

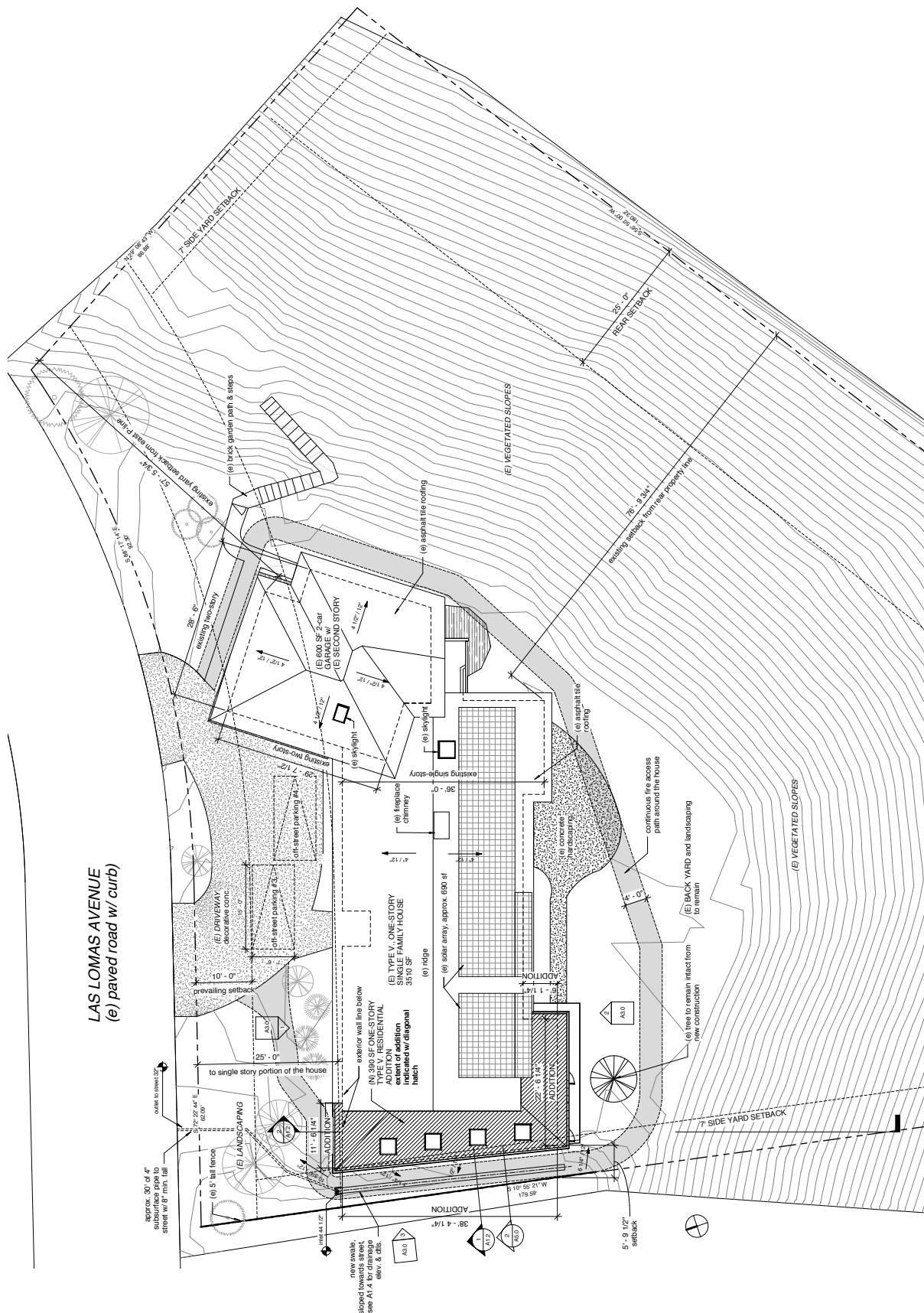
Las Lomas Addition
1243 N. Las Lomas Avenue
Los Angeles, CA 90272

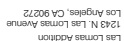
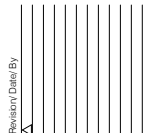
Site Plan

drawn by: Author
checked by: Checker
scale: 1/8" = 1'-0"
issue date: 04/27/2016
plot date: 5/4/2016
11:10:56 AM

1 Site Plan
1/8" = 1'-0"

A1.0





drawn by: Author
checked by: Checker
scale: 1" = 10'-0"
issue date: 04/17/2016
plot date: 5/4/2016
11:10:56 AM

A1.1



SCALE: 1"=10'-0"

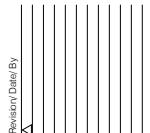


NOTE: SURVEY MAP REVISED TO INCLUDE WESTERLY PORTION OF LOT. ORIGINAL SURVEY NOT CHECKED FOR CHANGES.

