MR. ELLIOT TISHBI

1111 LAS LOMAS AVE. PACIFIC PALISADES CA 90272

ABBREVIATIONS & SYMBOLS

ACOUS.	ACOUSTICAL
A.D.	AREA DRAIN
ADJ.	ADJUSTIBLE
AGGR.	AGGREGATE
AL.	ALUMINUM
ALT.	ALTERNATIVE
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
ASB.	ASBESTOS
ASPH.	ASPHALT
@	AT
&	AND
BD.	BOARD
BIT.	BITUMEN
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BENCH MARK
BOT.	BOTTOM
CAB.	CABINET
CB.	CORNER BEAD
CEM.	CEMENT
CER.	CERAMIC
C.I.	CAST IRON
CLG.	CEILING
CLKG.	CAULKING
CLOS.	CLOSET
CLR.	CLEAR CLEARENCE
℄	CENTER LINE
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CORR.	CORRIDOR
CTSK.	COUNTER SUNK
COUNT.	COUNTER
CTR.	CENTER
C.T.	CERAMIC TILE
DBL.	DOUBLE
DEPT.	DEPARTMENT
D.F.	DRINKING FOUNTAIN
DET.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DISP.	DISPENSER
DN.	DOWN
D.O.	DOOR OPENING
DR.	DOOR
DWR.	DRAWER
D.S.	DOWNSPOUT
D.S.P.	DRY STANDPIPE
DWG.	DRAWING
E	EAST
EA.	EACH
E.J.	EXPANSION JOINT
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EMER.	EMERGENCY
ENCL.	ENCLOSURE
E.P.	ELECTRICAL PANELBOARD
EQ.	EQUAL
EQPT.	EQUIPMENT
E.W.C.	ELECTRIC WATER COOLER
EXIST.	EXISTING
EXPO.	EXPOSED
EXP.	EXPANSION
EXT.	EXTERIOR
F.A.	FIRE ALARM
F.B.	FLAT BAR
F.D.	FLOOR DRAIN
FOUND.	FOUNDATION
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CAP
F.H.C.	FIRE HOSE CABINET
FIN.	FINISH
FL.	FLOOR
FLASH.	FLASHING
FLUOR.	FLUORESCENT
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUDS
FPRF.	FIREPROOF
F.S.	FULL SIZE
FT.	FOOT OR FEET
FTG.	FOOTING
FURR.	FURRING
FUT.	FUTURE
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GRAB BAR
GL.	GLASS
GND.	GROUND
GR.	GRADE
GYP.	GYPSUM
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HDWD.	HARD WOOD
HDWE.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR.	HOUR
HGT.	HEIGHT
I.D.	INSIDE DIAMETER(DIM.)
INSUL.	INSULATION
INT.	INTERIOR
JAN.	JANITOR
JT.	JOINT
KIT.	KITCHEN
LAB.	LABORATORY
LAM.	LAMINATED
LAV.	LAVATORY
LKR.	LOCKER
LT.	LIGHT
MAX.	MAXIMUM
M.C.	MEDICINE CABINET
MECH.	MECHANICAL
MEMB.	MEMBRANE
MTL.	METAL
MFR.	MANUFACTURER
M.H.	MANHOLE
MIN.	MINIMUM
MIR.	MIRROR
MISC.	MISCELLANEOUS
MTD.	MOUNTED
MUL.	MULLION
N	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O.A.	OVERALL
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER(DIM.)
OFF.	OFFICE
OPNG.	OPENING
OPP.	OPPOSITE
P.C.	PRE-CAST
PL.	PLATE
PLAM.	PLASTIC LAMINATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
PR.	PAIR
PT.	POINT
P.T.D.	PAPER TOWEL DISPENSER
P.T.D./R.	COMBINATION PAPER TOWEL DISPENSER & RECEPTICLE
PTN.	PARTITION
P.T.R.	PAPER RECEPTICLE
Q.T.	QUARRY TILE
R.	RISER
RAD.	RADIUS
R.D.	ROOF DRAIN
REF.	REFERENCE
REFR.	REFRIGERATOR
RGTR.	REINFORCED
REQ.	REQUIRED
RM.	ROOM
R.O.	ROUGH OPENING
S	SOUTH
S.C.	SOLID CORE
S.C.D.	SEAT COVER DISPENSER
SCHED.	SCHEDULE
S.D.	SOAP DISPENSER
SECT.	SECTION
SH.	SHELF
SHWR.	SHOWER
SHT.	SHEET
SIM.	SIMILAR
S.N.D.	SANITARY NAPKIN DISP.
S.N.R.	
SPEC.	SPECIFICATION
SQ.	SQUARE
S.ST.	STAINLESS STEEL
S.S.	SERVICE SINK
STA.	STATION
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
STRL.	STRUCTURAL
SUSP.	SUSPENDED
SYM.	SYMETRICAL
TRD.	TREAD
T.B.	TOWEL BAR
T.O.C.	TOP OF CURB
TEL.	TELEPHONE
TER.	TERRAZZO
T & G	TONGUE & GROOVE
THK.	THICK
T.P.	TOP OF PAVEMENT
TEL.	TELEVISION
T.W.	TOP OF WALL
TYP.	TYPICAL
UNF.	UNFINISHED
UR.	URINAL
W	WEST
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W/O	WITHOUT
W.P.	WATERPROOF
WSCT.	WAINSCOT
WT.	WEIGHT

DETAIL NUMBER / SHEET NUMBER

SECTION LETTER / SHEET NUMBER

ELEVATION NUMBER / SHEET NUMBER

WINDOW NUMBER

DOOR NUMBER

REFERENCE NUMBER

SHEAR WALL NUMBER

DETAIL NUMBER / SHEET NUMBER

INTERIOR ELEVATION NUMBER

SHEET INDEX

SHT. NO.	ARCHITECTURAL
A0.1	COVER SHEET AND PROJECT DATA
A0.1.1	SITE PLAN
A0.2	EXISTING FLOOR PLAN
A0.3	DEMOLITION PLAN
A1.0	FIRST FLOOR PLAN
A2.0	NEW BASEMENT PLAN & ROOF PLAN
A3.1	SECTIONS
A3.2	ELEVATIONS
G1.0	GREEN BUILDING CODE & NOTES

BUILDING SUMMARY

R11 Zone Maximum Residential Floor Area Calculation

Slope (%)	Area (Square Feet)	Ratio	Residential Floor Area
0% - 14.99%	8,488	0.40	3395.2 sq. ft.
15% - 29.99%	486	0.35	170.1 sq. ft.
30% - 44.99%	0	0.30	0 sq. ft.
45% - 59.99%	21	0.25	5.25 sq. ft.
60% - 99.99%	53	0.20	10.6 sq. ft.
100% +	47	0	0 sq. ft.

Maximum Residential Floor Area: 3581.15 sq. ft.

Date: June 12, 2015

Site Address: 1111 Las Lomas Avenue, Pacific Palisades

Area: 9,095 square feet; 0.21 acres

Plan Prepared For: 1111 Las Lomas Avenue
Pacific Palisades, CA 90272

Plan Prepared By: Alfredo Sillas, L.S. 9113
1644 N Avon Street
Burbank CA, 91505
(818) 850-0584

LICENSED LAND SURVEYOR ★ ALFREDO SILLAS No. 9113 ★ STATE OF CALIFORNIA
Exp. 9/30/16

Bird's eye view maps can't be printed, so another map view has been substituted.

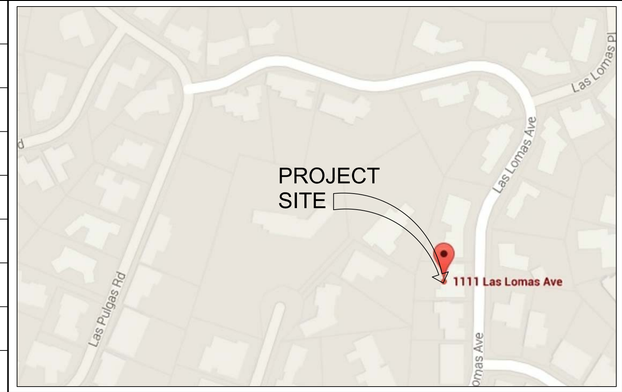
Showing Setbacks From the Front Property Line of all Buildings on the Same side of the street to the Front of yard Buildings

Property Line

12'-8" set Back all Building near to ours

(N) RFA	EXEMPT	TOTAL
1,170 S.F. + BASEMENT	2,388 S.F. INCLUDING GARAGE	3,558 S.F. + BASEMENT

VICINITY MAP



PROJECT DATA

PROJECT DESCRIPTION: ADDITION TO EXISTING BASEMENT AND ADD DECK AND POOL

LEGAL DESCRIPTION: TRACT# TR 15948 / LOT 23

PROJECT ADDRESS: 1111 LAS LOMAS AVE. PACIFIC PALISADES CA 90272

LOT AREA: 9,095 S.F 0.21 AC.

EASEMENT: NO/ EXISTING BUILDING 2,667 S.F.

NUMBER OF STORIES: 1 STORY & BASEMENT PARKING

TOTAL OF ALL ENCLOSED STRUCTURES ON PROPERTY: 3,575 S.F.

