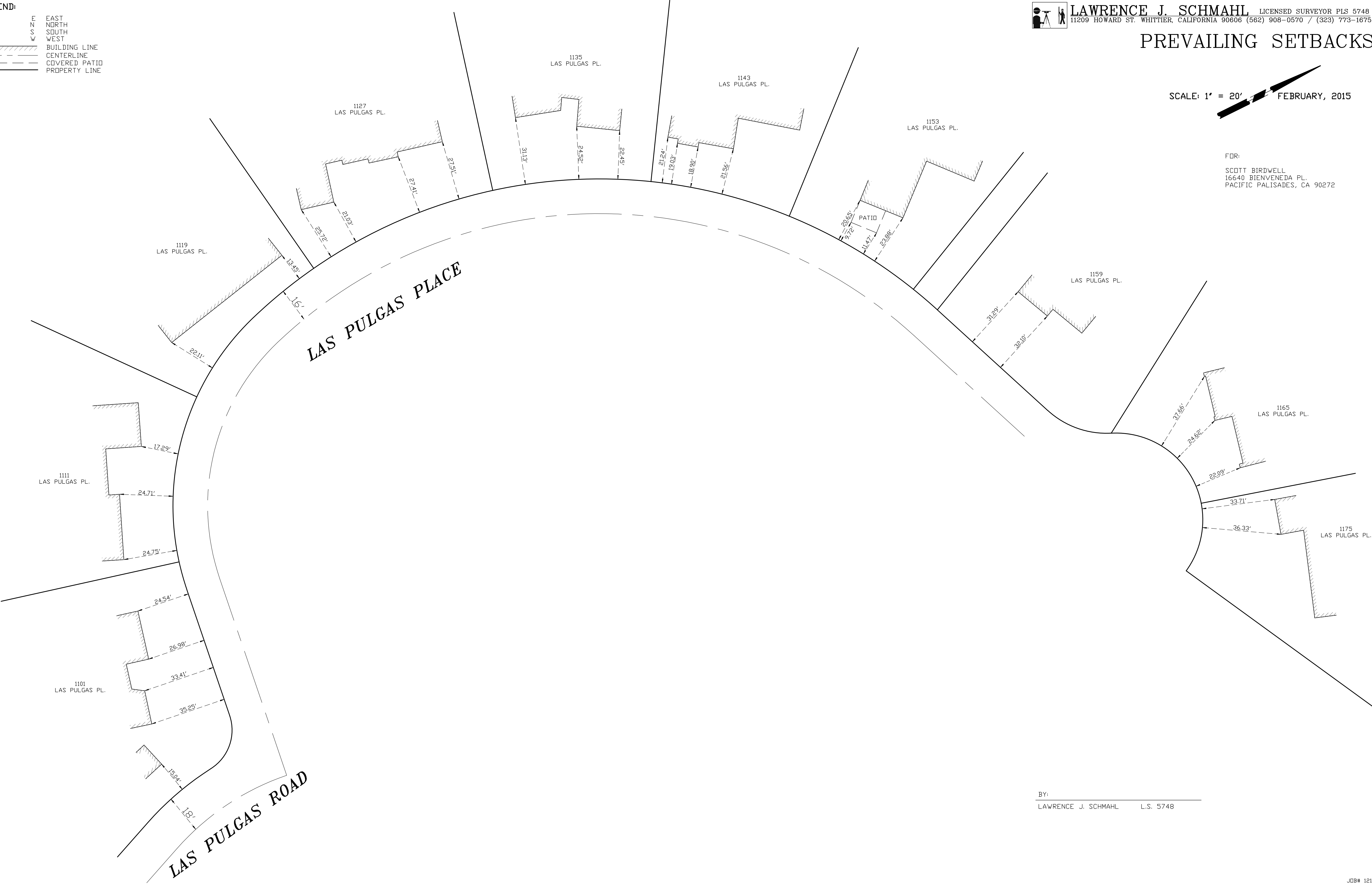
SCALE: 1" = 20'



