

Palisair Home Owners Association

A NON-PROFIT CORPORATION

P.O. Box 901

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The Association itself is a "Tract Committee" under the Declaration of Restrictions covering Tracts 15944, 15948 and 19890, and operates as such through its Board of directors and its Officers

December 15, 2015

VIA ELECTRONIC MAIL
rgonen@loanmart.com
And PERSONAL
DELIVERY

Mr. and Mrs. Ron Gonen
607 Via de la Paz
Pacific Palisades, CA 90272

RE: Final Approval, 16058 Anoka Drive

Dear Inbal and Ron:

The Palisair Home Owners Association (PHOA) reviewed, on September 19, 2015, the plans submitted for Final Approval for a one-story, new construction project proposed at 16058 Anoka Drive. A neighborhood meeting was also held on Saturday, September 19 with the Gonens present. The plans, prepared by ZAA Studios are dated April 13, 2015 and bear the August 20, 2015 stamp of approval from the Los Angeles Department of Building and Safety. Specifically, the plans for the house consist of 31 pages and include: A2.0 Site Plan, A3.0 Floor Plan, A4.0 Roof Plan, A6.0 and A6.1 Elevations, A5.0-A5.3 Sections; Grading Plan dated 8/9/15 and Site Survey dated 7/25/12 prepared by Martin Engineering. On October 11, 2015, the PHOA also reviewed the plans for the "Accessory Living Quarters". Those plans consist of 23 pages and are dated April 13, 2015, and bear the September 21, 2015 stamp of approval from the LADBS. The plans include: A2.0, Site Plan; A3.0 Upper Level Floor Plan; A3.1 Lower Level Floor Plan; A5.0Section and S-5 Accessory Structure.

Based on the two reviews conducted, as well as the neighborhood meeting, this correspondence shall constitute Final Approval by the Palisair Home Owners Association ("PHOA") with respect to this proposed project. We find that this set of plans pose no violation of the Declarations of Establishment of Protective Covenants and Restrictions as imposed on all land in Tracts 15944, 15948 and 19890 ("CC&Rs"). It is our understanding that the project at the property will be conducted pursuant to these plans.

We wish to emphasize that this approval is conditioned on this project's compliance with the CC&Rs and based on the PHOA Board's review of the plans submitted and the determination of their compliance. If your project will affect other parameters of the CC&Rs that are not addressed by the plans, approval has not yet been provided and we encourage you to bring such matters to our attention promptly for review. Any deviation from the plans involving the exterior appearance and design as approved shall render the approval null and void, unless written approval is obtained in advance from the PHOA.

In order to maintain this PHOA Final Approval as valid, and also with particular reference to neighbor view protection, PHOA written approval must be obtained for roofing materials and remaining Landscape/Hardscape and garden Lighting Plans not yet submitted. We request these plans and a roof sample be submitted to the PHOA at least two months before final roof installation and planting. Please note the PHOA policy is to not allow LADBS "Green Building Code" white roofs. Of the range of roofing material colors allowed the least reflective color must be chosen.

Also, given the relevance specific to this project of neighboring view protection, the PHOA requires submission of a survey conducted immediately following pouring of the foundation on the building floor/slab height. The entire pad was lowered 5 feet to 513'. The approved structure elevation ranges from 15'-6" to 16'-6" above the lowered grade. Therefore, the maximum allowable elevation for this set of plans is 529'-6". Although on this property the CC&Rs allows a maximum height limit of 533.5', any intent to raise the structure elevation beyond that specified in the current plans requires new plans to be submitted to the PHOA for review. Smaller changes such as the addition of condensers or solar panels to the roof, also must be submitted and approved by the PHOA. (Ref. CC&R, Art IV, Sec. 2, (a) and (b).)

Pursuant to Article V, Section 3 of the CC&Rs, the Board specifically reserves the right to monitor the progress of the project to insure compliance with the approved plans and specifications submitted and with the overall requirements of the CC&Rs. These powers include the right, with proper notice, to enter the property to review, and call for correction of, any violations posed.

If you have any questions or concerns as to the meaning and extent of this Approval, please contact us and we will be pleased to discuss any questions or concerns.

Sincerely,

David Schultz, PHOA Vice President



Enclosures: Approved plans (1 set, stamped with approval and initialed)

Owner signature below acknowledges receipt of and agreement to this Final Approval Letter:


Ron Gonon, owner

12/26/15
Date