DEVELOPMENT AREA ADDITION: 908 SQ.FT.

COVERED PARKING SPACES: ENCLOSED: 2

ZONE: RE 11

DISTRICT: WEST LOS ANGELES

OCCUPANCY: 1

MUNICIPAL CODES: RESIDENTIAL

TYPE OF CONSTRUCTION: V

HEIGHT: 18'-0"

(N) BASEMENT: 690 S.F.

PROJECT TEAM

OWNER:
MR. ELLIOT TISHBI
1111 LAS LOMAS AVE. PACIFIC PALISADES CA 90272

DESIGNER:
BOB BADIYAN & ASSOCIATE DESIGN GROUP
1318 16TH ST. SANTA MONICA CA 90404
TEL: 310.980.1657 FAX: 310.393.7175

STRUCTURAL ENGINEER:

CURRENT CODES ARE 2014 LARC, LABC, GREEN BLDG.

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A ADDITIONAL RESIDENCE FOR
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1111 LAS LOMAS AVENUE. PACIFIC PALISADES CA 90272

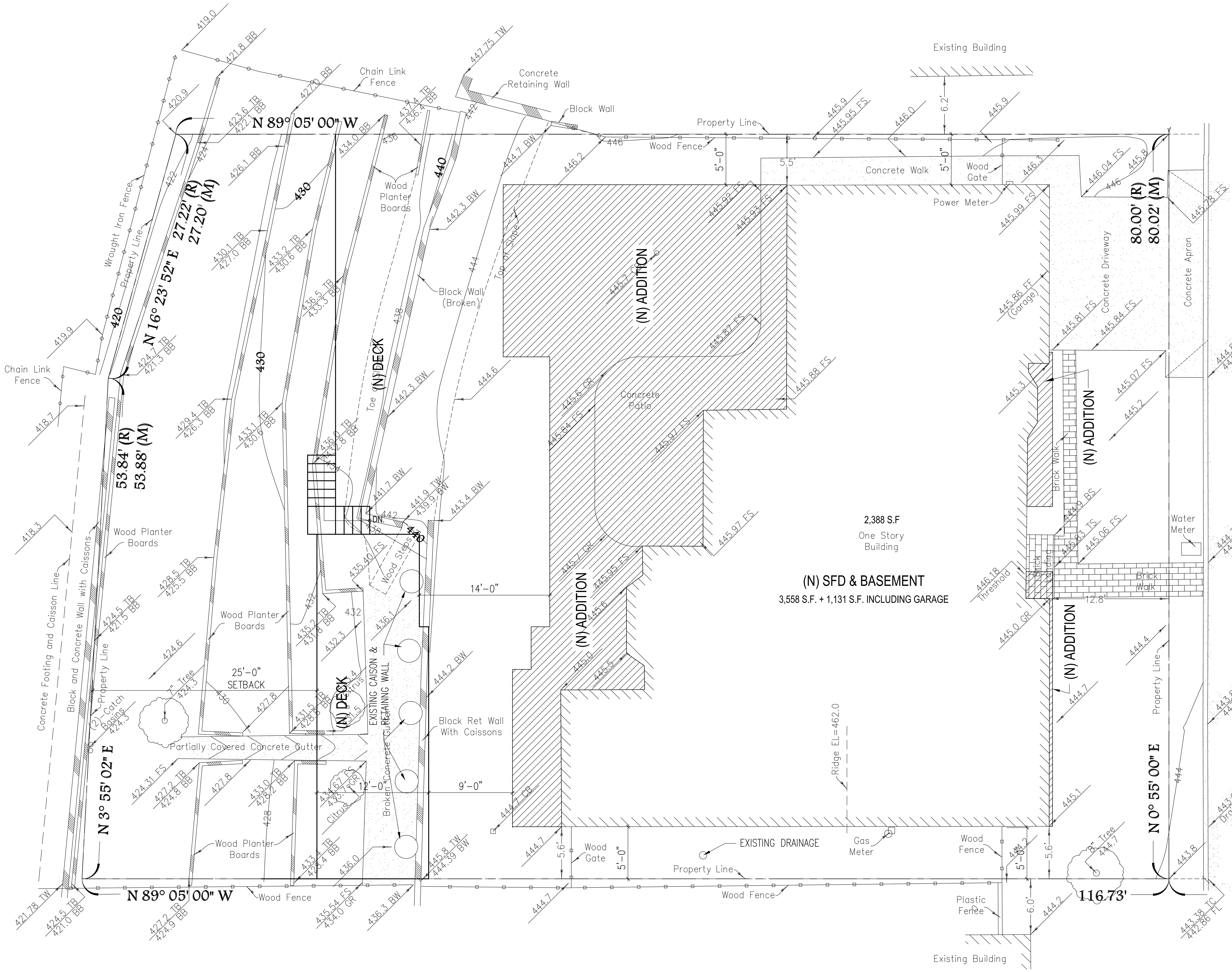
PROJECT NUMBER
-
JULY 16, 2015

REVISIONS	
NO	NOTE

SET ISSUE	
Start Date	

SHEET TITLE
COVER SHEET

SHEET NO.
A0.1



SITE PLAN

SCALE: 3/16" = 1'-0"

1

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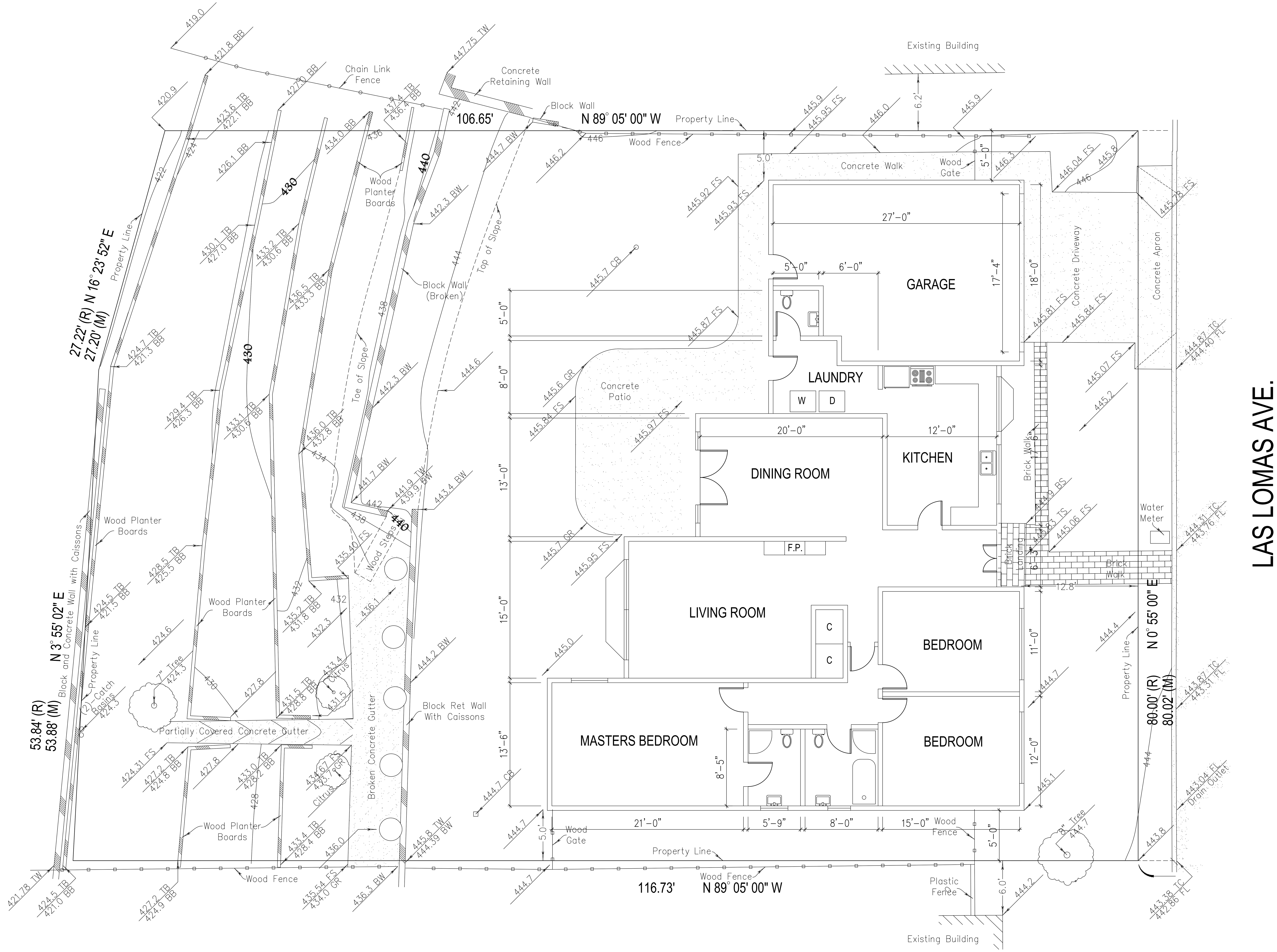
JULY 16, 2015

REVISIONS	
NO	NOTE

SET ISSUE
Start Date

SHEET TITLE
SITE PLAN

SHEET NO.
A0.1.1



EXISTING FLOOR PLAN

SCALE: 3/16" = 1'-0"