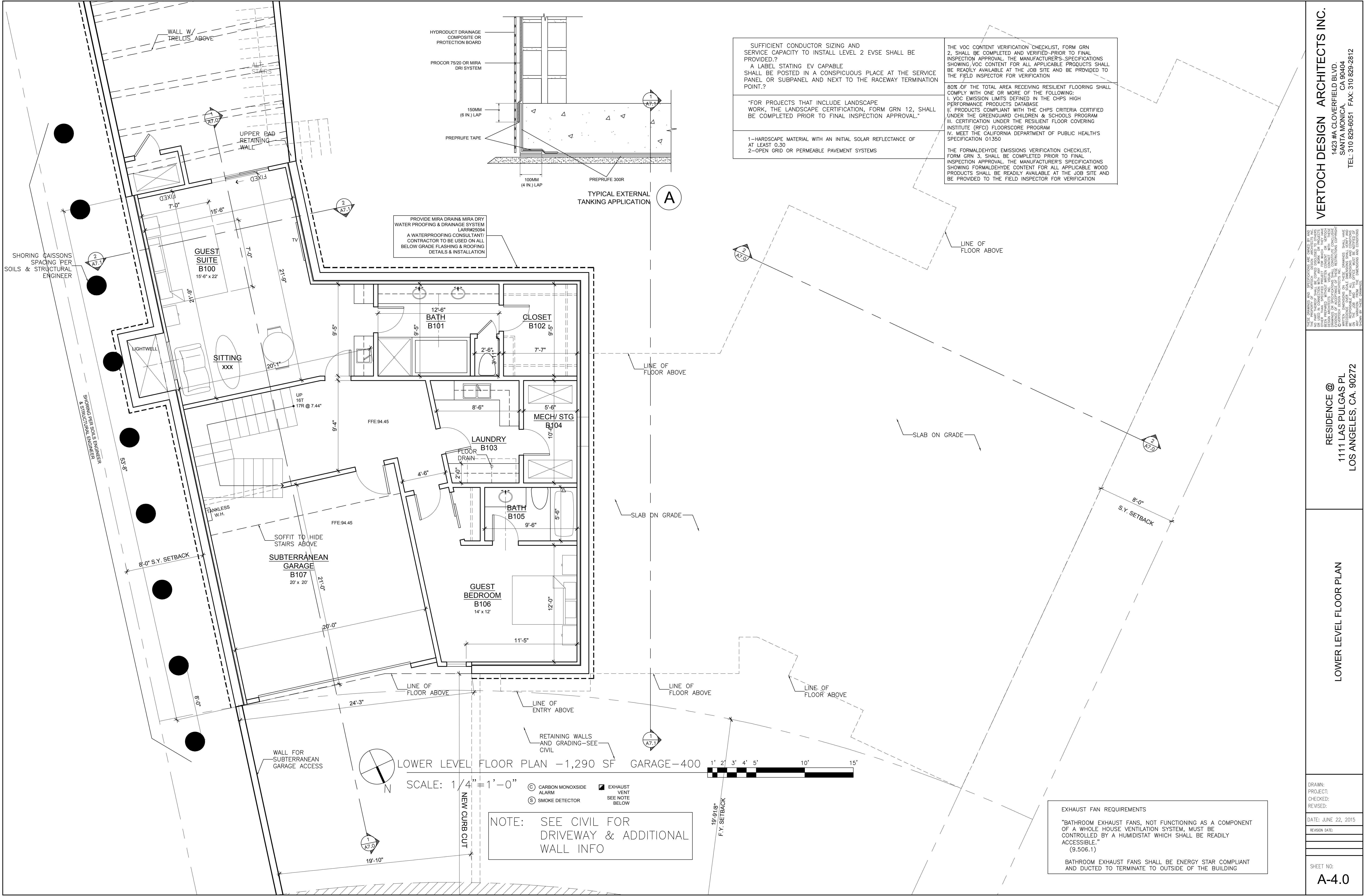
FEBRUARY, 2015

FOR:

SCOTT BIRDWELL
16640 BIENVENEDA PL.
PACIFIC PALISADES, CA 90272



BY: _____
LAWRENCE J. SCHMAHL L.S. 5748



MECHANICAL EQUIPMENT— COORDINATE WITH MECHANICAL & OWNER REQ.

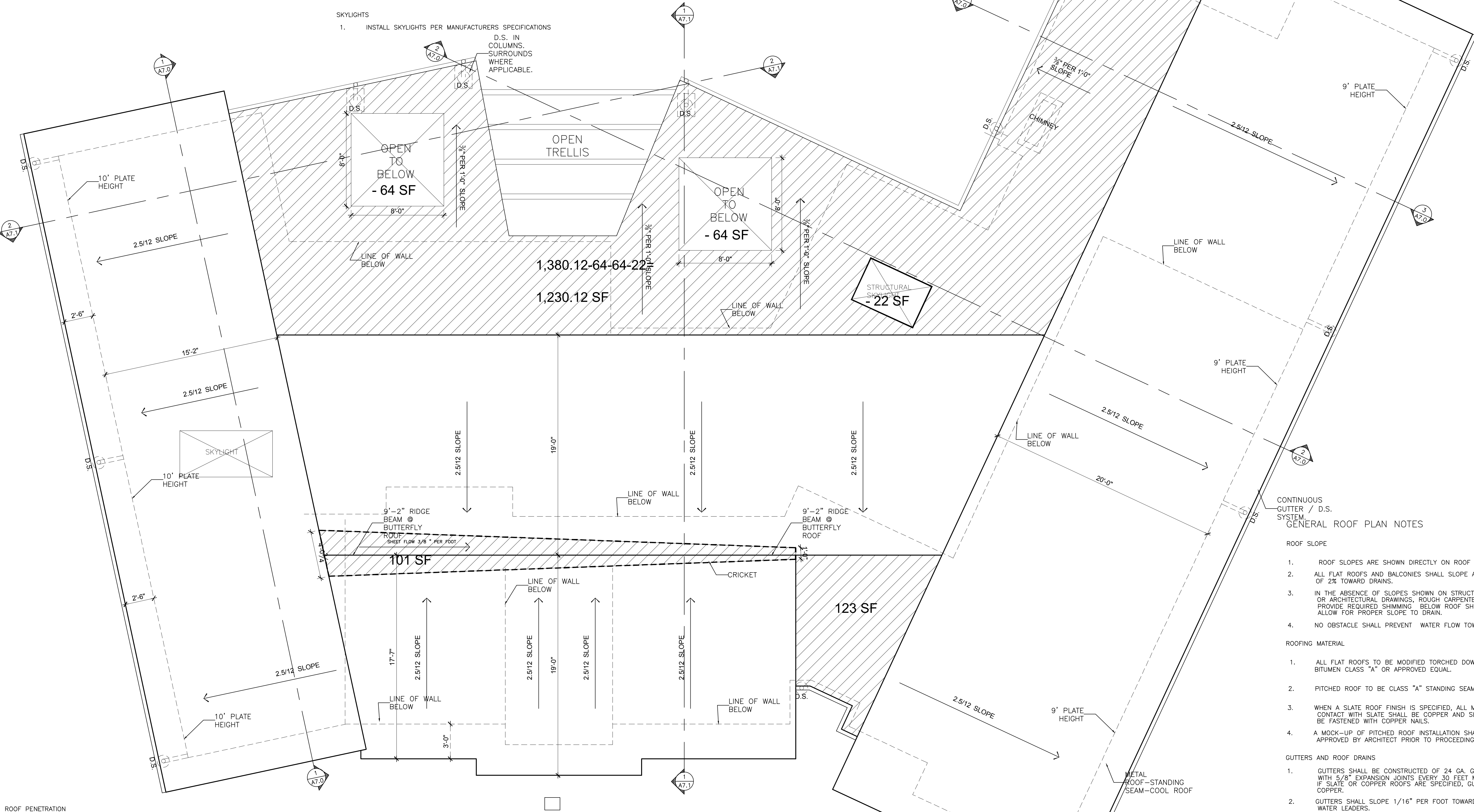
- ALL CONDENSING UNITS SHALL BE MOUNTED ON SOUND ISOLATORS AT FLAT ROOF AND SHALL BE SCREENED FROM STREET AND REAR YARD WITH PARAPET WALLS CONSTRUCTED OF STUCCO OVER WOOD FRAMING. THE SOUND ISOLATOR SHALL BE INSTALLED OVER A SHEET METAL PAN AS TO PROTECT THE ROOF MEMBRANE. THE EXACT LOCATION OF EQUIPMENT TO BE COORDINATED ON SITE BY ARCHITECT.
- FOR ROOFS WITH NO FLAT AREAS, CONDENSING UNITS WILL BE LOCATED ON CONCRETE PADS IN YARD. EXTRACT LOCATION OF EQUIPMENT TO BE COORDINATED ON SITE BY ARCHITECT. SEE BUILDING SECTIONS AND CEILING DETAILS.

