

Architectural symbols and standards including North Arrow, Building Grid Lines, Room Label, Ceiling Height, Section, Detail, Exterior Elevation, Interior Elevation, Door Symbol, Window Symbol, Finish Materials, Casework, Plumbing Fixture, Appliance, Work Point or Control Point, and Dimension String.

Project Description and Building Code information. Includes Project Address (1341 Las Canoas Rd), Project Description (New Rear & Side Yard Decks), Lot (30), Tract (TR 19890), Map Reference (M 8 827-46/50), Map Sheet (132B121), Assessor's Parcel Number (4420012032), Zoning (RE9-1), Setbacks (Front 7'-6", Side 7'-0", Rear 25'-0"), Number of Stories (2), Construction Type (Type V), Building Code (2013 CRC/2014 LARC, 2013 CBO/2014 LABC, T-24 Energy Code, 2014 LA City Green Building Code), and a table of Lot Coverage Calculations.

Architectural and Engineering information. Includes Architect (Kurt Krueger Architects), Owner (Ilana and Klaus Koch), Structural Engineer (Vic Beiza), Surveyor (Rob Hemm), and Geotechnical Engineer (Irving Geotechnical). Also includes an 'APPROVED' stamp for Fire Hydrant and Access.

Sheet and Drawing Index. Includes a table of contents for Architectural, Structural, and Drawing Index sheets, with a total of 25 sheets.

SYMBOLS and SCALE. Includes a table of symbols for various building components and a scale of 1/8" = 1'-0".

SOUTHEAST AERIAL VIEW and SCALE. Includes an aerial photograph of the property and a scale of 1/8" = 1'-0".

PREVAILING FRONTYARD SETBACKS and SCALE. Includes a table of setbacks for various building components and a scale of 1/8" = 1'-0".

SHEET GRID SYSTEM and SCALE. Includes a grid system for the drawings and a scale of 1/8" = 1'-0".

Architectural and Engineering information. Includes a table of contents for Architectural, Structural, and Drawing Index sheets, with a total of 25 sheets.

CITY OF LOS ANGELES
GEOLOGY AND SOILS REPORT APPROVAL LETTER
March 7, 2016
LOG # 9028
SOILS GEOLOGY FILE - 2
LAN-Exempt
Ilana & Klaus Koch
1341 N. Las Canoas Road
Pacific Palisades, CA 90272

TRACT: 19890
BLOCK: 2
LOTS: 30 (Arb 2)
LOCATION: 1341 N. Las Canoas Road
CURRENT REFERENCE REPORT (LETTER) No. 15174-H PREPARED BY Irvine Geotechnical Overized Doc(s).

The Grading Division of the Department of Building and Safety has reviewed the referenced report that provides recommendations for a proposed pool, pool house and decks. According to the report, the site consists of a graded residential lot, which is mostly cut. Rear descending cut slopes are located south and west of the pad that are about 50 high at a gradient of approximately 1:1.5:1.

Engineering analysis provided by Irvine Geotechnical Inc. is based on laboratory testing performed by Soil Labworks, LLC and is accepting responsibility for use of the data in accordance to Code section 91.7008.5 of LABC.

The earth materials at the subsurface exploration locations consist of up to 2 feet of fill underlain by Santa Susana Formation bedrock. Bedding structure at the site is reportedly dipping steeply to the southeast. The consultants recommend to support the proposed structure on drill-pile foundations bearing on competent bedrock. It is the Department's understanding that the pool house will be constructed as an elevated structural deck.

The site is located in a designated seismic-landslide hazard zone as shown on the "Seismic Hazard Zones" map issued by the State of California. However, the proposed construction is currently exempt (PBC 2014-044).

The referenced report is acceptable, provided the following conditions are complied with during site development:

LABS 0-6-01 (05/2016) AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

SOILS APPROVAL REPORT

16030-30000-07263 | 1341 N LAS CANOAS ROAD

City of Los Angeles
Department of Building and Safety
Grading Pre-Inspection Report
Address: 1341 N LAS CANOAS ROAD
Council District: 11 Permit Application: 16030-30000-07263

Work Description:
GPI for covered patio, deck, pool and spa, trellis

Inspector/Telephone: JEFFREY DURAN, (310) 914-3935
Inspection District: WLA
Inspection Date: 10/12/2016

Project Posted: N/A Posting Date: N/A Posting Fees Paid? No
Tract: TR 19890
Block: Lot(s): 30 ARB: 2 County Ref No: M B 627-46/50

Approved Graded Lot: No
Fill Over 100 Feet: No
Slope of Surface: Descending
Natural Soil Classification 1804.2: per soils/geot
Cut: 90 degrees Height: 2ft in

Fill: degrees Height: ft in
Natural: 4-50 degrees Height: 2-30 ft
Slopes Available: Yes
Site is Below Street
Construction of Street for Drainage Purposes as
Drainage Grade: % - Existing
Maximum Rough Grade Allowed: %

Grading Approval to Issue Permits
OK TO ISSUE. SEE BELOW FOR COMMENTS.
X DO NOT ISSUE UNTIL BELOW REQUIREMENTS HAVE BEEN SATISFIED.

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- 21341 N. Las Canoas Road
(Note: Numbers in parenthesis () refer to applicable sections of the 2014 City of LA Building Code. P/B/C means refer the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)
1. The geologist and soils engineer shall review and approve the detailed plans prior to issuance of any permits. This approval shall be by signature on the plans that clearly indicates the geologist and soils engineer have reviewed the plans prepared by the design engineer and that the plans include the recommendations contained in their reports. (7006.1)
2. All recommendations of the report that are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.
3. A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans. Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit. (7006.1)
4. A grading permit shall be obtained for all structural fill. (106.1.2)
5. All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.075 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density (D1556). Placement of gravel in lieu of compacted fill is allowed only if complying with Section 91.7011.3 of the Code. (7011.3)
6. Existing uncertified fill shall not be used for support of footings, concrete slabs or new fill. (1809.2)
7. Drainage in conformance with the provisions of the Code shall be maintained during and subsequent to construction. (7013.12)
8. All loose foundation excavation material shall be removed prior to commencement of framing. Slopes disturbed by construction activities shall be restored. (7003.3)
9. The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the State Construction Safety Orders enforced by the State Division of Industrial Safety. (3301.1)
10. Unanchored temporary excavations in bedrock with favorably oriented bedding may be cut vertical up to 5 feet. For excavations over 5 feet, the lower 5 feet may be cut vertically and the portion of the excavation above 5 feet shall be trimmed back at a gradient not exceeding 1:1 (horizontal to vertical), as recommended.
11. Temporary excavation that expose unfavorably oriented bedrock shall be trimmed along the lowest exposed bedding plane, as recommended.
12. All foundations shall derive entire support from competent bedrock, as recommended and approved by the geologist and soils engineer by inspection.
13. Foundations adjacent to a descending slope steeper than 3:1 (H:V) in gradient shall be a minimum distance of one-third the vertical height of the slope but need not exceed 40 feet