1

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-
JULY 16, 2015

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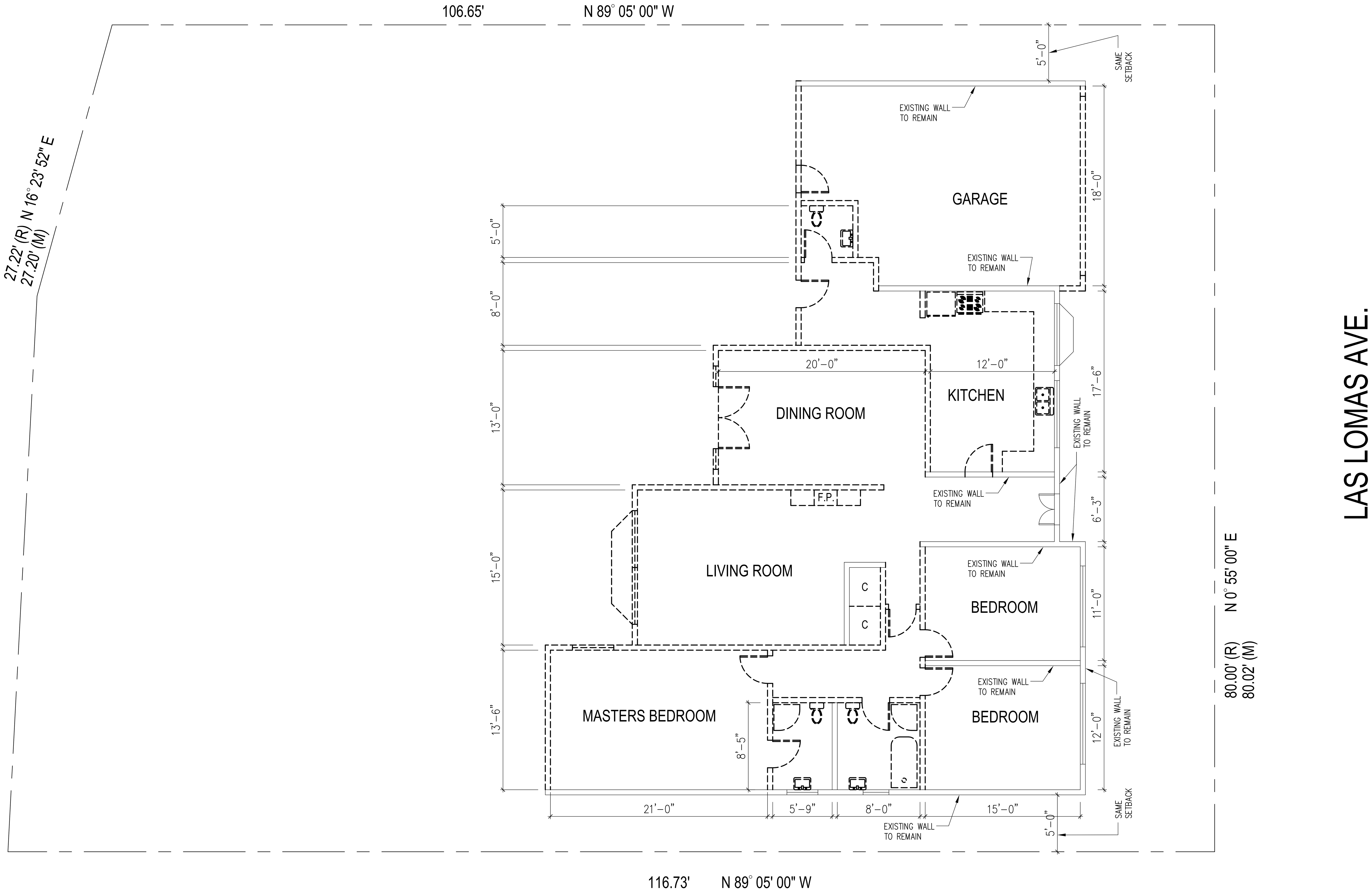
NO	NOTE

SET ISSUE
Start Date

SHEET TITLE
EXISTING FLOOR PLAN

SHEET NO.
A0.2



DEMOLITION FLOOR PLAN

SCALE: 3/16" = 1'-0"

1

LEGEND:

INDICATES EXISTING WALLS TO REMAIN.

INDICATES EXISTING WALLS TO BE REMOVED.

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PROJECT NUMBER
-
JULY 16, 2015