ATTIC VENTILATION

- TOTAL ATTIC VENTILATION SHALL BE A MINIMUM OF 1/150 OF THE AREA TO BE VENTILATED.
- NO VENTILATION IS REQUIRED IN AREAS WHERE ROOF INSULATION IS INSTALLED BETWEEN RAFTERS WITH NO AIR SPACE BETWEEN INSULATION AND EXTERIOR SHEATING.
- ATTIC DRAFT STOPS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES.
- ALL VENT OPENINGS SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH OPENINGS NO LARGER THAN 1/4" IN ANY DIRECTIONS.

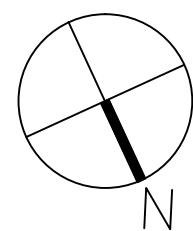
SKYLIGHTS

- INSTALL SKYLIGHTS PER MANUFACTURERS SPECIFICATIONS
- D.S. IN COLUMNS. SURROUNDS WHERE APPLICABLE.



ROOF PENETRATION

- VENTS AT FLAT ROOF AND ROOF STACKS SHALL PROJECT ABOVE ROOF BY THE MINIMUM DISTANCE REQUIRED BY APPLICABLE CODES AND SHALL BE LOCATED IN AREAS NOT VISIBLE FROM STREET. EXACT LOCATION TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS.
- CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATION SHALL BE PROVIDED WITH W.R. GRACE 4000 BITUMENE WRAPPING AND 24 GA. GALVANIZED METAL FLASHING AND COUNTERFLASHING. ALL JOINTS AT SHEETMETAL SHALL BE CAULKED.
- COLOR OF ALL EXPOSED VENTS AND ROOF STACKS TO MATCH ADJACENT ROOF MATERIAL, UNLESS SPECIFIED OTHERWISE BY ARCHITECT.



FIRST FLOOR PLAN -4,666 SF COVERED LOOGIA-562 SF

SCALE: 1/4"=1'-0"

TOTAL ROOF AREA = 6,221.66
6,221.66 x .25= 1,555.41 ALLOWABLE FLAT

GENERAL ROOF PLAN NOTES

ROOF SLOPE

- ROOF SLOPES ARE SHOWN DIRECTLY ON ROOF PLAN DRAWING.
- ALL FLAT ROOFS AND BALCONIES SHALL SLOPE A MINIMUM OF 2% TOWARD DRAINS.
- IN THE ABSENCE OF SLOPES SHOWN ON STRUCTURAL DRAWINGS OR ARCHITECTURAL DRAWINGS, ROUGH CARPENTER SHALL PROVIDE REQUIRED SHIMMING BELOW ROOF SHEATING TO ALLOW FOR PROPER SLOPE TO DRAIN.
- NO OBSTACLE SHALL PREVENT WATER FLOW TOWARD DRAINS.

ROOFING MATERIAL

- ALL FLAT ROOFS TO BE MODIFIED TORCHED DOWN BITUMEN CLASS "A" OR APPROVED EQUAL.
- PITCHED ROOF TO BE CLASS "A" STANDING SEAM METAL ROOF
- WHEN A SLATE ROOF FINISH IS SPECIFIED, ALL METALS IN CONTACT WITH SLATE SHALL BE COPPER AND SLATE SHALL BE FASTENED WITH COPPER NAILS.
- A MOCK-UP OF PITCHED ROOF INSTALLATION SHALL BE APPROVED BY ARCHITECT PRIOR TO PROCEEDING WITH WORK.