BENCH MARK:
LID OF SMH AS SHOWN HEREON AS PER
CITY OF LOS ANGELES WYE MAP NO. 7204--3
ELEVATIONS= 469.20

BECKER AND MIYAMOTO, INC. LICENSED LAND SURVEYORS 2818 S. ROBERTSON BLVD. LOS ANGELES, CA. 90034 (310) 839-9530	
JOB NO. 8829 DRAWN BY LLH CHECKED BY MF DATE OF SURVEY 12/28/87 DATE OF PLOTTING 1/17/88 SHEET 1	PROJECT NO. 8829-46750 PROJECT NAME: <i>Tract 45, Tract No. 18860, Lot 45, Tract No. 18860, Map 627-46750</i> COUNTY: LOS ANGELES CITY: LOS ANGELES DISTRICT: 13

2 Demolition Plan and Finished Grading Plan
1/4" = 1'-0"



Las Lomas Addition
1243 N. Las Lomas Avenue
Los Angeles, CA 90272

Additional Floorplans

drawn by: Author
checked by: Checker
scale: 1/4" = 1'-0"
issue date: 04/27/2016
plot date: 5/4/2016
11:10:59 AM

WALL LEGEND

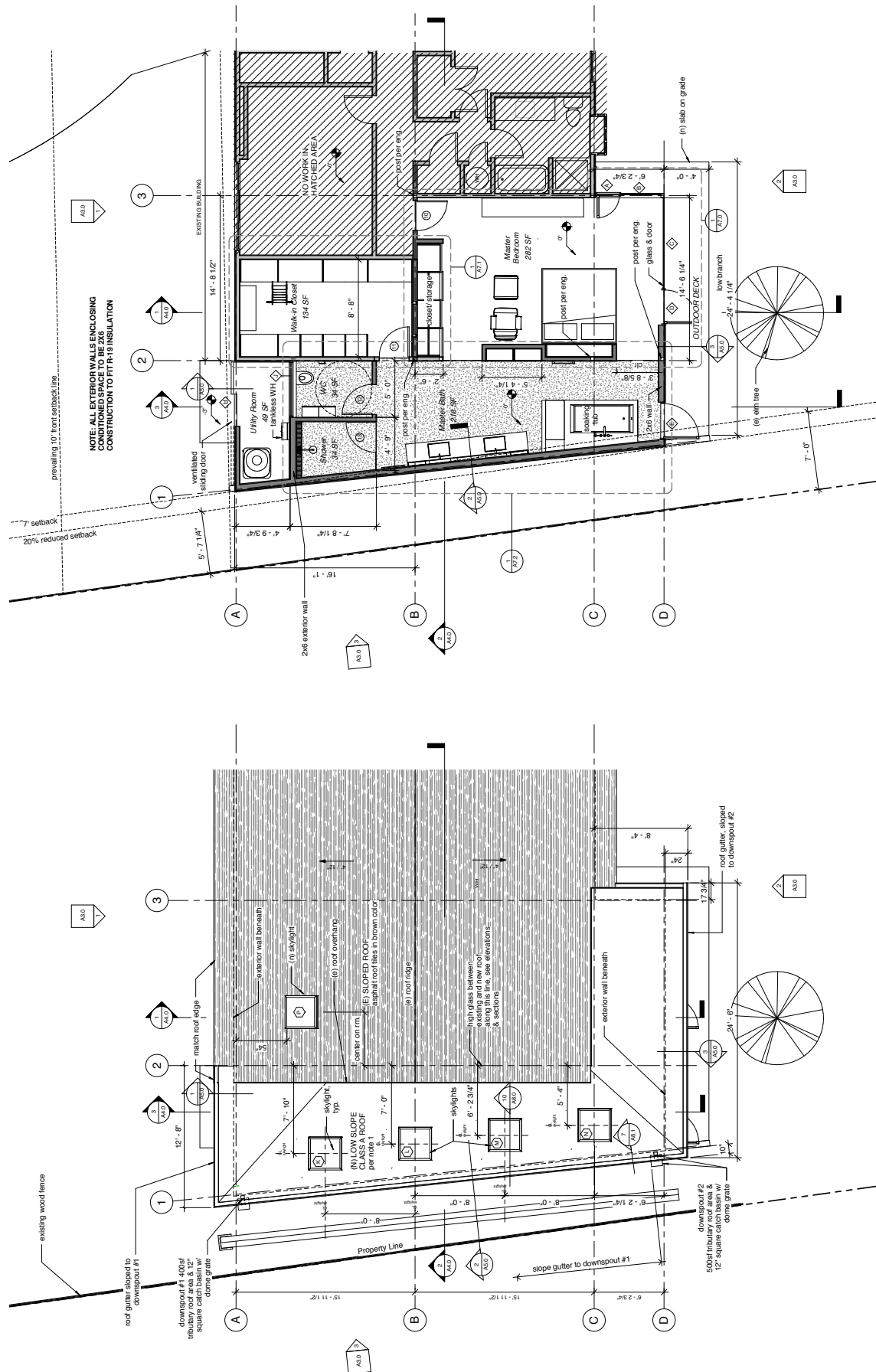
proposed wall
existing wall
demolished wall or element