REVISIONS

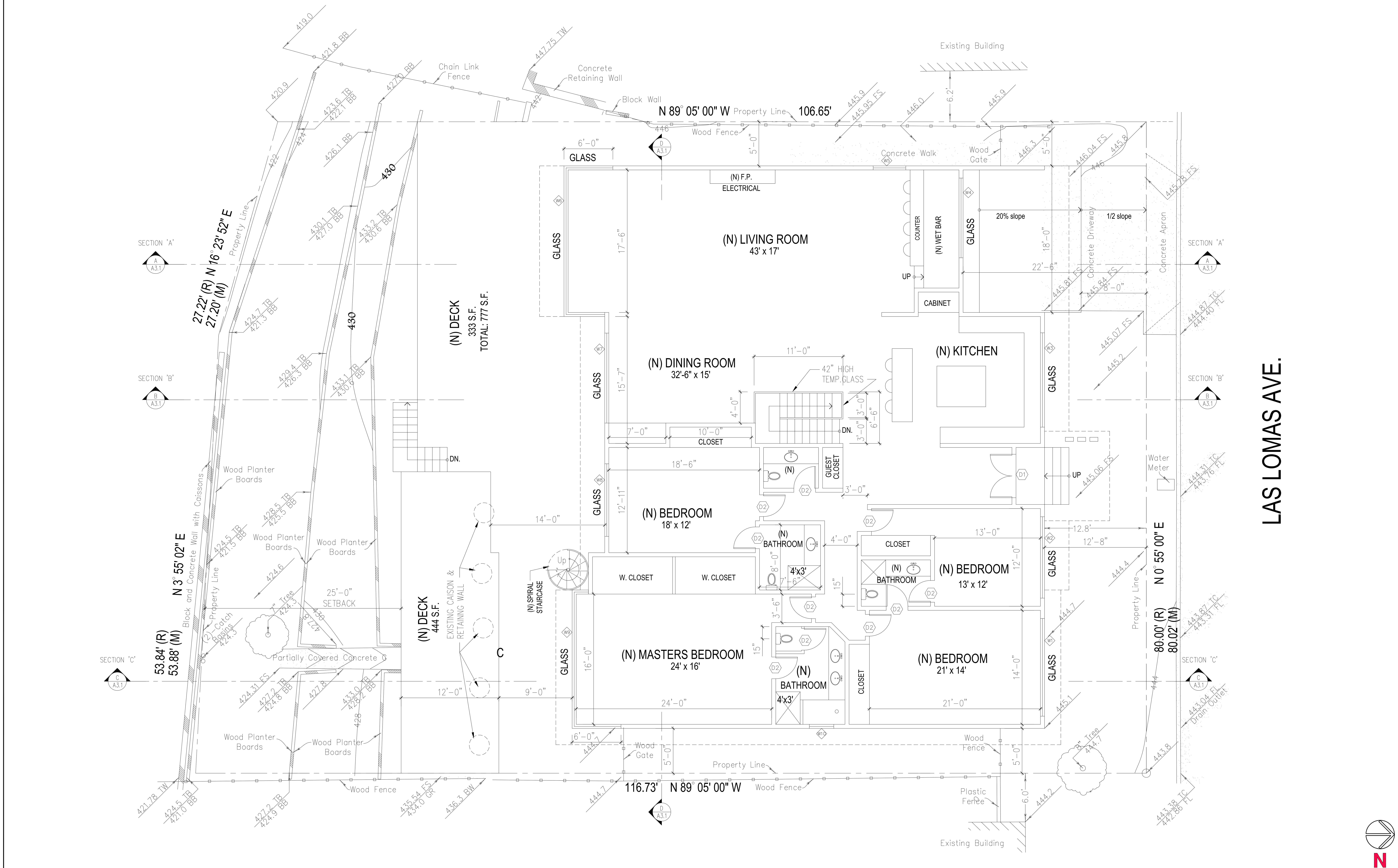
NO	NOTE

SET ISSUE

Start Date

SHEET TITLE
DEMOLITION FLOOR PLAN

SHEET NO.
A0.3



FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0" 1

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JULY 16, 2015

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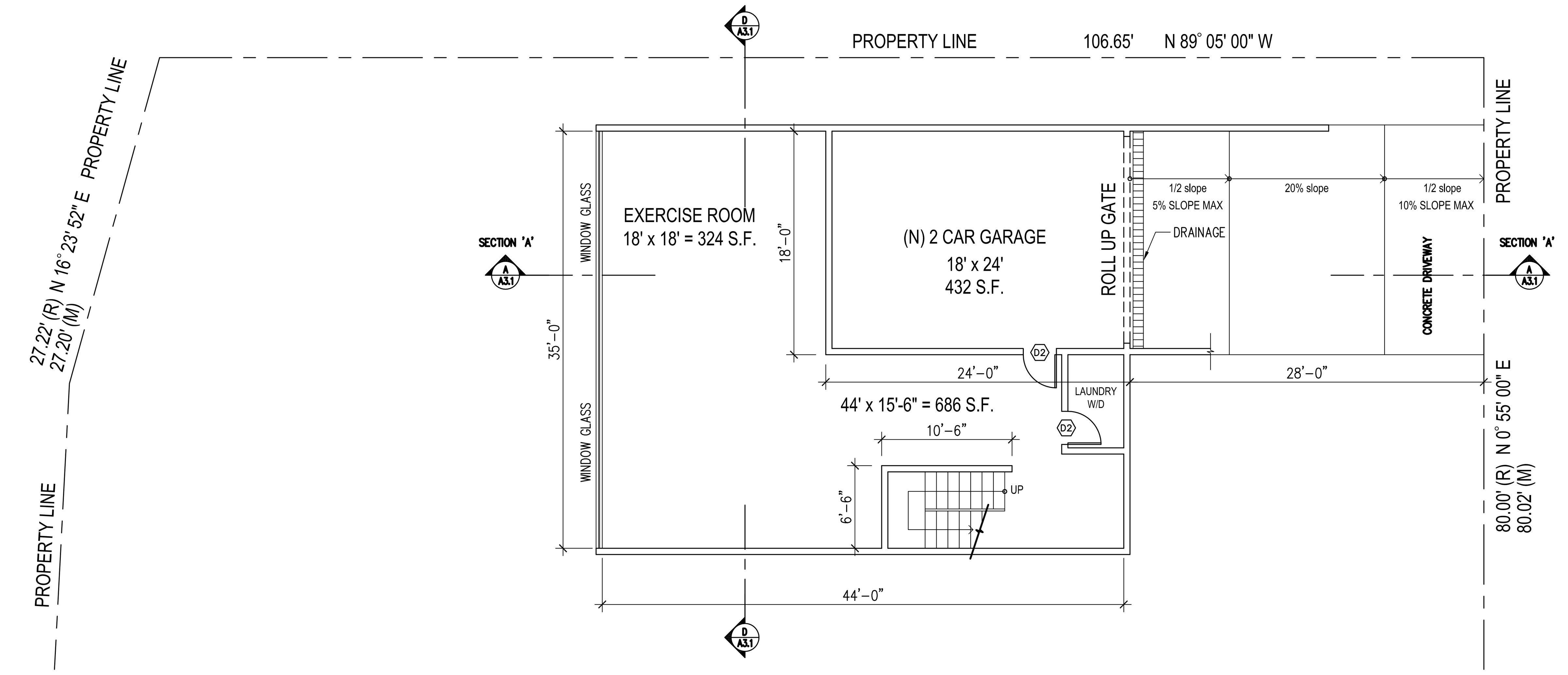
NO.	NOTE

SET ISSUE
Start Date

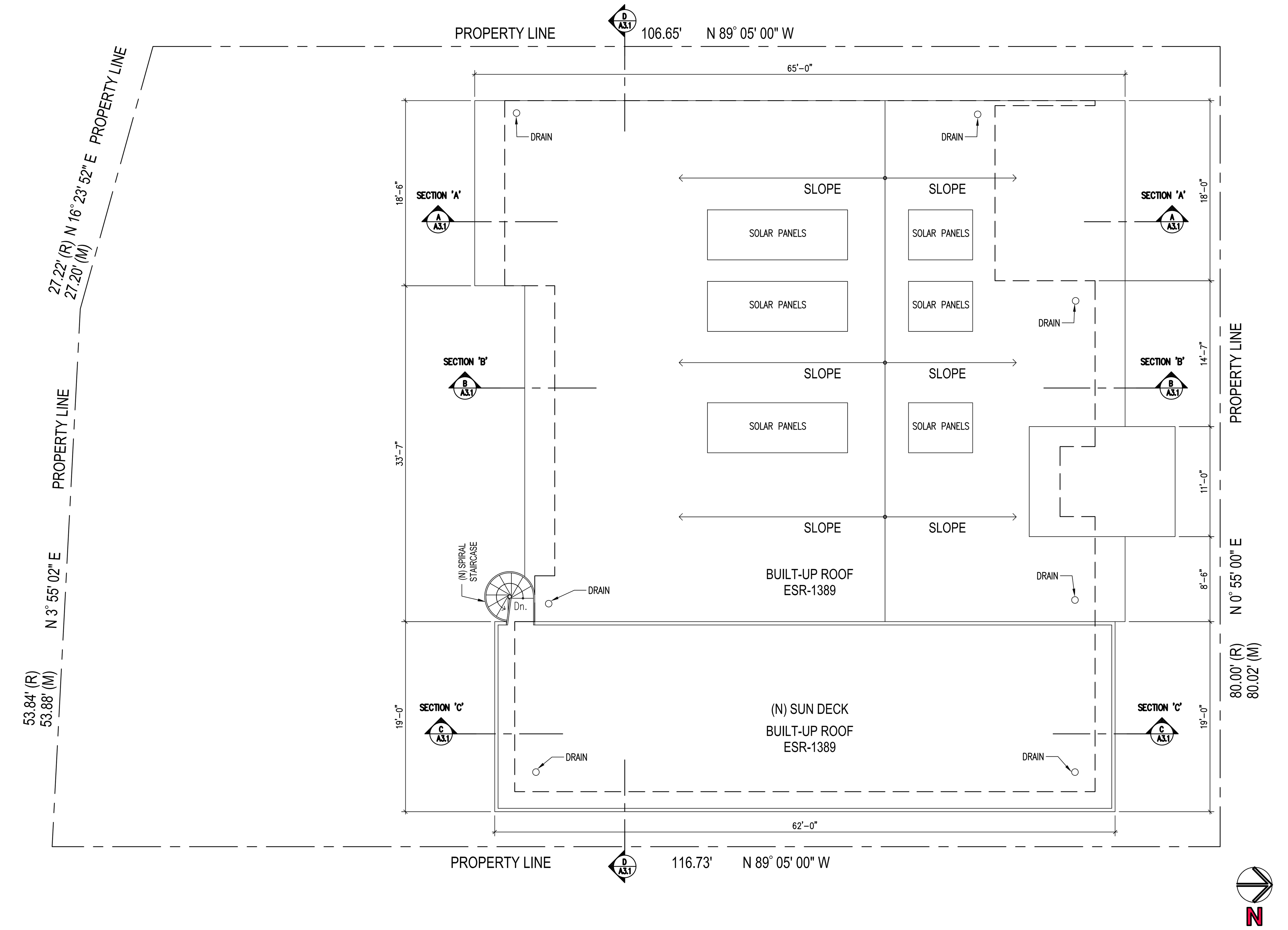
SHEET TITLE
FIRST FLOOR PLAN

SHEET NO.
A1.0



NEW BASEMENT PLAN TOTAL: 1,010 S.F.

SCALE: 1/8" = 1'-0" 2



ROOF PLAN

SCALE: 1/8" = 1'-0" 1

PART III: BUILDING CODE REQUIREMENTS

THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

A. GENERAL REQUIREMENTS

1. The following nonstructural products shall comply with an approved ICC evaluation report or Los Angeles City Research Report. Copy the report and conditions of approval onto the plans and show compliance with those conditions.

- ☐ Deck Coating
- ☐ Damp proofing material
- ☐ Skylights
- ☐ Rigid Insulation
- ☐ Roofing Materials
- ☐ ____________________

2. Add notes on plans:

   a. The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.

   b. An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170,158) (Separate plumbing permit is required).

   c. Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3).

   d. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4).

   e. Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).

   f. Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.

   h. Water heater must be strapped to wall. (Sec. 507.3, LAPC)

   k. Automatic garage door openers, if provided, shall be listed in accordance with UL 325. (R309.4)

   l. Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars ($1,000). (R314.6.2)

   m. Where a permit is required for alterations, repairs or additions exceeding one thousand dollars ($1,000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2.2)

   n. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)

   o. A copy of the evaluation report and/or conditions of listing shall be made available at the job site

Garage/ Carports

4. The garage shall be separated from the dwelling and its attic area in accordance with Table R302.6 (R302.6).

5. Ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage sheet steel or other approved material and shall not have openings into the garage (R302.5.2).

6. Other penetrations of garage/dwelling ceilings and walls shall be protected as required by Section R302.11, Item 4 (R302.5.3).

7. Garage floor surfaces shall be of an approved noncombustible material, and the area used to park

4. Provide emergency egress from sleeping rooms. Show details on plans. Minimum - 24" clear height, 20" clear width, 5.7 sf minimum area (5.0 sf at grade level) & 44" maximum to sill. (R310.1)

11. Show the following stairway details on plans:

    a. 7.75" maximum rise & minimum 10" run. (R311.7.5)
    b. Minimum 6'-8" headroom clearance. (R311.7.2)
    c. Minimum 36" clear width. (R311.7.1)
    d. Handrails 34" to 38" high above tread nosing (R311.7.8.1)
    e. Handgrip portion of handrail shall not be less than 1.25" and no more than 2" cross-sectional dimension having a smooth surface with no sharp corners. (R311.7.7.3)
    f. Maximum 4" clear spacing opening between rails. (R312.1.3)

18. For glass handrails and guards, the panels and their support system shall be designed to withstand the loads specified in Chapter 16 of 2014 LABC. A safety factor of four shall be used. The minimum nominal thickness of the glass shall be 1/4 inch. (2407)

H. INTERIOR ENVIRONMENT

4. The minimum ceiling height for habitable space, hallways, bathrooms, toilet rooms, laundry rooms and portions of basements containing these spaces shall be not less than 7 feet (R305.1).