GUTTERS AND ROOF DRAINS

- GUTTERS SHALL BE CONSTRUCTED OF 24 GA. GALVANIZED METAL WITH 5/8" EXPANSION JOINTS EVERY 30 FEET MAXIMUM. IF SLATE OR COPPER ROOFS ARE SPECIFIED, GUTTER SHALL BE COPPER.
- GUTTERS SHALL SLOPE 1/16" PER FOOT TOWARD RAIN WATER LEADERS.
- UNLESS SPECIFIED OTHERWISE, RAIN WATER LEADERS ARE EXPOSED AND LOCATION IS SHOWN ON ROOF PLAN.
- DOWNSPOUTS AT FLAT ROOFS SHALL BE A MINIMUM OF 4" DIAMETER WITH OVERFLOW DRAINS. OVERFLOW DRAINS CAN BE OMITTED IF A 6" W x 1 1/2" H SCUPPER IS SHOWN ADJACENT TO DRAIN.
- PROVIDE DOME WIRE BASKET AT EACH RAIN WATER LEADER AND ROOF DRAIN.
- CONTRACTOR SHALL TEST ALL CONCEALED DOWNSPOUTS FOR WATER LEAKAGE PRIOR TO CLOSING UP BUILDING AND SHALL PROVIDE A 1 YEAR WARRANTY AGAINST LEAKAGE.
- ROOF DRAINAGE TO BE CONNECTED TO EXISTING CITY APPROVED DRAINAGE DEVICE. ALL RAIN WATER TO BE DIRECTED TO STREET OR APPROVED OUTLET.

VERTOCH DESIGN ARCHITECTS INC.

1423 #A CLOVERFIELD BLVD.
SANTA MONICA, CA 90404
TEL: 310 829-6051 FAX: 310 829-2812

RESIDENCE @
1111 LAS PULGAS PL
LOS ANGELES, CA. 90272

ROOF PLAN

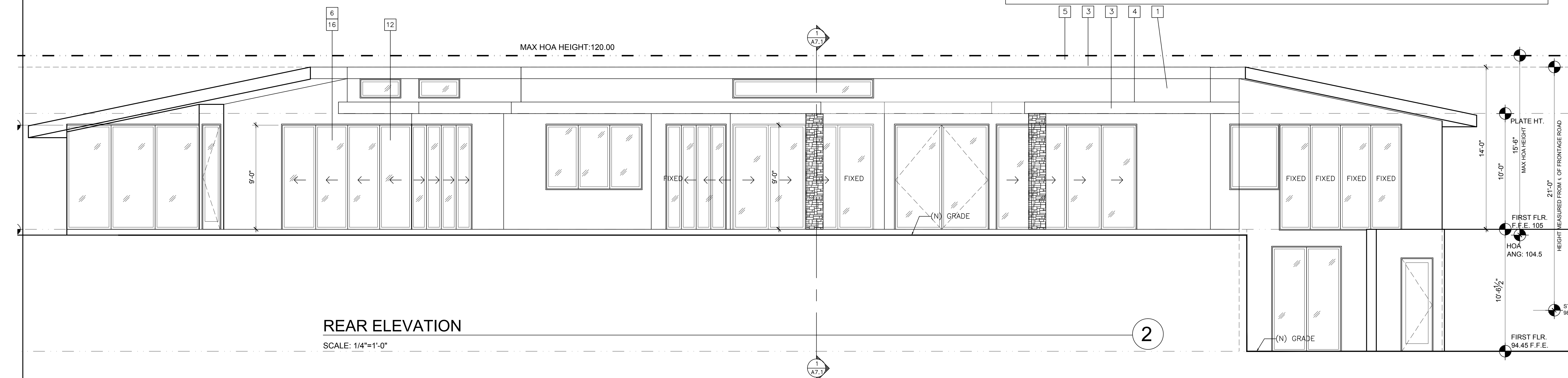
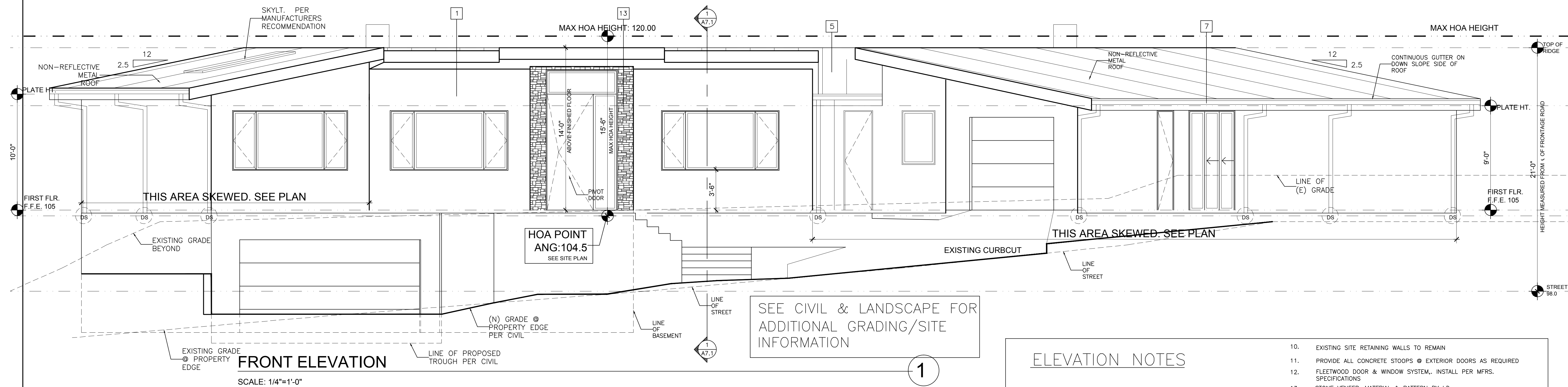
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- ELEVATION NOTES