- 1341 N. Las Canoas Road
measured horizontally from the footing bottom to the face of the slope (1808.7.2); for pools the foundation setback shall be one-sixth the slope height to a maximum of 20 feet (1808.7.3). Where the slope is steeper than 1:1, the required setback shall be measured from an imaginary plane 45 degrees to the horizontal, projected upward from the toe of the slope.
Pile caisson are required by Code Sections 1809.13. Exceptions and modification to this requirement are provided in Information Bulletin P/B/C 2014-030.
14. Pile or caisson shafts shall be designed for a lateral load of 1000 pounds per linear foot of shaft exposed to fill, soil and weathered bedrock. (P/B/C 2014-030)
15. The design passive pressure shall be neglected for a portion of the pile with a set back distance (horizontal set back) less than five feet from fill, soil or weathered bedrock contact plane with bedrock.
16. When water over 3 inches in depth is present in drilled pile holes, a concrete mix with a strength of 1000 p.s.i. shall be used for the design p.s.i. shall be remedied from the bottom up until the problem of segregation of paste/aggregates and dilution of paste shall be included. (1808.8.3)
17. Existing uncertified fill shall be used for lateral support of deep foundation. (1810.2.1)
18. Slab on uncertified fill shall be designed as a structural slab. (7011.3)
19. The seismic design shall be based on a Site Class C as recommended. All other seismic design parameters shall be reviewed by LADBS Building Plan checker.
20. The proposed swimming pool shall be designed for a freestanding condition. 1808.7.3)
21. Pool deck drainage shall be collected and conducted to an approved location via a non-erosive device; water shall not be dispersed on to descending slopes without specific approval from the Grading Division and the consulting geologist and soils engineer. (7013.10)
22. All deck drainage shall be collected and conducted to an approved location in a non-erosive device; water shall not be dispersed on to descending slopes without specific approval from the Grading Division and the consulting geologist and soils engineer. (7013.10)
23. An on-site storm water infiltration system at the subject site shall not be implemented, as recommended.
24. All concentrated drainage shall be conducted in an approved device and disposed of in a manner approved by the LADBS. (7013.10)
25. Any recommendations prepared by the geologist and/or the soils engineer for correction of geological hazards found during grading shall be submitted to the Grading Division of the Department for approval prior to utilization in the field. (7008.3)
26. The geologist and soils engineer shall inspect all excavations to determine that conditions anticipated in the report have been encountered and to provide recommendations for the correction of hazards found during grading. (7008 & 1705.6)
27. All friction pile or caisson drilling and installation shall be performed under the inspection and

1341 N. Las Canoas Road
approval of the geologist and soils engineer. The geologist shall indicate the distance that friction piles or caissons penetrate into competent bedrock in a written field memorandum. (1803.5.5, 1704.9)
29. Prior to the pouring of concrete, a representative of the consulting soils engineer shall inspect and approve the footing excavations. He/She shall post a notice on the job site for the LADBS Building Inspector and the Contractor stating that the work so inspected meets the conditions of the report, but that no concrete shall be poured until the City Building Inspector has also inspected and approved the footing excavations. A written certification to this effect shall be filed with the Grading Division of the Department upon completion of the work. (1108.9 & 7008.2)
30. Prior to excavation, an initial inspection shall be called with LADBS Inspector at which time sequence of construction, pile installation, protection fences and dust and traffic control will be scheduled. (108.9.1)
31. Pile installation shall be performed under the inspection and approval of the soils engineer and deputy grading inspector. (1705.6)
32. Prior to the placing of compacted fill, a representative of the soils engineer shall inspect and approve the bottom excavations. He/She shall post a notice on the job site for the City Grading Inspector and the Contractor stating that the soil inspected meets the conditions of the report, but that no fill shall be placed until the LADBS Grading Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be included in the final compaction report filed with the Grading Division of the Department. All fill shall be placed under the inspection and approval of the soils engineer. A compaction report together with the approved soil report and Department approval letter shall be submitted to the Grading Division of the Department upon completion of the compaction. In addition, an Engineer's Certificate of Compliance with the legal description as indicated in the grading permit and the permit number shall be included. (7011.3)
DANIEL C. SCHNEIDERST
Engineering Geologist II
DAN RYAN VANCELOSTA
Structural Engineering Associate I
DCS/DRE/ds/vlr
Log No. 92028
213-842-0480
cc: Kurt Krueger, Applicant
Irvine Geotechnical, Project Consultant
W/L District Office

COASTAL EXEMPTION (CEX)
CASE NO.: DIR 2016-3018-CEX
TO: California Coastal Commission
South Coastal District
200 Oceanange, 10th Floor
Long Beach, CA 90802-4302
(562) 580-5071
FROM: California Department of Planning
Development Services Center (DSC)
201 North Figueroa Street
Los Angeles, CA 90012
SUBJECT: COASTAL EXEMPTION - SINGLE JURISDICTION AREA ONLY
Under no circumstances shall a Coastal Exemption be issued for the following scope of work:
Remodels which involve the removal of 50% or more of existing exterior walls
Addition, demolition, removal or conversion of any whole residential units (unless required by LADBS)
Projects which involve significant grading or boring in a Special Grading or Landslide area
Any change of use to a more or less intensive use
OWNER/APPLICANT TO COMPLETE THE FOLLOWING (type, print, or fill out on-line)
PROJECT ADDRESS: 1341 N Las Canoas Road, Los Angeles, CA 90272
LEGAL DESCRIPTION: LOT 30 BLOCK N/A Arb 2 TRACT TR 19890 APN: 420012A32
ZONE: REB-1 COMMUNITY PLAN: Brentwood - Pacific Palisades
PROPOSED SCOPE OF WORK:
NEW REAR & SIDE YARD DECKS WITH Pool/spa, NEW ATTACHED OUTDOOR COVERED AREA, REPLACE EXISTING DRIVEWAY, REPLACE 3 SLIDING DOORS, REPLACE EXISTING ATTACHED TRELLIS
RELATED PLAN CHECK NUMBER(S):
Note: If there is related work to be pulled under a separate permit, please include in the above project description. The reason for this is so Planning Staff can evaluate the project as a whole and to avoid having to apply for another CEX for any subsequent permits related to the original scope of work.
Applicant Name: Jason Ungar
Mailing Address: 11150 W Olympic Blvd STE 700, Los Angeles, CA 90064
Phone Number: 818 300 5580 E-mail Address: jungar@crealestate.com
Signature: Jason Ungar
CP-1608.3 CEX (revised 8/5/2015) Page 1 of 2