13. Provide 15" minimum between the center of water closet to any side wall. (Calif. Plumb. Code 407.6)

14. Provide 24" clear space in front of any water closet. (Calif. Plumb. Code 407.6)

15. Bathrooms, water closet compartments and other similar rooms shall be provided natural ventilation or with mechanical ventilation capable of 50 cfm exhausted directly to the outside (R303.3)

16. Heater shall be capable of maintaining a minimum room temperature of 68°F at a point 3 feet above the floor and 2 feet from exterior walls in all habitable rooms at the design temperature. (R303.9)

I. BUILDING ENVELOPE

1. Provide a class A, fire-retardant roof covering per Section R902.1.

3. Glazing in the following locations shall be safety glazing conforming to the human impact loads of Section R308.3 (see exceptions) (R308.4):

   a. Fixed and operable panels of swinging, sliding and bi-fold door assemblies.

   b. Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of either vertical edge of the door in a closed position and whose bottom edge is less than 60 inches above the floor or walking surface.

   c. Glazing in an individual fixed or operable panel that meets all of the following conditions:
      1) Exposed area of an individual pane greater than 9 square feet.
      2) Bottom edge less than 18 inches above the floor.
      3) Top edge greater than 36 inches above the floor.
      4) One or more walking surfaces within 36 inches horizontally of the glazing.

   d. Glazing in railings.

   e. Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.

   f. Glazing in walls and fences adjacent to indoor and outdoor swimming pools, hot tubs and spas where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches, measured horizontally and in a straight line, of the water's edge.

   g. Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.

   h. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread.

5. Lots shall be graded to drain surface water away from foundation walls with a minimum fall of 6 inches within the first 10 feet (R401.3).

6. Dampproofing, where required, shall be installed with materials and as required in Section R406.1.

7. Vehicular access doors shall comply with Section R612.4.

8. Buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. (R319.1)

9. Protection of wood and wood based products from decay shall be provided in the locations specified per Section R317.1 by the use of naturally durable wood or wood that is preservative-treated in accordance with AWPA U1 for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWPA U1.

10. Provide anti-Graffiti finish within the first 9 feet, measured from grade, at exterior walls and doors. *Exception: Maintenance of building affidavit is recorded by the owner to covenant and agree with the City of Los Angeles to remove any graffiti within 7-days of the graffiti being applied.* (6306)

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REVISIONS

NO	NOTE

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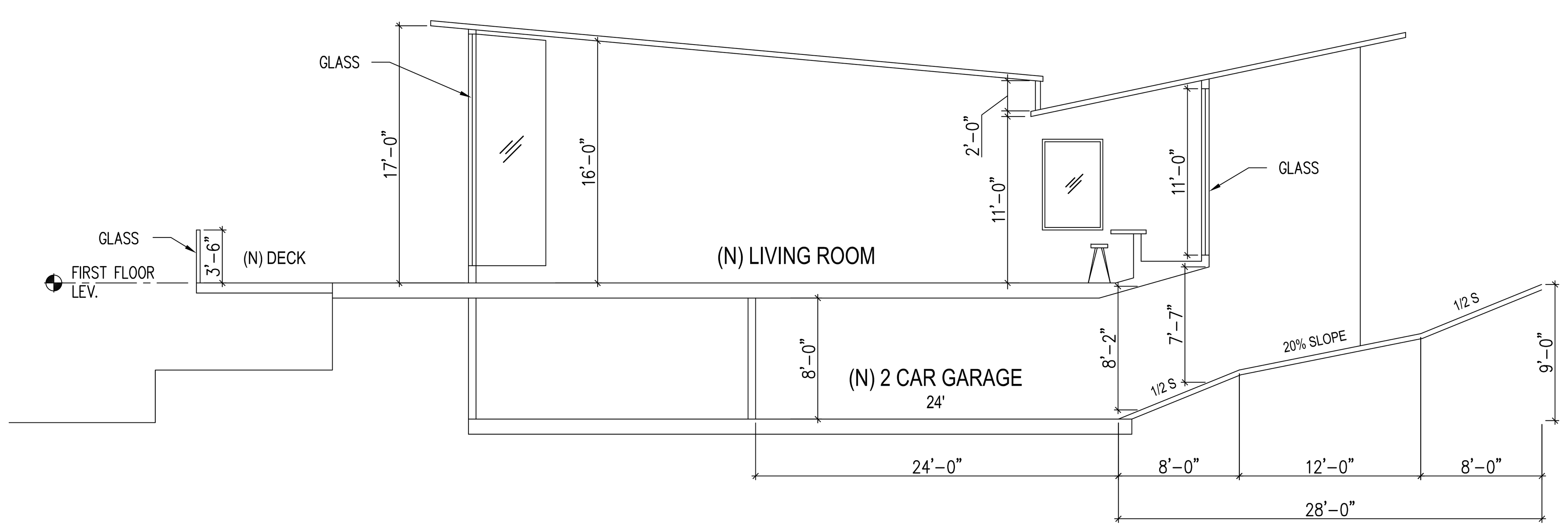
Start Date

SHEET TITLE

NEW BASEMENT & ROOF PLAN

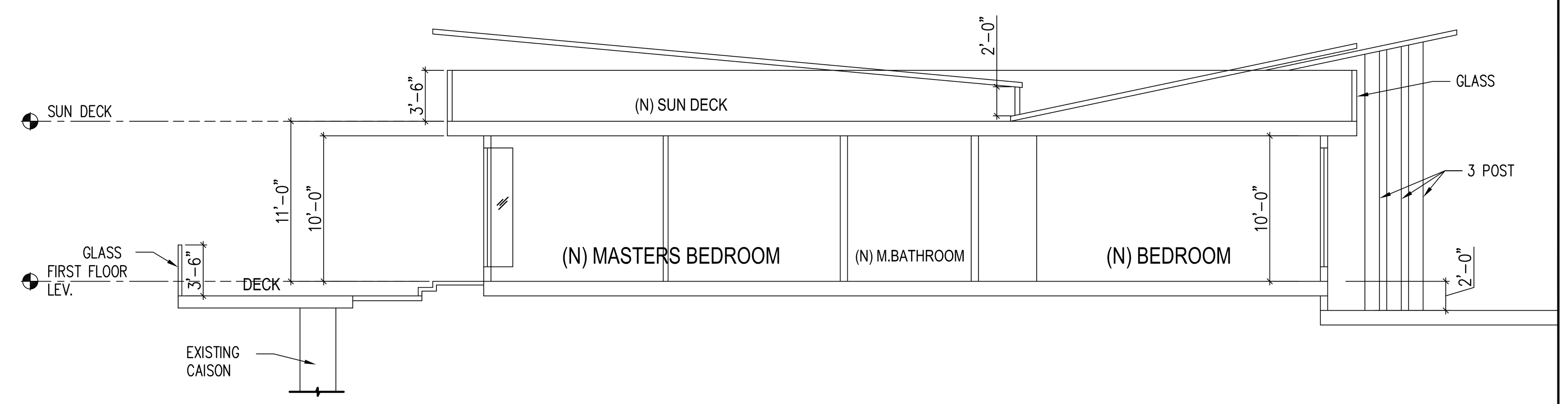
SHEET NO.

A2.0



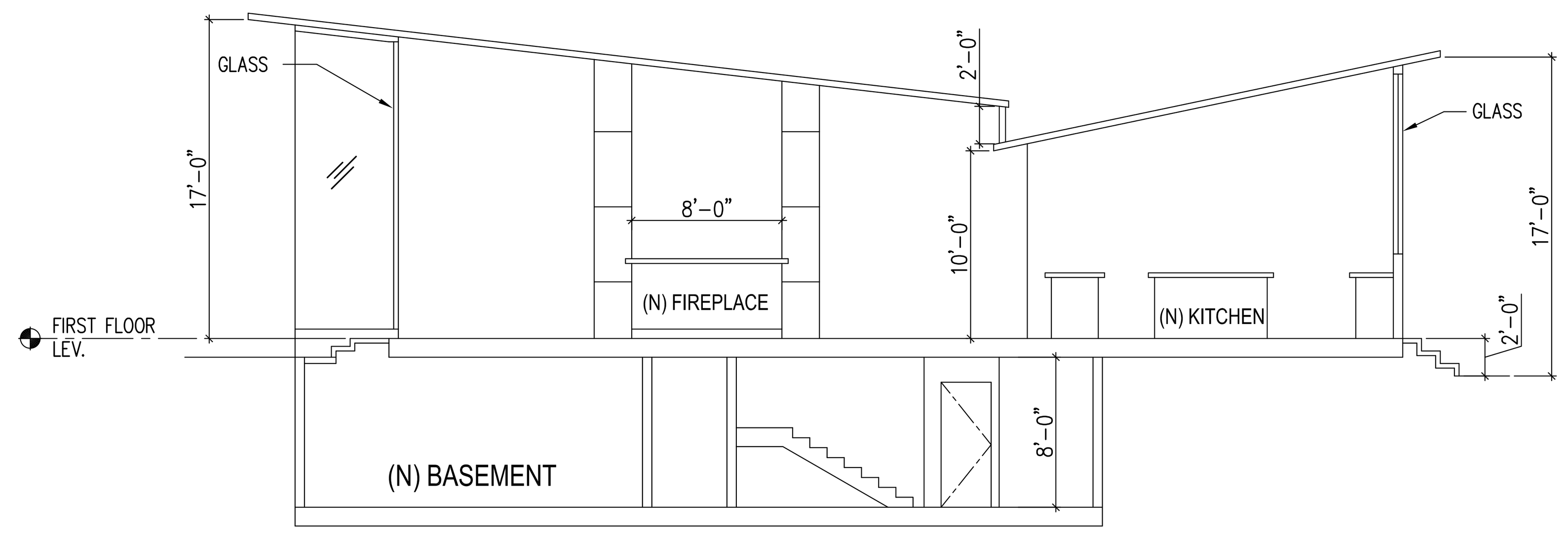
BUILDING SECTION 'A'