- | | | | |
|----|---|-----|---|
| 1. | SMOOTH TROWEL PLASTER | 13. | STONE VENEER: MATERIAL & PATTERN BY I.D. |
| 2. | FLEETWOOD ALUMINUM DOOR/ WINDOWS | 14. | EXISTING PLANTER AREAS TO BE MODIFIED PER LS ARCH. REMOVE SOIL/REVIEW SUBGRADE CONDITION/PROVIDE CONCRETE STEM WALL & W.P. WITH MIRA DRAIN SYSTEM & FRENCH DRAINS |
| 3. | BONDER RED METAL FASCIA/ GUTTER D.S. | 15. | METAL & SANDBLASTED GLASS SECTIONAL GARAGE DOOR BY CLOPAY |
| 4. | FLAT ROOF/ MEMBRANE | 16. | FIXED BUTT GLAZED CORNER GLASS SECTION |
| 5. | SLOPE ROOF/ STANDING SEAM METAL ROOF. | 17. | BOLT ON RAILING |
| 6. | GLASS ON ALL SWINGING DOORS: GLAZING WITHIN 18" OF THE ADJACENT FLOOR WALKING SURFACE SHALL BE FULLY TEMPERED. | 18. | CLASS A ROOF TORCH DN. MEMBRANE ROOF COATING TO MATCH STUCCO-BUFF COLOR |
| 7. | CONTINUOUS 20 GA GALVANIZED IRON GUTTER: SEE EAVES DETAIL. | 19. | EXTERIOR LIGHTING: SEE POWER & LIGHTING PLANS. |
| 8. | DOWN SPOUTS: SEE EXTERIOR ELEVATIONS AND ROOF PLAN FOR LOCATIONS. ALL DOWN SPOUTS TO CONNECT INTO SUBSURFACE | 20. | TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING WITHIN 10'. |
| 9. | CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED: LOCATE WEEP SCREED AT LOWEST POSSIBLE POINT OF CONCRETE FOOTING AND SILL PLATE JUNCTURE. COLOR COAT STEM BELOW WEEP SCREED | 21. | PROVIDE APPROVED SPARK ARRESTORS AT TOPS OF ALL FIREPLACE CHIMNEYS. UL APPROVED METALBESTOS #SSII FLUE SYSTEM BY SELKIRK, SEE DETAIL . |

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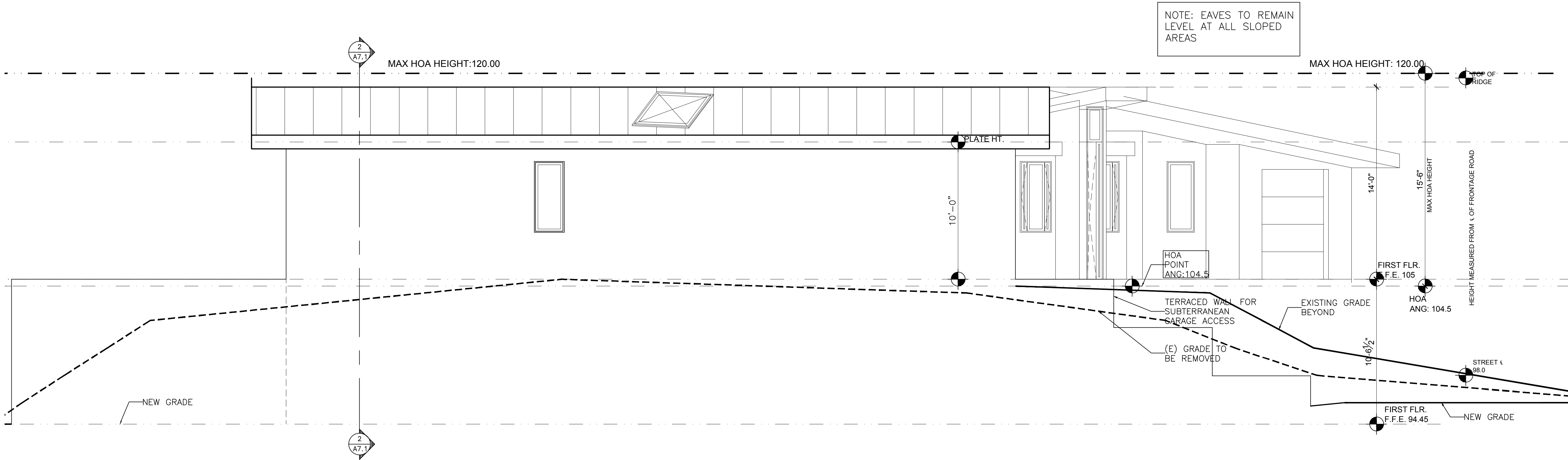
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ELEVATIONS