SCALE N/A 6

COASTAL EXEMPTION

STORM WATER POLLUTION CONTROL
(2014 Los Angeles Green Building Code)
FORM GRN 1

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and conform to the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAG0040001 - Part 5: Definitions)

1. Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via street, flow, swales, area drains, natural drainage or wind.

2. Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.

3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil or the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.

4. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.

5. Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete on-site until it can be appropriately disposed of or recycled.

6. Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.

7. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by other means.

8. Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.

9. Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

Revised 01-01-2014 Page 1 of 1 www.ladbs.org

SCALE N/A 3

FORM GRN 1

VOC AND FORMALDEHYDE LIMITS
(2014 Los Angeles Green Building Code)
FORM GRN 11

The tables below are taken from the 2014 Los Angeles Green Building Code
Tables 4.504.1, 4.504.2, 4.504.3, 4.504.5, 4.504.6, 4.504.7, 4.504.8, 4.504.9, 4.504.10, 4.504.11, 4.504.12, 4.504.13, 4.504.14, 4.504.15, 4.504.16, 4.504.17, 4.504.18, 4.504.19, 4.504.20, 4.504.21, 4.504.22, 4.504.23, 4.504.24, 4.504.25, 4.504.26, 4.504.27, 4.504.28, 4.504.29, 4.504.30, 4.504.31, 4.504.32, 4.504.33, 4.504.34, 4.504.35, 4.504.36, 4.504.37, 4.504.38, 4.504.39, 4.504.40, 4.504.41, 4.504.42, 4.504.43, 4.504.44, 4.504.45, 4.504.46, 4.504.47, 4.504.48, 4.504.49, 4.504.50, 4.504.51, 4.504.52, 4.504.53, 4.504.54, 4.504.55, 4.504.56, 4.504.57, 4.504.58, 4.504.59, 4.504.60, 4.504.61, 4.504.62, 4.504.63, 4.504.64, 4.504.65, 4.504.66, 4.504.67, 4.504.68, 4.504.69, 4.504.70, 4.504.71, 4.504.72, 4.504.73, 4.504.74, 4.504.75, 4.504.76, 4.504.77, 4.504.78, 4.504.79, 4.504.80, 4.504.81, 4.504.82, 4.504.83, 4.504.84, 4.504.85, 4.504.86, 4.504.87, 4.504.88, 4.504.89, 4.504.90, 4.504.91, 4.504.92, 4.504.93, 4.504.94, 4.504.95, 4.504.96, 4.504.97, 4.504.98, 4.504.99, 4.505.00, 4.505.01, 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4.509.02, 4.509.03, 4.509.04, 4.509.05, 4.509.06, 4.509.07, 4.509.08, 4.509.09, 4.509.10, 4.509

BOARD OF BUILDING AND SAFETY COMMISSIONERS	CITY OF LOS ANGELES CALIFORNIA	DEPARTMENT OF BUILDING AND SAFETY 201 NORTH FIGUEROA STREET LOS ANGELES, CA 90012
HELENA JUBANY PRESIDENT MARSHA L. BROWN VICE PRESIDENT VIM AMBATELOS VICTOR H. CUEVAS SEPAD SAMZADEH	ANTONIO R. VILLARAGOSA MAYOR	ROBERT R. "BOB" OVROM GENERAL MANAGER RAYMOND S. CHAN, C.E., S.E. EXECUTIVE OFFICER
TUFFLEX, POLYMERS, LLC 10880 Poplar Avenue Fontana, CA 92337 Attn: James Bolotin (909) 349-2016		
RESEARCH REPORT: RR25567 (CSI # 07180) Expires: November 1, 2014 Issued Date: November 1, 2012 Code: 2011 LABC		

GENERAL APPROVAL: Renewal- 1. Tufflex-II Fire-Retardant Roof Covering and Walking Deck System; 2. TUFFLEX Deck Coating Roof Covering.

DETAILS

1. TUFFLEX-II Fire-Retardant Roof Covering and Walking Deck System:

The TUFFLEX-II Roof Covering and Walking Deck System consists of a multi-component coating for exterior walking deck and roof covering. The system is applied over plywood substrates which has a minimum 1/4 inch per foot slope for water drainage. Components of the system consists of galvanized expanded metal lath secured to the deck over which a polymer reinforced mortar mix known as TUFFLEX-II MORTAR is troweled. A layer of fiberglass matting is then bonded to the surfacing using TUFFLEX-II Basecoat Resin. A texture coat of TUFFLEX-II Texture Coat mixture is then applied followed by a clear or pigmented sealer coat of TUFFLEX-II Final Coat.