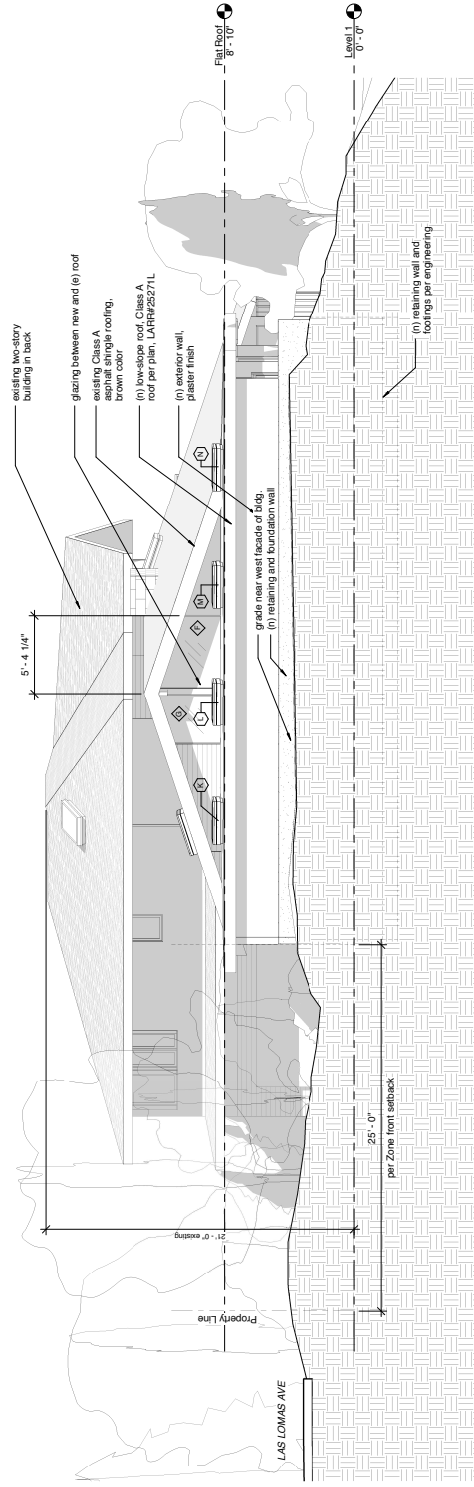
1 Proposed First Floor Plan
1/4" = 1'-0"