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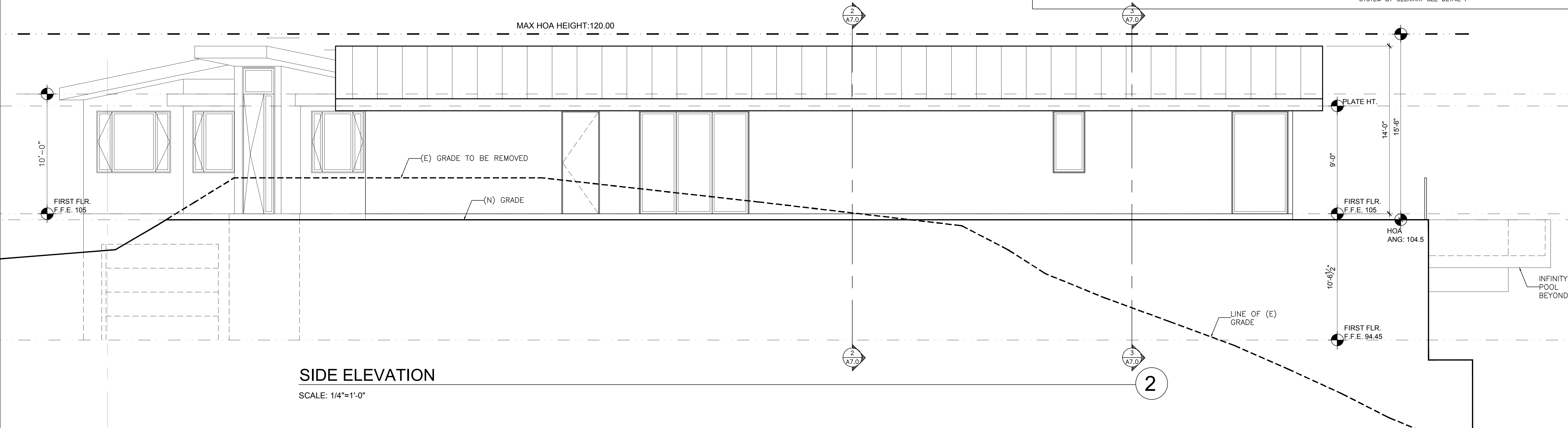
SIDE ELEVATION

SCALE: 1/4"=1'-0"