The use of the roof system as a class "A" roof covering is subject to the following conditions:

- The roofing components shall be delivered to the job sites in sealed containers identified by the manufacturer's name and product designation.
- Application of the components shall be onto a plywood deck in accordance with the manufacturer's instructions (a copy shall be available at the job site) consistent with the description and requirements herein. All surfaces which

RR 25567
Page 1 of 3

LABS 0-6 (Rev. 05/08)

AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

DECK COATING

Department of Building and Safety / City Planning Slope Analysis and Maximum Residential Floor Area Verification Form	
SECTION I. Name Applicant(s)/Property Owner(s) <u>Robert Hennon</u> Address: <u>1150 W Olympic STE 700</u> Phone Number: <u>310-201-1234</u> SECTION II. Project Address: <u>1341 LAS CANOAS</u> Lot: <u>30</u> Tract: <u>19890</u> Assessor Parcel Number: <u>4420-012-032</u> Proposed Project Description: (describe in detail, including all proposed work and dimensions) <u>NEW 104' x 104' patio, 2' deck (5'), pool 12' x 24'</u> SECTION III. Circle the Zone of the project site in Table 1 and complete Worksheet 1. *Residential Floor Area shall be calculated as defined in LAMC Section 12.03	
SECTION IV. (To be completed by City Planning Staff) Approved Maximum Residential Floor Area for the property listed below: <u>4,382</u> sq.ft. Property Information: Lot: <u>30</u> Tract: <u>TR 19890</u> Assessor Parcel Number: <u>4420-012-032</u> Address: <u>1341 N. Las Canoas Rd</u> City Planning's Staff: 2 Sets of Slope Analysis Maps Stamped and Signed Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Name (Please Print): <u>Barbara Dominguez</u> Signature: <u>[Signature]</u> Date: <u>2/22/17</u> Notes: _____ _____	

May 4, 2011

Page 3 of 3

Department of Building and Safety / City Planning Slope Analysis and Maximum Residential Floor Area Verification Form								
SECTION I. Name Applicant(s)/Property Owner(s) <u>Robert Hennon</u> Address: <u>1150 W Olympic STE 700</u> Phone Number: <u>310-201-1234</u> SECTION II. Project Address: <u>1341 LAS CANOAS</u> Lot: <u>30</u> Tract: <u>19890</u> Assessor Parcel Number: <u>4420-012-032</u> Proposed Project Description: (describe in detail, including all proposed work and dimensions) <u>NEW 104' x 104' patio, 2' deck (5'), pool 12' x 24'</u> SECTION III. Circle the Zone of the project site in Table 1 and complete Worksheet 1. *Residential Floor Area shall be calculated as defined in LAMC Section 12.03								
Table 1. Single-Family Zone Hillside Area Residential Floor Area Ratios (RAR)								
Slope Bands (%)	R1	RS	RE9	RE11	RE15	RE20	RE40	RA
0 - 14.99	0.5	0.45	0.40	0.40	0.35	0.35	0.35	0.25
15 - 29.99	0.45	0.40	0.35	0.35	0.30	0.30	0.30	0.20
30 - 44.99	0.40	0.35	0.30	0.30	0.25	0.25	0.25	0.15
45 - 59.99	0.35	0.30	0.25	0.25	0.20	0.20	0.20	0.10
60 - 99.99	0.30	0.25	0.20	0.20	0.15	0.15	0.15	0.05
100 +	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Worksheet 1. Hillside Area Maximum Residential Floor Area Formula								
(A)	(B)	(C)	(D)					
Slope Bands (%)	Lot Area within each slope band (sq.ft.) from survey/contour map.	FAR from the Zone circled in Table 1	Max. residential Floor Area* allowed within each slope band					
0 - 14.99	6044	x 0.40	= 2418					
15 - 29.99	956	x 0.35	= 335					
30 - 44.99	1156	x 0.30	= 347					
45 - 59.99	1461	x 0.25	= 365					
60 - 99.99	4583	x 0.20	= 917					
100 +	674	x 0.00	= 0					
Maximum Residential Floor Area =			4,382					

May 4, 2011

Page 2 of 3

http://10.8.35.232/pre_inspection/viewonly/view_gradingchecklist.cfm?permit_id=17030... 3/8/2017

17030-30000-00945 \ 1341 N LAS CANOAS ROAD

Page 2 of 2

1. A grading permit is required for excavation and backfill.	2. A retaining wall permit is required.	3. OSHA permit required for vertical cuts 5 feet or over.	4. All footings shall be founded in undisturbed natural soil per Code.	5. Design for expansive soil or submit a soil report to the grading division per information bulletin.	6. In the event excavations reveal unfavorable conditions, the services of a soils engineer and/or geologist may be required.	7. Reports are required. Submit three copies (1 original and 2 copies), with appropriate fees, to the Grading Section for review and approval.	8. Recommendations of the approved reports and Department letters dated into the plans, to sign plans.	9. Site is subject to mudflow. Comply with provisions of Section 91.7014.3. Geological and soils report required.	10. All cut and fill slopes shall be on the toe of all slopes which exceed a gradient of 3 horizontal to 1 vertical as determined by ASTM method D-1557. Subdrains shall be provided where required by Code.	11. Footings shall be set back from the descending slope surface exceeding 3 horizontal to 1 vertical as per Section 91.1805.3.7.	12. Seawalling pools and spas shall be set back from descending and ascending slopes as per Section 91.1805.3.7.	13. Department approval is required for construction of an over slope steeper than 2 horizontal to 1 vertical.	14. Provide complete details of engineered temporary shoring or slot cutting procedures on plans. Call for bottom inspection before fill is placed. Fill may not be placed without approval of the grading division.	15. A Registered Deputy Inspector is required.	16. All fill or backfill shall be compacted by mechanical means to a minimum 90% relative compaction as determined by ASTM method D-1557. Subdrains shall be provided where required by Code.	17. All fill or backfill shall be compacted by mechanical means to a minimum 90% relative compaction as determined by ASTM method D-1557. Subdrains shall be provided where required by Code.	18. All fill or backfill shall be compacted by mechanical means to a minimum 90% relative compaction as determined by ASTM method D-1557. Subdrains shall be provided where required by Code.	19. Existing nonconforming slopes shall be cut back at 2:1 (26 degrees) or retained. All conventional retaining walls shall be designed and constructed in accordance with the provisions of the LAMC and the LAR. Retaining walls shall be designed and constructed in accordance with the provisions of the LAMC and the LAR.	20. Existing nonconforming slopes shall be cut back at 2:1 (26 degrees) or retained. All conventional retaining walls shall be designed and constructed in accordance with the provisions of the LAMC and the LAR.	21. Existing nonconforming slopes shall be cut back at 2:1 (26 degrees) or retained. All conventional retaining walls shall be designed and constructed in accordance with the provisions of the LAMC and the LAR.	22. Existing nonconforming slopes shall be cut back at 2:1 (26 degrees) or retained. All conventional retaining walls shall be designed and constructed in accordance with the provisions of the LAMC and the LAR.	23. Existing nonconforming slopes shall be cut back at 2:1 (26 degrees) or retained. All conventional retaining walls shall be designed and constructed in accordance with the provisions of the LAMC and the LAR.	24. This is a preliminary pre-inspection only - based on limited information. When complete plans (and all required reports, drawings, and/or required reports) are submitted for a permit, a new pre-inspection and fee will be required.
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** Additional requirements: Posting only