SCALE: 1/8" = 1'-0" | 1



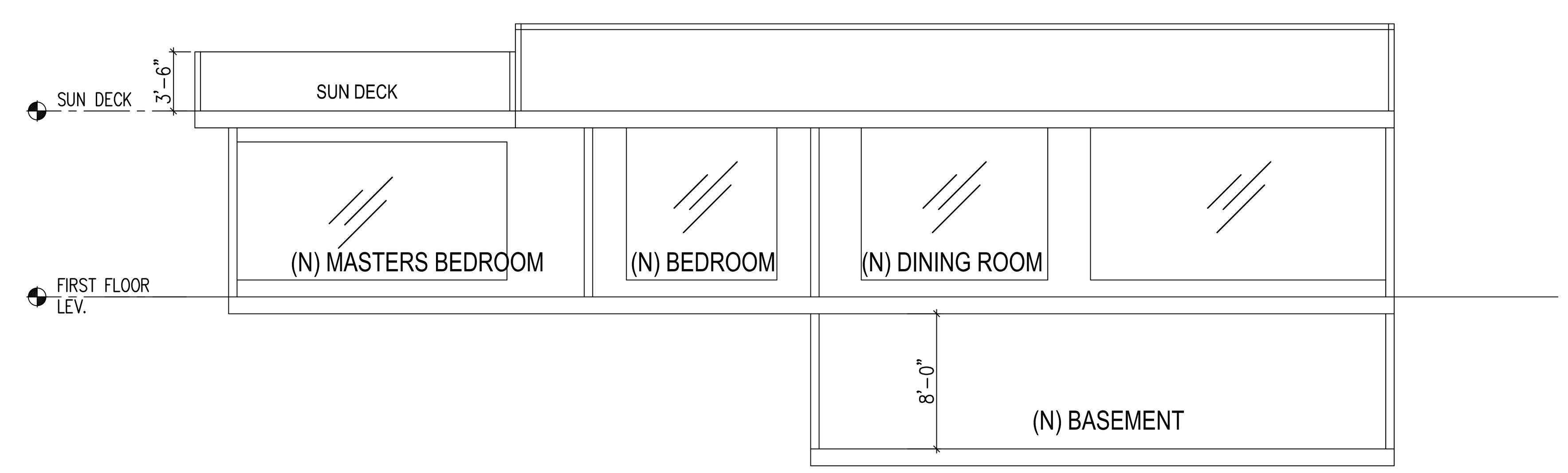
BUILDING SECTION 'C'

SCALE: 1/8" = 1'-0" | 3



BUILDING SECTION 'B'

SCALE: 1/8" = 1'-0" | 2



BUILDING SECTION 'D'

SCALE: 1/8" = 1'-0" | 4

WINDOW SCHEDULE

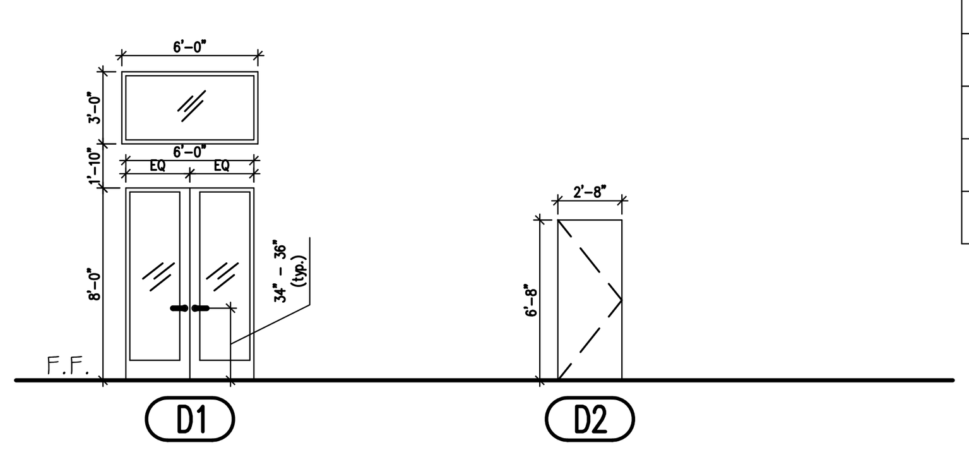
NO	SIZE	SCREEN	QUANTITIES	TYPE	REMARKS
W1	12'-0"W x 8'-2"H	YES	1-NEW	FIXED	ALUM. DOUBLE - TEMPERED GLASS
W2	10'-0"W x 12'-9"H	YES	1-NEW	FIXED	ALUM. DOUBLE - TEMPERED GLASS
W3	11'-7"W x 10'-3"H	YES	1-NEW	FIXED	ALUM. DOUBLE - TEMPERED GLASS
W4	9'-9"W x 10'-3"H	YES	1-NEW	FIXED	ALUM. DOUBLE - TEMPERED GLASS
W5	4'-0"W x 6'-0"H	YES	1-NEW	FIXED	ALUM. DOUBLE - TEMPERED GLASS
W6	18'-6"W x 12'-9"H	YES	1-NEW	FIXED	ALUM. DOUBLE - TEMPERED GLASS
W7	11'-1"W x 12'-9"H	YES	1-NEW	FIXED	ALUM. DOUBLE - TEMPERED GLASS
W8	8'-11"W x 12'-9"H	YES	1-NEW	FIXED	ALUM. DOUBLE - TEMPERED GLASS
W9	17'-0"W x 8'-2"H	YES	1-NEW	FIXED	ALUM. DOUBLE - TEMPERED GLASS
W10	3'-0"W x 2'-0"H	YES	1-NEW	FIXED	ALUM. DOUBLE - TEMPERED GLASS

DOOR SCHEDULE

NO	SIZE	THICKNESS	QUANTITIES	TYPE	REMARKS
D1	6'-0" x 8'-0"	2"	1-NEW	DOUBLE PANELED	WOOD. SEE MANUF. SPECS.
D2	2'-8" x 6'-8"	2"	12-NEW	PANELED	WOOD. SEE MANUF. SPECS.

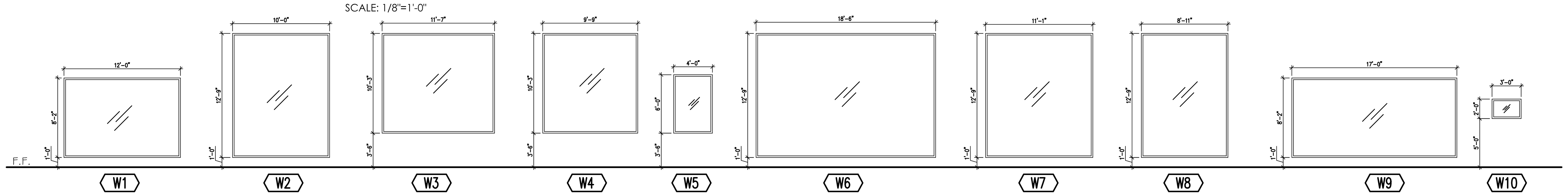
Door Schedule

SCALE: 1/8"=1'-0"



Window Schedule

SCALE: 1/8"=1'-0"



B O B BADIYAN
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1 3 1 8 1 6 T H S T. S A N T A M O N I C A C A 9 0 4 0 4
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A ADDITIONAL RESIDENCE FOR
MR. ELLIOT TISHBI
1111 LAS LOMAS AVENUE. PACIFIC PALISADES CA 90272