1

ELEVATION NOTES

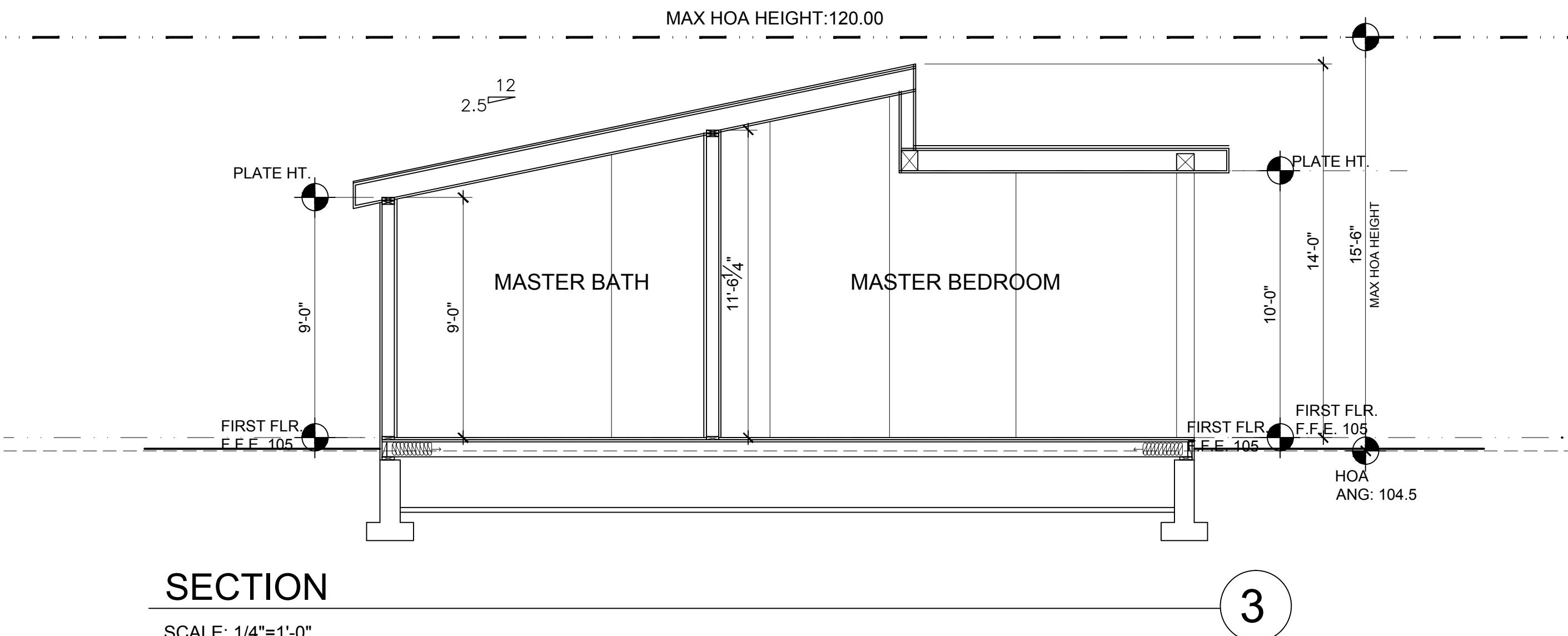
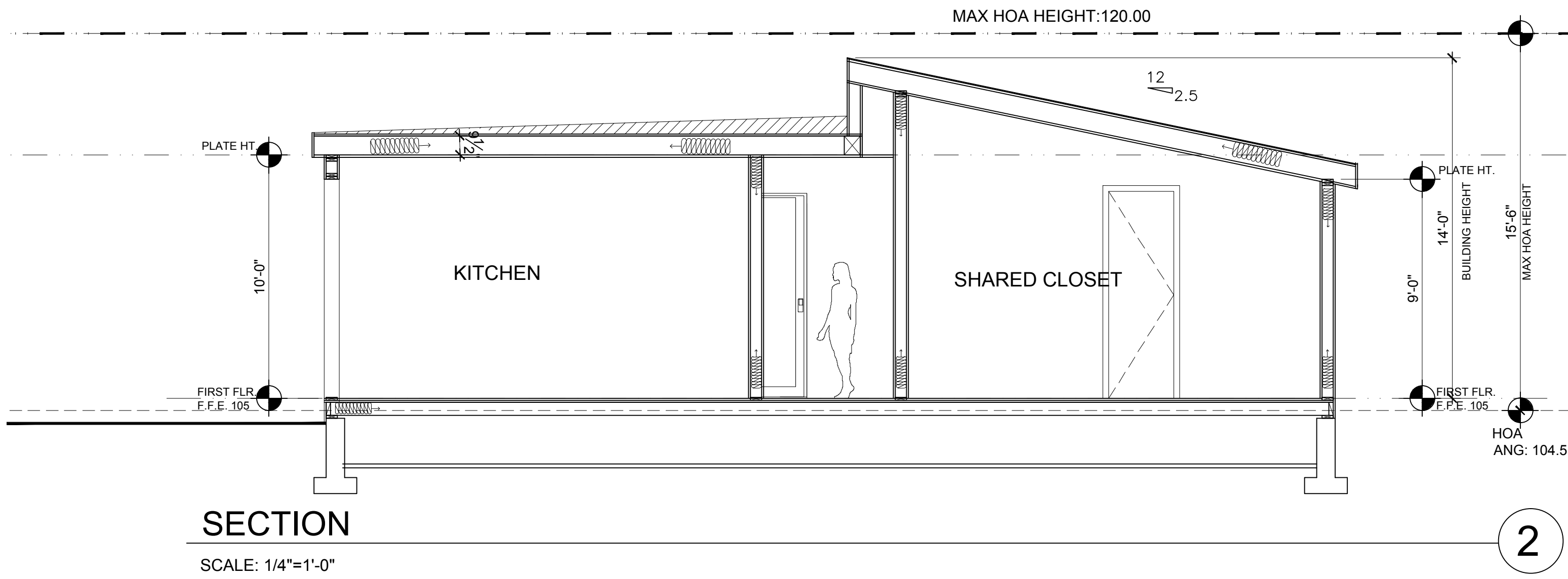
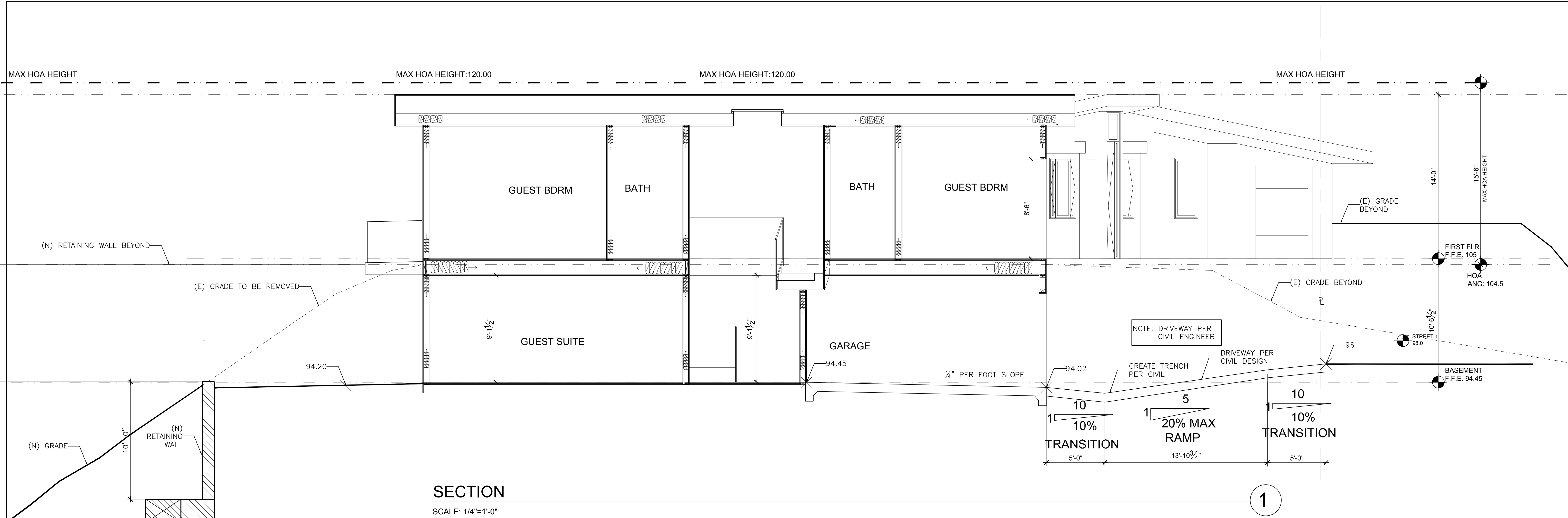
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- FLAT ROOF/ MEMBRANE
- SLOPE ROOF/ STANDING SEAM METAL ROOF.
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- EXISTING SITE RETAINING WALLS TO REMAIN
- PROVIDE ALL CONCRETE STOOPS @ EXTERIOR DOORS AS REQUIRED
- FLEETWOOD DOOR & WINDOW SYSTEM., INSTALL PER MFRS. SPECIFICATIONS
- STONE VENEER: MATERIAL & PATTERN BY I.D.
- EXISTING PLANTER AREAS TO BE MODIFIED PER. LS ARCH. REMOVE SOIL, REVIEW SUBGRADE CONDITION, PROVIDE CONCRETE STEM WALL & W.P. WITH MIRA DRAIN SYSTEM & FRENCH DRAINS
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SIDE ELEVATION