Construction of new occupied buildings or major additions to buildings on sites located in any of the Seismic Zones 1, 2, or 3 shall require a seismic hazard analysis report. For questions call (213) 482-0460.

http://10.8.35.232/pre_inspection/viewonly/view_gradingchecklist.cfm?permit_id=17030... 3/8/2017

SCALE
N/A

10

ROOFING MATERIAL

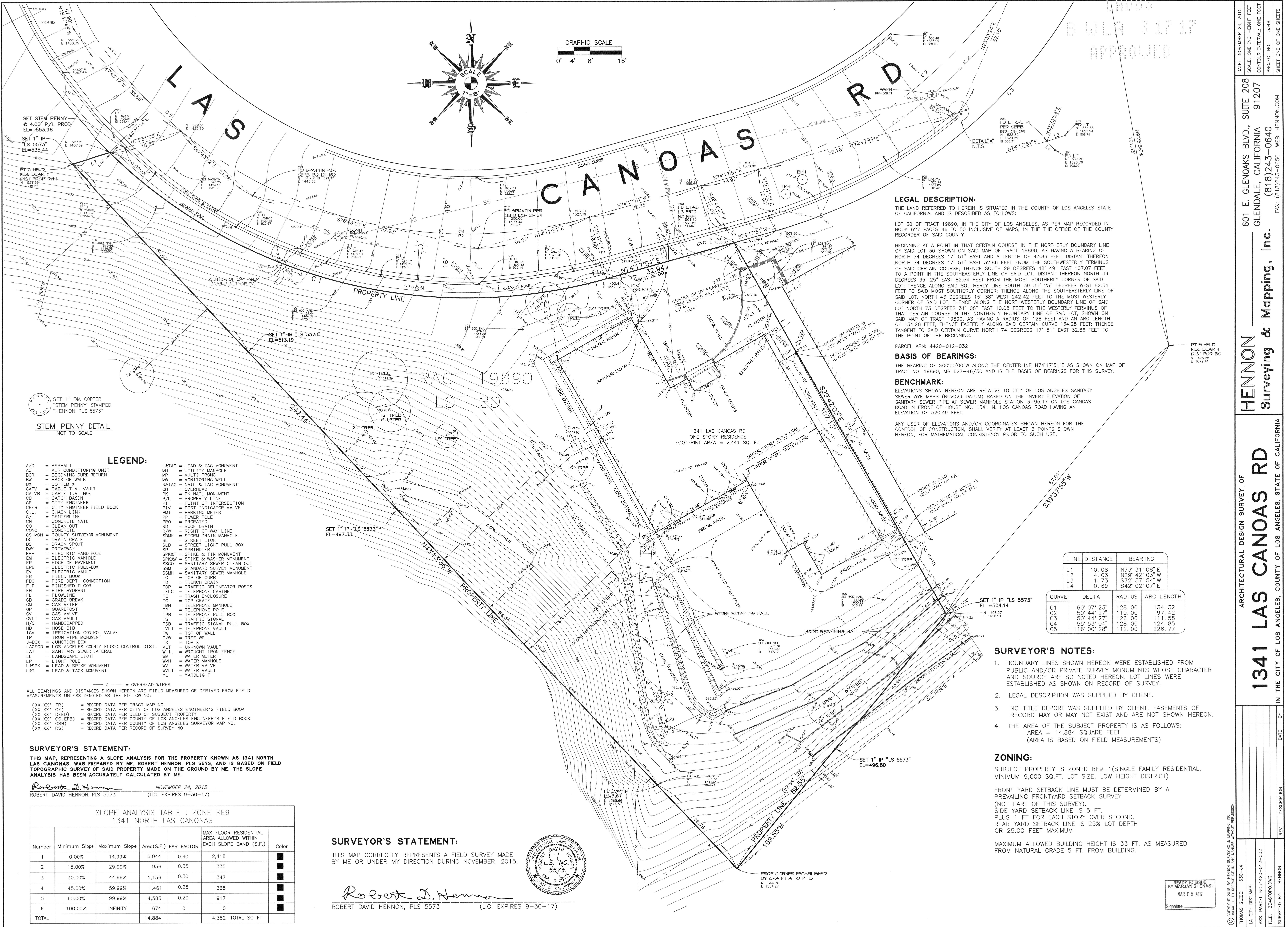
BOARD OF BUILDING AND SAFETY COMMISSIONERS	CITY OF LOS ANGELES CALIFORNIA	DEPARTMENT OF BUILDING AND SAFETY 201 NORTH FIGUEROA STREET LOS ANGELES, CA 90012
HELENA JUBANY PRESIDENT VAN AMBATELOS VICE PRESIDENT E. FELICIA BRAWN VICTOR H. CUEVAS SEPAD SAMZADEH	ANTONIO R. VILLARAGOSA MAYOR	ROBERT R. "BOB" OVROM GENERAL MANAGER RAYMOND S. CHAN, C.E., S.E. EXECUTIVE OFFICER
Genesis Coatings, Inc. 27801 La Mirada Drive, Suite #A Vista, CA 92081 Attn: Nanette Schwartz (760) 599-6011		RESEARCH REPORT: RR 25042-T (CSI # 09960) Expires: December 1, 2014 Issued: January 1, 2013 Code: 2011 LABC
GENERAL APPROVAL - Renewal - Graffiti Melt - Sacrificial Anti-Graffiti Coating and GCP1000 Non-Sacrificial Anti-Graffiti Coating for protection of all types of surfaces against graffiti.		
DETAILS The approval is subject to the following conditions: 1. Anti-Graffiti coating must have the capability of having all types of paints and graffiti materials completely removed without damaging the uncoated surfaces to which they are applied. 2. The anti-graffiti coating and products required to remove graffiti from the coating must be non-toxic and comply with all applicable requirements of the South Coast Air Quality Management District. 3. The coating must be weather and rain resistant, abrasive resistant, peel resistant, ultraviolet resistant, non-yellowing and allow moisture vapor transmission as tested in accordance with applicable ASTM Standards. 4. The removal of graffiti shall cause little or no change in the appearance of treated surface.		
LABS 0-6 (Rev. 12/10)		
AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER		