PROJECT NUMBER
-
JULY 16, 2015

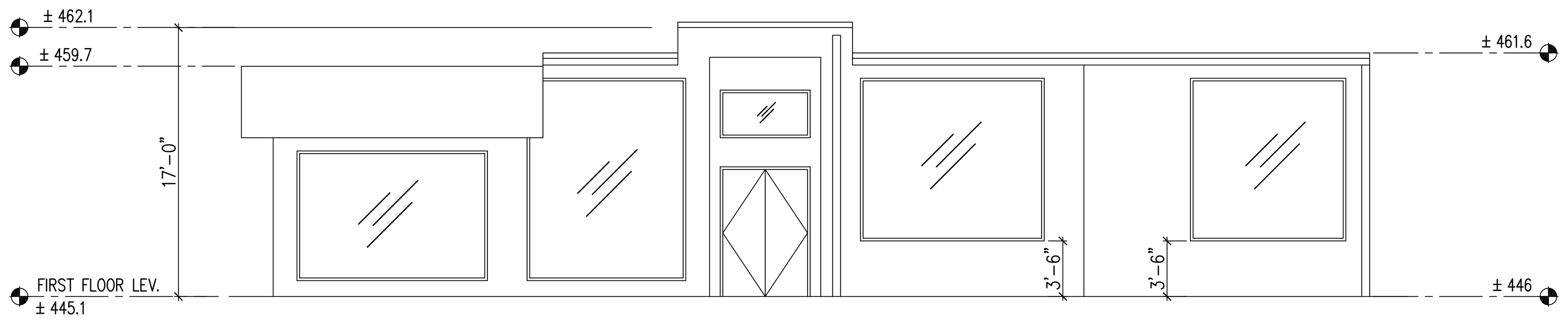
REVISIONS

NO	NOTE

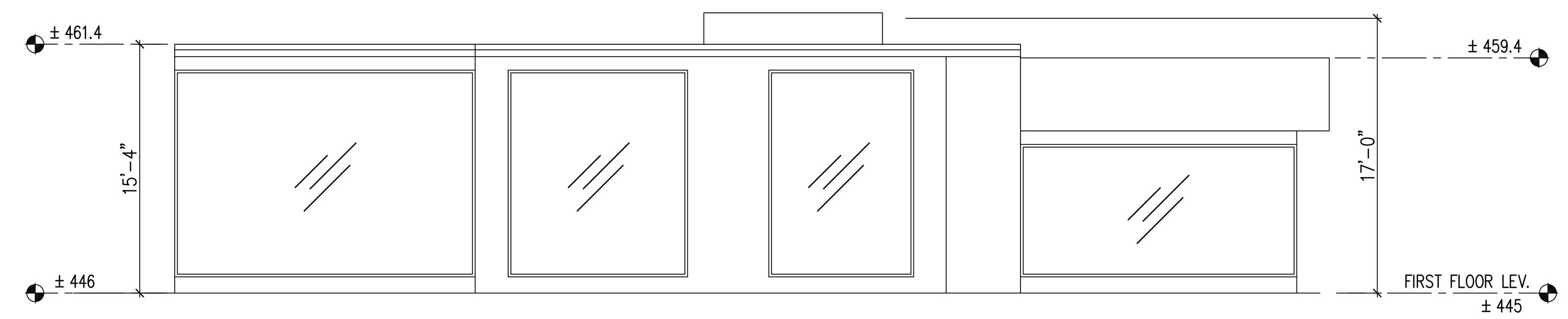
SET ISSUE
Start Date

SHEET TITLE
BUILDING SECTIONS DOOR & WINDOW

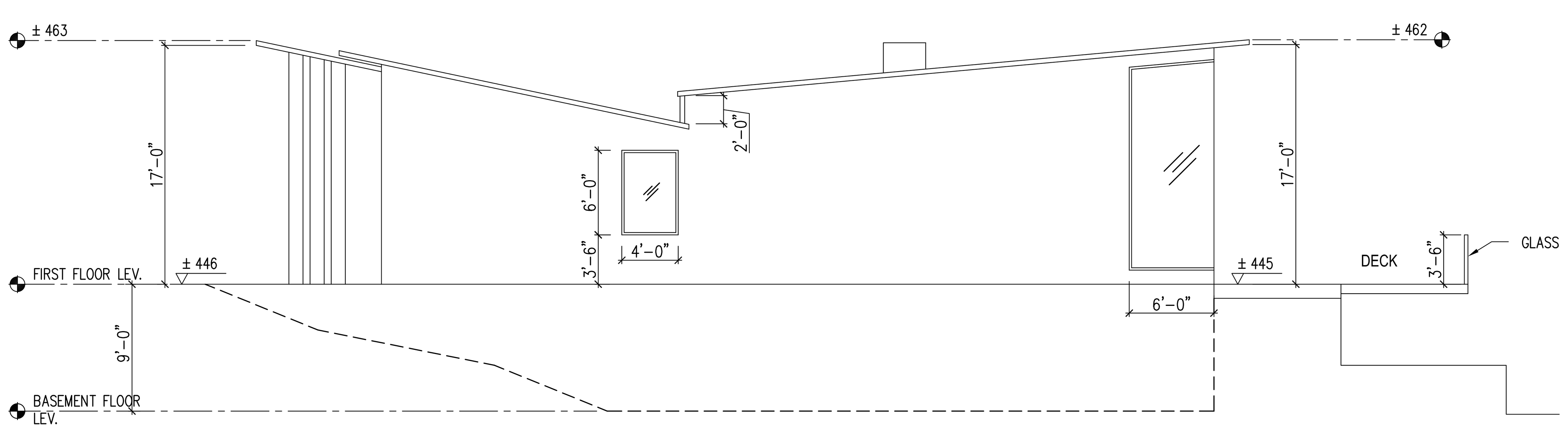
SHEET NO.
A3.1



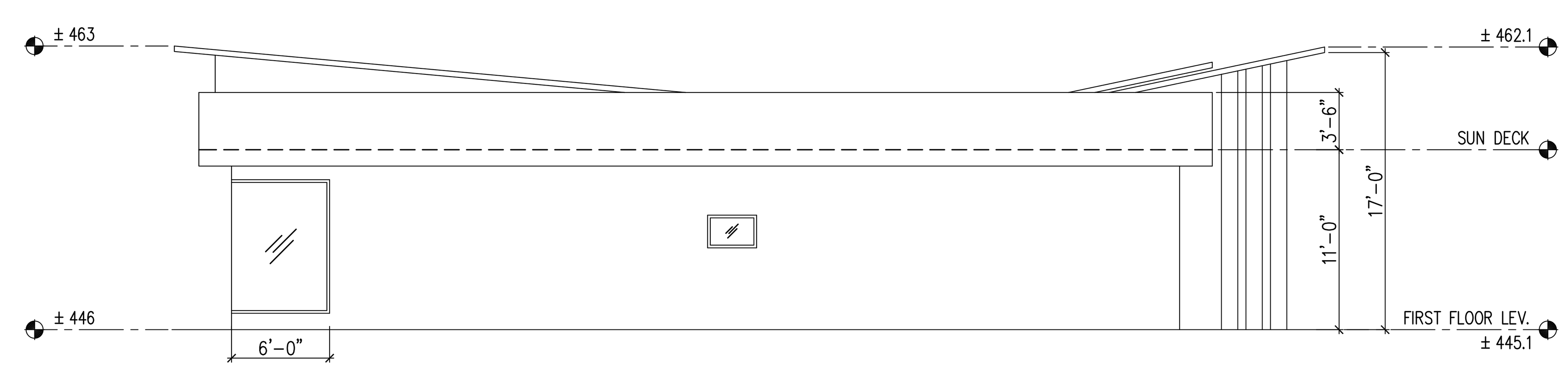
EAST ELEVATION — SCALE: 1/8" = 1'-0" — 1



WEST ELEVATION — SCALE: 1/8" = 1'-0" — 2



NORTH ELEVATION — SCALE: 1/8" = 1'-0" — 3



SOUTH ELEVATION — SCALE: 1/8" = 1'-0" — 4

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CITY LA DBS — DEPARTMENT OF BUILDING AND SAFETY

2011 Los Angeles Green Building Code

FORM GRN 14

GREEN BUILDING CODE PLAN CHECK NOTES

RESIDENTIAL BUILDINGS UP TO SIX STORIES

1. For new dwellings and townhouses, provide one 208/240 V 40amp, grounded AC outlets or panel capacity and conduit for the future installation of a 208/240V 40amp, grounded AC outlet. (4.106.6)

2. New residential buildings with common parking area(s), shall provide electrical vehicle charging as follows:
   a. A minimum number of 208/240 V 40 amp, grounded AC outlets equal to 5 percent of the total number of parking spaces. The outlets shall be located within the parking area, or
   b. Panel capacity and conduit for future installation of electrical outlets. The panel capacity and conduit size shall be designed to accommodate the future installation, and allow the simultaneous charging, of a minimum number of 208/240 V 40 amp, grounded AC outlets, that is equal to 5 percent of the total number of parking spaces. The conduit shall terminate within the parking area, or
   c. Additional service capacity, space for future meter, and conduit for future installation of electrical outlets. The service capacity and conduit size shall be designed to accommodate the future installation, and allow the simultaneous charging, of a minimum number of 208/240 V 40 amp, grounded AC outlets, that is equal to 5 percent of the total number of parking spaces. The conduit shall terminate within the parking area.