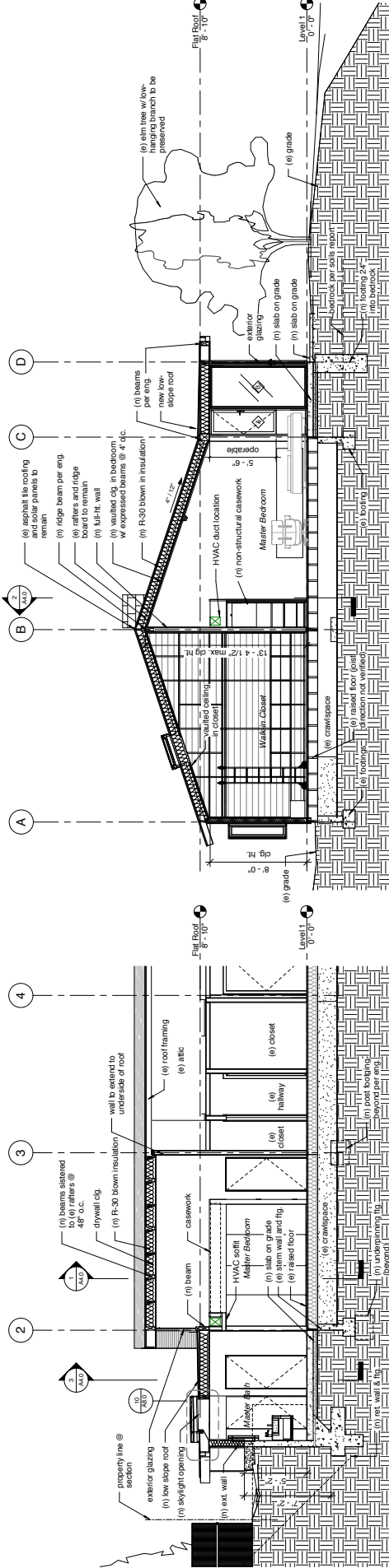
2 Proposed Roof Plan
1/4" = 1'-0"

NOTES:

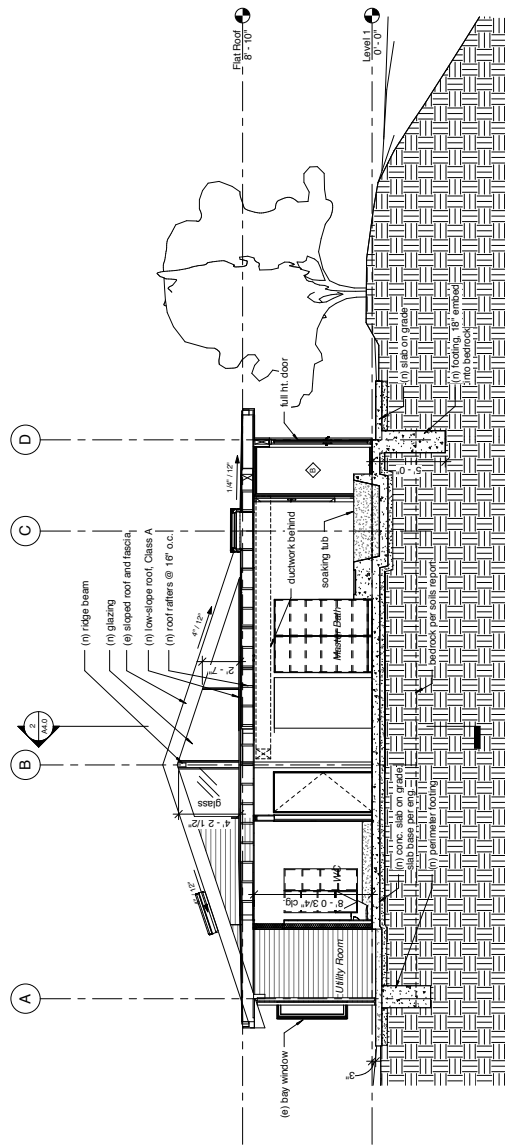
1. Roof slope ~2:12; GAF EverGuard Self-adhering TPO membrane roof, Energy Tan 822 color, SRI index 80, 3-year solar reflectance of 0.66, thermal emittance of 0.89 (initial and 3-year value), CRRC Product ID # 0676-0039 to comply with Green Building Code Sec. 4.108.5/a, minimum solar reflectance of 75 or both a 3-year solar reflectance of at least 0.63 and a thermal emittance of at least 0.75, LARR#25271







2 Section through addition near (e) Roof Ridge
1/4" = 1'-0"



3 N-Section at Low Roof
1/4" = 1'-0"

1 Cross Section
1/4" = 1'-0"

4 View from North West



Permit Application Form



Las Lomas Addition
1243 N. Las Lomas Avenue
Los Angeles, CA 90072

Zoning Administrator's Adjustment Application

drawn by: Author
checked by: Checker
scale: 01/18/16
issue date: 5/4/2016
paid date: 11/11/25 AM

ZAA.1

P/B/C 2002-005



LETTER OF CONSENT/NON-CONSENT FROM ADJOINING NEIGHBORS FOR REQUEST OF YARD REDUCTION

To be completed by the Petitioner

Owner: Chris Fabian and Kris Grinwald

Project Address: 1243 N. Las Lomas Ave., Los Angeles, CA 90072

Scope of Work: Approx. 200' of single-story addition along western property line to existing single-family home.