SCALE: 1/4"=1'-0"

2



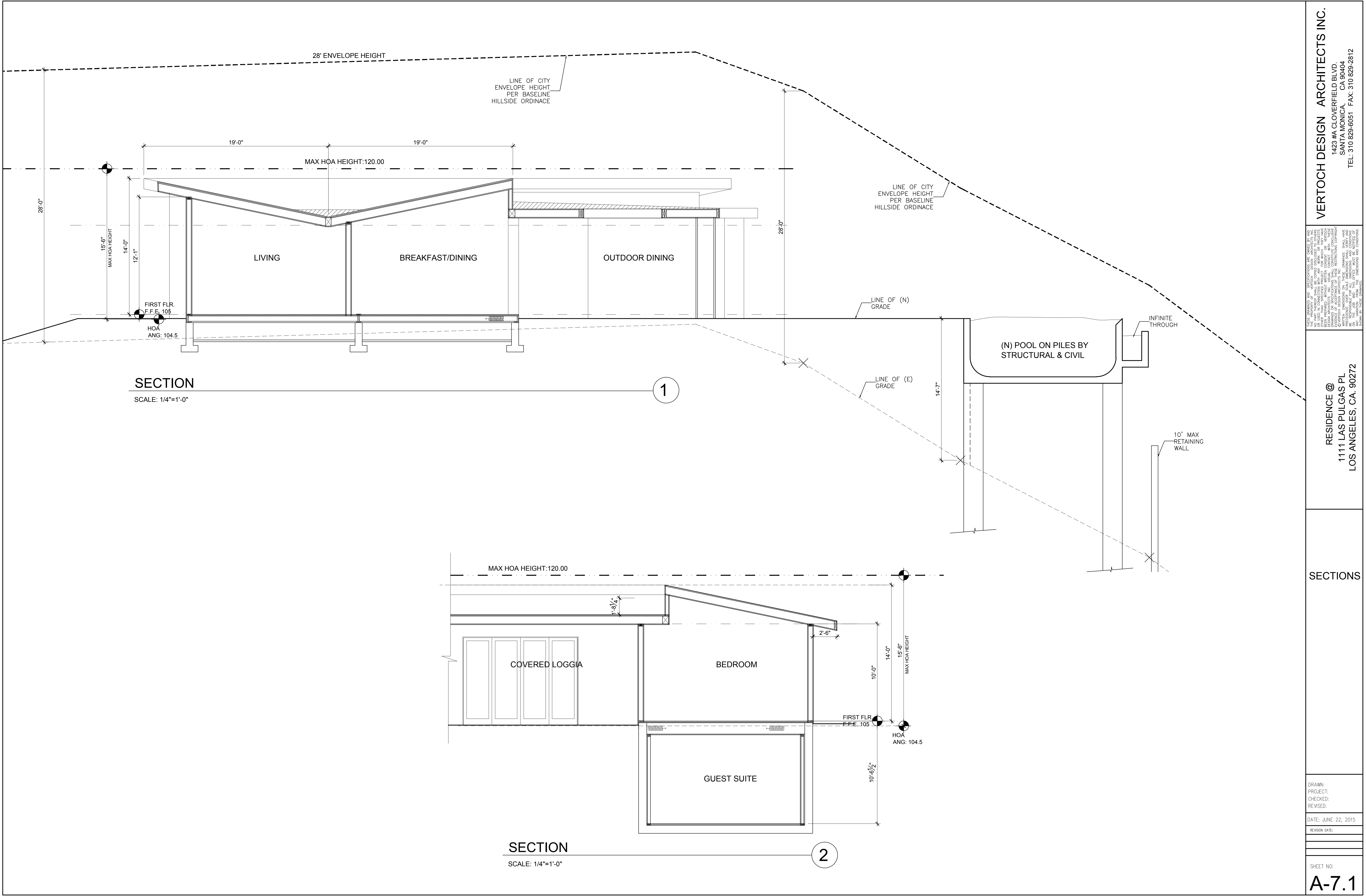
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