The panel service capacity and conduit shall be adequately sized. (4.106.6)

3. Each appliance provided and installed meets ENERGY STAR if an ENERGY STAR designation is applicable for that appliance. (4.210, 9.210)

4. The flow rates for all plumbing fixtures shall comply with the minimum flow rates in Table 4.303.2/ Table 9.403.2. (4.303.1, 9.303.1)

5. When single shower fixtures are served by more than one showerhead, the combined flow rate of all the showerheads shall not exceed the maximum flow rates specified in the 20 percent reduction column contained in Table 4.303.2/Table 9.303.2 or the shower shall be designed to only allow one showerhead to be in operation at a time. (4.303.2, 9.303.2)

6. Installed automatic irrigation system controllers shall be weather- or soil-based controllers. (4.304.1, 9.304.1)

7. Annular spaces around pipes, electric cables, conduits, or other openings in the building's envelope at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or metal plates. (4.406.1, 9.406.1)

8. Materials delivered to the construction site shall be protected from rain or other sources of moisture. (4.407.4, 9.407.4)

9. Only a City of Los Angeles certified hauler will be used for hauling of construction waste. (4.408, 9.408)

10. For all new equipment, an Operation and Maintenance Manual including, at a minimum, the items listed in Section 4.410.1, shall be completed and placed in the building at the time of final inspection. (4.410, 9.410)

11. All duct and other related air distribution component openings shall be covered with tape, plastic, or sheetmetal until the final startup of the heating and cooling equipment. (4.504.1, 9.504.1)

12. Architectural paints and coatings, adhesives, caulks and sealants shall comply with the Volatile Organic Compound (VOC) limits. (4.504.1-4.504.4, 9.504.1-9.504.4)

13. The *VOC Content Verification Checklist,* Form GRN 2, shall be completed and verified prior to final inspection approval. The manufacturer's specifications showing VOC content for all applicable products shall be readily available at the job site and be provided to the field inspector for verification. (4.504.5, 9.504.5)

14. All new carpet installed in the building interior shall meet the testing and product requirements of one of the following:
   a. Carpet and Rug Institute's Green Label Plus Program
   b. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350)
   c. NSF/ANSI 140 at the Gold level
   d. Scientific Certifications Systems Indoor Advantage™ Gold
(4.504.3, 9.504.3)

15. All new carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program. (4.504.3.1, 9.504.3.1)

16. 50% of the total area receiving new resilient flooring shall comply with the VOC limits or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. (4.504.4, 9.504.4)

17. New hardwood, plywood, particle board, and medium density fiberboard composite wood products used in the interior or exterior of the building shall meet the formaldehyde limits listed in Table 4.504.5/ Table 9.504.5. (4.504.5, 9.504.5)

18. The *Formaldehyde Emissions Verification Checklist,* Form GRN 3, shall be completed prior to final inspection approval. The manufacturer's specifications showing formaldehyde content for all applicable wood products shall be readily available at the job site and be provided to the field inspector for verification. (4.504.5.1, 9.504.5.1)

19. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed until it is inspected and found to be satisfactory by the building inspector. (4.505.3, 9.505.3)

20. Newly installed bathroom exhaust fans shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building. Provide the manufacturer's cut sheet for verification. (4.506.1, 9.506.1)

21. Newly installed bathroom exhaust fans, not functioning as a component of a whole house ventilation system, must be controlled by a humidistat which shall be readily accessible. (4.506.1, 9.506.1)

22. New whole house exhaust fans shall have covers or louvers which close when the fan is off and that are insulated with a minimum insulation value of R-4.2. (4.507.1, 9.507.1)

23. The size and layout of the heating and air-conditioning systems shall be in accordance with ACCA Manual J, ACCA 29-D and ACCA 36-S, ASHRAE handbooks. (4.507.2, 9.507.2)

CITY LA DBS — DEPARTMENT OF BUILDING AND SAFETY

VOC AND FORMALDEHYDE LIMITS

(2011 Los Angeles Green Building Code)

FORM GRN 11

The tables below are taken from the
2011 Los Angeles Green Building Code
Tables 4.504.1, 4.504.2, 4.504.3, 4.504.5, 5.504.4.1, 5.504.4.2, 5.504.4.3, 5.504.4.5, 9.504.1, 9.504.2, 9.504.3, 9.504.5 10.504.4.1, 10.504.4.2, 10.504.4.3, 10.504.4.5

TABLE 4.504.3
VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS[2, 3]
Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds

COATING CATEGORY	EFFECTIVE 1/1/2010	EFFECTIVE 1/1/2012
Flat coatings	50	
Nonflat coatings	100	
Nonflat-high gloss coatings	150	
Specialty Coatings		
Aluminum roof coatings	400	
Basement specialty coatings	400	
Bituminous roof coatings	50	
Bituminous roof primers	350	
Bond breakers	350	
Concrete curing compounds	350	
Concrete/masonry sealers	100	
Driveway sealers	50	
Dry fog coatings	150	
Faux finishing coatings	350	
Fire resistive coatings	350	
Floor coatings	100	
Form-release compounds	250	
Graphic arts coatings (sign paints)	500	
High temperature coatings	420	
Industrial maintenance coatings	250	
Low solids coatings[1]	120	
Magnesite cement coatings	450	
Mastic texture coatings	100	
Metallic pigmented coatings	500	
Multicolor coatings	250	
Pretreatment wash primers	420	
Primers, sealers, and undercoaters	100	
Reactive penetrating sealers	350	
Recycled coatings	250	
Roof coatings	50	
Rust preventative coatings	400	250
Shellacs Clear Opaque	 730 550	
Specialty primers, sealers and undercoaters	350	100
Stains	250	
Stone consolidants	450	
Swimming pool coatings	340	
Traffic marking coatings	100	
Tub and tile refinish coatings	420	
Waterproofing membranes	250	
Wood coatings	275	
Wood preservatives	350	
Zinc-rich primers	340	

[1] Grams of VOC per liter of coating, including water and including exempt compounds.
[2] The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.
[3] Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

TABLE 4.504.1
ADHESIVE VOC LIMIT [1,2]
Less Water and Less Exempt Compounds in Grams per Liter

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

[1] If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
[2] For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.

TABLE 4.504.2
SEALANT VOC LIMIT
Less Water and Less Exempt Compounds in Grams per Liter

SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural Nonporous Porous	 250 775
Modified bituminous 500	500
Marine deck	760
Other	750

TABLE 4.504.5
FORMALDEHYDE LIMITS[1]
Maximum Formaldehyde Emissions in Parts per Million

PRODUCT	CURRENT LIMIT	JAN 1, 2012	JULY 1, 2012
Hardwood plywood veneer core	0.05		
Hardwood plywood composite core	0.08		0.05
Particleboard	0.09		
Medium density fiberboard	0.11		
Thin medium density fiberboard[2]	0.21	0.13	

[1] Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333-96(2002). For additional information, see *California Code of Regulations*, Title 17, Sections 93120 through 93120.12.
[2] Thin medium density fiberboard has a maximum thickness of 8 millimeters

CITY LA DBS — DEPARTMENT OF BUILDING AND SAFETY

STORM WATER POLLUTION CONTROL

(2011 Los Angeles Green Building Code)

FORM GRN 1

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 – Part 5: Definitions)

1. Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet slow, swales, area drains, natural drainage or wind.
2. Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
4. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
5. Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
6. Trash and construction –related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
7. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
8. Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
9. Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

GREEN GENERAL NOTES:

1. EACH NEW APPLIANCE PROVIDED AND INSTALLED MEETS ENERGY STAR IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THE APPLIANCE (9.210)

2. THE FLOW RATES FOR ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH THE MINIMUM FLOW RATES IN TABLE 9.303.2 (9.303.1)

3. WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATES SPECIFIED IN THE MAXIMUM FLOW RATE COLUMN CONTAINED IN TABLE 9.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME. (9.303.2)

4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS SHALL BE WEATHER-OR SOIL BASED CONTROLLERS. (9.304.1)

5. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE BUILDINGS ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES. (9.406.1)

6. MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE. (9.407.4)

7. ONLY A CITY OF LOS ANGELES CERTIFIED HAULER WILL BE USED FOR HAULING OF CONSTRUCTION WASTE. (9.408)

8. AN OPERATION AND MAINTENANCE MANUAL INCLUDING AT A MINIMUM THE ITEMS LISTED IN SECTION 9.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION. (9.410.1)

9. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT. (9.504.1)

10. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 9.504.1-9.504.3 (9.504.2.1-9.504.2.3)

11. ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
    A. CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM
    B. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD PRACTICE FOR THE TESTING OF VOCs (SPECIFICATION 01350)
    C. NSF/ANSI 140 AT THE GOLD LEVEL
    D. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD (9.504.3)

12. ALL NEW CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. (9.504.3.1)

13. NEW HARDWOOD, PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 9.504.5 (9.504.5)

14. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR. (9.505.3)

15. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. (9.506.1)

16. BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. (9.506.1)

17. WHOLE HOUSE EXHAUST FANS SHALL BE HAVE COVERS OR LOUVERS WHICH CLOSE WHEN THE FAN IS OFF AND THAT ARE INSULATED WITH A MINIMUM INSULATION VALUE OF R-4.2. (9.507.1)

18. THE SIZE AND LAYOUT OF THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH ACCA MANUAL J, ACCA 29-D AND ACCA 36-S, ASHRAE HANDBOOKS. (9.507.2)

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