Plan Check Number: [blank]

REQUEST: To allow a reduced (side) (rear) yard of 5.6' feet in line of [blank] feet as required by Code and as indicated in the attached plans. I certify that the plans presented to the neighbor for his/her review are identical to those plans for which a building permit is being requested.

To be completed by Neighbor

I, BOJAN BANYAZ, am the legal owner of property located at 1251 N. Las Lomas Ave., Los Angeles, CA 90072 with the following legal description: Lot: 48 Block: none Tract: 18350 adjacent to the property (including across the street) to the project address. I am aware that a reduction of required yards is being applied for the subject property and have reviewed the plans presented to me by the petitioner for the proposed construction.

I have No Objection to granting my consent for the aforementioned request for yard reduction. I request for a yard reduction. (Note that neighbors are under no obligation to sign)

YARD MODIFICATION REQUEST FINDINGS PAGE

Property Address: 1243 N. Las Lomas Avenue, Los Angeles, CA 90072
APN: 4420009019
Legal Description: Lot 45, Tract 18890, Map Book 627-46/50
Scope of work: Approx. 400' of single-story, type V, addition to existing single-family house along the western property line.
Scope of request: 20% reduction in required side yard for a portion of the addition to allow a minimum of 5.6' in lieu of the zone-required 7'.

FINDINGS

1. Is the request slight?
The request is to reduce the required side yard along the western property line from 7' to 5.6'. This represents a 20% reduction, and would be only utilized at the southwest corner of the addition. At the northwest corner the addition conforms with the 7' side yard setback. The proposed addition is located on the lot bounded by the existing building, and the new addition.
2. Does the request meet the Spirit and Intent of the Code?
a. The addition is a single-story expansion of the existing house towards the West, presenting an additional 12' of facade towards the street, which will be screened from view by existing landscaping. The visual impact of the addition will be negligible.
b. The finished floor of the addition is approximately 6'-7" higher than that of the subject home. With the low-profile, low-slope roof proposed to cover the addition, there will be no impact to the neighbor's views or privacy as a result of the addition.
c. The visible bulk of the addition from the western neighbor's property is further reduced by the fact that the west wall of the addition will only rise approximately 5' above the adjacent grade along the property line.
3. Why is it impractical to comply with the letter of the Code, in the instant case?
The proposed addition is intended to achieve a more spacious Master Bedroom Suite than what has been existing since the 1950s, when the house was designed and built. Because of the irregular shape of the property, the zone-required 7' setback comes too close to the existing southwest corner of the house to realize a floorplan with proper clearances around new bathroom elements. The slight increase in the side yard setback would result in a more functional floor plan line with the existing exterior wall, and still allow ADA-compliant passage around and to the exterior at the new master tub.

P/B/C 2002-005



LETTER OF CONSENT/NON-CONSENT FROM ADJOINING NEIGHBORS FOR REQUEST OF YARD REDUCTION

To be completed by the Petitioner

Owner: Chris Fabian and Kris Grinwald

Project Address: 1243 N. Las Lomas Ave., Los Angeles, CA 90072

Scope of Work: Approx. 200' of single-story addition along western property line to existing single-family home.

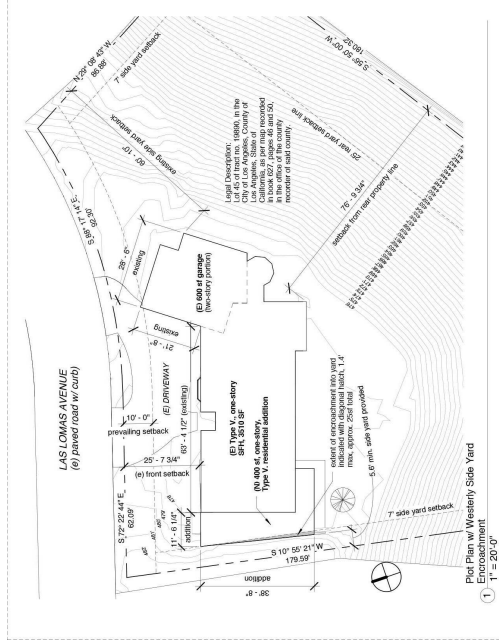
Plan Check Number: [blank]

REQUEST: To allow a reduced (side) (rear) yard of 5.6' feet in line of [blank] feet as required by Code and as indicated in the attached plans. I certify that the plans presented to the neighbor for his/her review are identical to those plans for which a building permit is being requested.