ANTI-GRAFFITI

SCALE
N/A

3

DEPARTMENT OF BUILDING AND SAFETY/DEPARTMENT OF PUBLIC WORKS PRELIMINARY REFERRAL FORM FOR BASELINE HILLSIDE ORDINANCE No. 181,624 HILLSIDE ORDINANCE No. 168,159	
Building and Safety Address: 1341 N LAS CANOAS ROAD District Map: 132B121 Block: 30 APN: 4420012032	Date: 12/20/2016 Tract: TR 19890 Lot: 30 FAX: PCIS No.: PIN: 132B121-538
Public Works Vehicular Access: 1. Is the Continuous Paved Roadway (CPR) at least 20ft wide from the driveway apron of the subject lot to the boundary of the Hillside Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 2. Is the CPR at least 20ft wide from the driveway apron of the subject lot to the boundary of the Hillside Area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 3. Is the street adjacent to the subject lot at least 20ft wide? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 4. Are all streets adjacent to a lot must be considered either the lot has multiple street frontages, such as a corner lot or a through lot? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 5. Is the lot adjacent to the subject lot at least 20ft wide? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 6. Is the lot adjacent to the subject lot at least 20ft wide? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 7. Is the lot adjacent to the subject lot at least 20ft wide? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 8. Is the lot adjacent to the subject lot at least 20ft wide? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 9. Is the lot adjacent to the subject lot at least 20ft wide? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 10. Is the lot adjacent to the subject lot at least 20ft wide? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 11. Is the lot adjacent to the subject lot at least 20ft wide? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 12. Is the lot adjacent to the subject lot at least 20ft wide? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 13. 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LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN IS SITUATED IN THE COUNTY OF LOS ANGELES STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
LOT 30 OF TRACT 19890, IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 627 PAGES 46 TO 50 INCLUSIVE OF MAPS, IN THE THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
BEGINNING AT A POINT IN THAT CERTAIN COURSE IN THE NORTHERLY BOUNDARY LINE OF SAID LOT 30 SHOWN ON SAID MAP OF TRACT 19890, AS HAVING A BEARING OF NORTH 74 DEGREES 17' 51" EAST AND A LENGTH OF 43.86 FEET, DISTANT THEREON NORTH 74 DEGREES 17' 51" EAST 32.86 FEET FROM THE SOUTHWESTERLY TERMINUS OF SAID CERTAIN COURSE; THENCE SOUTH 29 DEGREES 48' 49" EAST 107.07 FEET, TO A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT, DISTANT THEREON NORTH 39 DEGREES 35' 25" EAST 82.54 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT; THENCE ALONG SAID SOUTHERLY LINE, SOUTH 39 35' 25" DEGREES WEST 82.54 FEET TO SAID MOST SOUTHERLY CORNER; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID LOT, NORTH 43 DEGREES 15' 38" WEST 242.42 FEET TO THE MOST WESTERLY CORNER OF SAID LOT; THENCE ALONG THE NORTHWESTERLY BOUNDARY LINE OF SAID LOT NORTH 73 DEGREES 31' 08" EAST 10.08 FEET TO THE WESTERLY TERMINUS OF THAT CERTAIN COURSE IN THE NORTHERLY BOUNDARY LINE OF SAID LOT, SHOWN ON SAID MAP OF TRACT 19890, AS HAVING A RADIUS OF 128 FEET AND AN ARC LENGTH OF 134.28 FEET; THENCE EASTERLY ALONG SAID CERTAIN CURVE 134.28 FEET; THENCE TANGENT TO SAID CERTAIN CURVE NORTH 74 DEGREES 17' 51" EAST 32.86 FEET TO THE POINT OF THE BEGINNING.

PARCEL APN: 4420-012-032

BASIS OF BEARINGS:
THE BEARING OF S00°00'00" W ALONG THE CENTERLINE N74°17'51"E AS SHOWN ON MAP OF TRACT NO. 19890, MB 627-46/50 AND IS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK:
ELEVATIONS SHOWN HEREON ARE RELATIVE TO CITY OF LOS ANGELES SANITARY SEWER WYE MAPS (NGVD29 DATUM) BASED ON THE INVERT ELEVATION OF SANITARY SEWER PIPE AT SEWER MANHOLE STATION 3+95.17 ON LOS CANOAS ROAD IN FRONT OF HOUSE NO. 1341 N. LAS CANOAS ROAD HAVING AN ELEVATION OF 520.49 FEET.

ANY USER OF ELEVATIONS AND/OR COORDINATES SHOWN HEREON FOR THE CONTROL OF CONSTRUCTION, SHALL VERIFY AT LEAST 3 POINTS SHOWN HEREON, FOR MATHEMATICAL CONSISTENCY PRIOR TO SUCH USE.

L LINE	DISTANCE	BEARING
L1	10.08	N73° 31' 08" E
L2	4.03	N29° 42' 03" W
L3	1.73	S72° 37' 54" W
L4	0.69	S42° 02' 07" E

CURVE	DELTA	RADIUS	ARC LENGTH
C1	60° 07' 23"	128.00	134.32
C2	50° 44' 27"	110.00	97.42
C3	126° 00' 11"	126.00	111.58
C4	55° 53' 04"	128.00	124.85
C5	116° 00' 28"	112.00	226.77

- SURVEYOR'S NOTES:**
- BOUNDARY LINES SHOWN HEREON WERE ESTABLISHED FROM PUBLIC AND/OR PRIVATE SURVEY MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED HEREON. LOT LINES WERE ESTABLISHED AS SHOWN ON RECORD OF SURVEY.
 - LEGAL DESCRIPTION WAS SUPPLIED BY CLIENT.
 - NO TITLE REPORT WAS SUPPLIED BY CLIENT. EASEMENTS OF RECORD MAY OR MAY NOT EXIST AND ARE NOT SHOWN HEREON.
 - THE AREA OF THE SUBJECT PROPERTY IS AS FOLLOWS:
AREA = 14,884 SQUARE FEET
(AREA IS BASED ON FIELD MEASUREMENTS)

ZONING:
SUBJECT PROPERTY IS ZONED RE9-1(SINGLE FAMILY RESIDENTIAL, MINIMUM 9,000 SQ.FT. LOT SIZE, LOW HEIGHT DISTRICT)
FRONT YARD SETBACK LINE MUST BE DETERMINED BY A PREVAILING FRONTYARD SETBACK SURVEY (NOT PART OF THIS SURVEY).
SIDE YARD SETBACK LINE IS 5 FT.
PLUS 1 FT FOR EACH STORY OVER SECOND.
REAR YARD SETBACK LINE IS 25% LOT DEPTH OR 25.00 FEET MAXIMUM
MAXIMUM ALLOWED BUILDING HEIGHT IS 33 FT. AS MEASURED FROM NATURAL GRADE 5 FT. FROM BUILDING.