To be completed by Neighbor

I, BOJAN BANYAZ, am the legal owner of property located at 1251 N. Las Lomas Ave., Los Angeles, CA 90072 with the following legal description: Lot: PT LIT G Block: none Tract: 18350 adjacent to the property (including across the street) to the project address. I am aware that a reduction of required yards is being applied for the subject property and have reviewed the plans presented to me by the petitioner for the proposed construction.

I have No Objection to granting my consent for the aforementioned request for yard reduction. I request for a yard reduction. (Note that neighbors are under no obligation to sign)



Permit App # [blank] Job Address: 1243 N. Las Lomas Ave., Los Angeles, CA 90072

CONDITIONS OF APPROVAL (Continued from Page 1)

CITY OF LOS ANGELES
BOARD OF BUILDING AND SAFETY/DISABLED ACCESS
COMMISSION APPEAL FORM

(Must be attached to the Modification Request Form, Page 1)

AFFIDAVIT - LACBS BOARD OF BUILDING AND SAFETY COMMISSIONERS - RESOLUTION NO. 83-93

I, Chris Fabian and Kris Grinwald, do hereby certify that the information provided in the attached Modification Request Form is true and correct to the best of my knowledge and belief.

2. The owner of the property is shown in the appeal application and has made known the appeal and will receive a copy of the appeal.

Owner's Signature: [Signature] (Print Name and Title)

Name of Corporation: [blank] (Print Name and Title)

Dated this 20 day of May, 2016.

State of CALIFORNIA County of LOS ANGELES

SIGNATURES MUST BE NOTARIZED

APPEAL OF DEPARTMENT ACTION TO THE BOARD OF BUILDING AND SAFETY/DISABLED ACCESS COMMISSIONERS

Applicant Name: [blank] Date: [blank]

Signature: [Signature] (Print Name and Title)

Reason for Appeal: [blank]

Board Fee: [blank] (Check one)
[] For California Use Only
[] For California Use Only (Processed and Paid Fee are Refunded)

Registration Fee: [blank]
Inspection Fee: [blank]
Total Fee: [blank]

LA DBS REQUEST FOR MODIFICATION OF BUILDING ORDINANCES

UNOFFICIAL PROPERTY OF L.A. CITY PLANNING DEPARTMENT

DATE: 18990
Block: N/A
Tract: 18990
Owner: Chris Fabian, Kris Grinwald
Address: 1243 N. Las Lomas Ave., Los Angeles, CA 90072
Request: To allow a reduced (side) (rear) yard of 5.6' feet in line of [blank] feet as required by Code and as indicated in the attached plans. I certify that the plans presented to the neighbor for his/her review are identical to those plans for which a building permit is being requested.

JUSTIFICATION (LIMIT 1,000 CHARACTERS)

Please see attached documents for findings and neighbor consent letters.

FOR CITY DEPARTMENTS USE ONLY BELOW THIS LINE

Department: [blank] Division: [blank] Section: [blank]

Comments: [blank]

Department of City Planning: [blank]

Department of Public Works: [blank]

Department of Transportation: [blank]

Department of Water: [blank]

Department of Fire: [blank]

Department of Health: [blank]

Department of Social Services: [blank]

Department of Housing: [blank]

Department of Cultural Affairs: [blank]

Department of Recreation: [blank]

Department of Parks and Recreation: [blank]

Department of Public Utilities: [blank]

Department of Information Technology: [blank]

Department of Finance: [blank]

Department of Law: [blank]

Department of Police: [blank]

Department of Sheriff: [blank]

Department of Fire: [blank]

Department of Health: [blank]

Department of Social Services: [blank]

Department of Housing: [blank]

Department of Cultural Affairs: [blank]

Department of Recreation: [blank]

Department of Parks and Recreation: [blank]

Department of Public Utilities: [blank]

Department of Information Technology: [blank]

Department of Finance: [blank]

Department of Law: [blank]

Department of Police: [blank]

Department of Sheriff: [blank]

DEPARTMENT ACTION

GRANTED ☐ DENIED ☐ REJECTED ☐

Comments: [blank]

DATE: [blank] BY: [blank]

FOR APPEAL PROCEEDINGS

CONDITIONS OF APPROVAL (Continued from Page 1)

SEE ATTACHED PLOT PLAN AND LETTERS OF CONSENT FROM ADJOINING PROPERTIES FOR INFORMATION BULLETIN PZC 2002-005 REGARDING ENCROACHMENT.

PC-515 (Revised 05-2011)

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