- LEGEND:**
- | | |
|---|---------------------------------|
| A/C = ASPHALT | L&T = LEAD & TAG MONUMENT |
| AC = AIR CONDITIONING UNIT | MH = UTILITY MANHOLE |
| BCR = BEGINNING CURB RETURN | MP = MULTI PRONG |
| BW = BACK OF WALK | MW = MONITORING WELL |
| BX = BOTTOM X | N&T = NAIL & TAG MONUMENT |
| CATV = CABLE T.V. VAULT | OH = OVERHEAD |
| CB = CATCH BASIN | PK = PK NAIL MONUMENT |
| CEFB = CITY ENGINEER FIELD BOOK | PL = PROPERTY LINE |
| C.L. = CHAIN LINK | PI = POINT OF INTERSECTION |
| CL = CENTERLINE | PIV = POST INDICATOR VALVE |
| CM = CONCRETE MANHOLE | PP = PARKING METER |
| CONC = CONCRETE | PP = POWER POLE |
| CS MON = COUNTY SURVEYOR MONUMENT | PRO = PRORATED |
| DS = DRAIN | RD = ROOF DRAIN |
| DS MON = DRAIN MONUMENT | R/W = RIGHT-OF-WAY LINE |
| DS MON = DRAIN MONUMENT | SDMH = STORM DRAIN MANHOLE |
| DS MON = DRAIN MONUMENT | SLB = STREET LIGHT PULL BOX |
| DWY = DRIVEWAY | SP&T = SPRINKLER |
| EMH = ELECTRIC HAND HOLE | SPK&W = SPIKE & TIN MONUMENT |
| EPB = ELECTRIC PULL-BOX | SSCO = SANITARY SEWER CLEAN OUT |
| EV = ELECTRIC VAULT | SSM = STANDARD SURVEY MONUMENT |
| FB = FIELD BOOK | SSMH = SANITARY SEWER MANHOLE |
| F.C. = FIRE DEPT. CONNECTION | TC = TOP OF CURB |
| FI = FIRE HYDRANT | TD = TRENCH DRAIN |
| F.F. = FINISHED FLOOR | TDP = TRAFFIC DELINEATOR POSTS |
| FL = FLOW LINE | TELC = TELEPHONE CABINET |
| GB = GRADE BREAK | TE = TOP GRADE |
| GM = GAS METER | TMH = TELEPHONE MANHOLE |
| GP = GUARDPOST | TP = TELEPHONE POLE |
| GV = GAS VALVE | TPB = TELEPHONE PULL BOX |
| H/C = HANDICAPPED | TSB = TRAFFIC SIGNAL PULL BOX |
| H/I = HOSE BIB | TVL = TELEPHONE VAULT |
| ICV = IRRIGATION CONTROL VALVE | TW = TOP OF WALL |
| IP = IRON PIPE MONUMENT | T/W = TREE WELL |
| J-BOX = JUNCTION BOX | TX = TOP X |
| L&C/FD = LOS ANGELES COUNTY FLOOD CONTROL DIST. | U.V. = UNKNOWN VAULT |
| LAT = LANDSCAPE LIGHT | W.I. = WROUGHT IRON FENCE |
| LL = LIGHT POLE | WM = WATER METER |
| L&SPK = LEAD & SPIKE MONUMENT | WMH = WATER MANHOLE |
| L&T = LEAD & TACK MONUMENT | WV = WATER VALVE |
| | WLT = WATER VAULT |
| | YL = YARD LIGHT |
- ALL BEARINGS AND DISTANCES SHOWN HEREON ARE FIELD MEASURED OR DERIVED FROM FIELD MEASUREMENTS UNLESS DENOTED AS THE FOLLOWING:
- | | |
|----------------|---|
| (XX.XX' TR) | = RECORD DATA PER TRACT MAP NO. |
| (XX.XX' CE) | = RECORD DATA PER CITY OF LOS ANGELES ENGINEER'S FIELD BOOK |
| (XX.XX' DEED) | = RECORD DATA PER DEED OF SUBJECT PROPERTY |
| (XX.XX' CO.FB) | = RECORD DATA PER COUNTY OF LOS ANGELES ENGINEER'S FIELD BOOK |
| (XX.XX' CSB) | = RECORD DATA PER COUNTY OF LOS ANGELES SURVEYOR MAP NO. |
| (XX.XX' RS) | = RECORD DATA PER RECORD OF SURVEY NO. |

SURVEYOR'S STATEMENT:
THIS MAP, REPRESENTING A SLOPE ANALYSIS FOR THE PROPERTY KNOWN AS 1341 NORTH LAS CANOAS, WAS PREPARED BY ME, ROBERT HENNON, PLS 5573, AND IS BASED ON FIELD TOPOGRAPHIC SURVEY OF SAID PROPERTY MADE ON THE GROUND BY ME. THE SLOPE ANALYSIS HAS BEEN ACCURATELY CALCULATED BY ME.
Robert D. Hennon
ROBERT DAVID HENNON, PLS 5573
NOVEMBER 24, 2015
(LIC. EXPIRES 9-30-17)

SLOPE ANALYSIS TABLE : ZONE RE9 1341 NORTH LAS CANOAS					
Number	Minimum Slope	Maximum Slope	Area(S.F.)	FAR FACTOR	Color
1	0.00%	14.99%	6,044	0.40	2,418
2	15.00%	29.99%	956	0.35	335
3	30.00%	44.99%	1,156	0.30	347
4	45.00%	59.99%	1,461	0.25	365
5	60.00%	99.99%	4,583	0.20	917
6	100.00%	INFINITY	674	0	0
TOTAL			14,884		4,382 TOTAL SQ FT

SURVEYOR'S STATEMENT:
THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION DURING NOVEMBER, 2015,
Robert D. Hennon
ROBERT DAVID HENNON, PLS 5573
(LIC. EXPIRES 9-30-17)

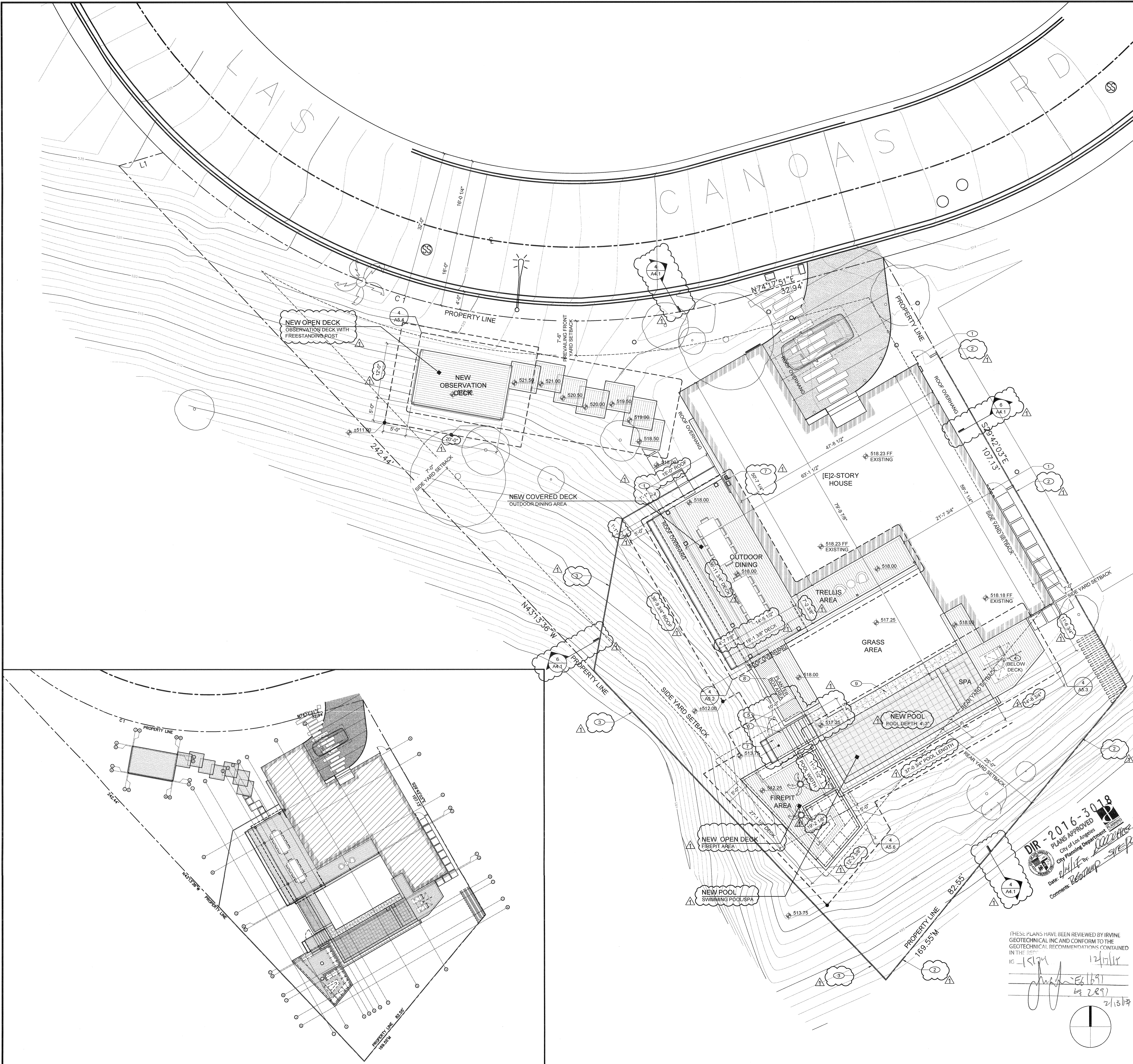


SITE GRIDLINE KEY

SCALE
1/16"=1'-0"

SITE PLAN

12



KEY NOTES

- 1 6'-0" HIGH SELF CLOSING WOOD GATE WITH SELF-LATCHING DEVICE (PLACED NOT LOWER THAN 60" ABOVE GROUND)
- 2 EXISTING 6'-0" NON-CONFORMING CHAIN LINK FENCE TO ADD PERMANENT FABRIC MESH TO COMPLY WITH THE POOL ENCLOSURE
- 3 NEW 60" CHAIN LINK FENCE ABOVE GROUND. 1 3/4" OPENING, 11 GAUGE WITH POOL COVER
- 4 MORTORIZED POOL COVER
- 5 ACCESS DOOR FOR POOL EQUIPMENT ROOM
- 6 LINE OF POOL EQUIPMENT ROOM BELOW STAIRS
- 7 AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE WEATHER- OR SOIL-BASED CONTROLLERS - BELOW STAIRS
- 8 NEW 70.88 SQFT PLANTER BOX. SEE SHEET LID-1 FOR MORE INFORMATION
- 9 NEW STONE FINISH PAVEMENT

GENERAL NOTES

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS (PER ORDINANCE 170.158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R308.3).
4. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
5. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
6. PROVIDE ULTRA-LOW FLUSH WATER CLOSERS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
7. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
8. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
9. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR (R109 OF LAPC)
10. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL NO. 2077. (31628)
11. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325 (R309.4)
12. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY. UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
13. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)
14. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
15. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
16. DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER, NON COMBUSTIBLE OR OTHER APPROVED MATERIALS PER SEC. 709A.3.
17. THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS. OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE (707A.8)
18. BUILDINGS SHALL HAVE ALL UNDERFLOOR AREAS COMPLETELY ENCLOSED TO THE GRADE WITH CONSTRUCTION AS REQUIRED FOR EXTERIOR WALLS (707A.8, 7207.1)
19. ALL UTILITIES, PIPES, FURNANCES, WATER HEATERS OR OTHER MECHANICAL DEVICES LOCATED IN AN EXPOSED UNDER-FLOOR AREA OF A RESIDENTIAL BUILDING SHALL BE ENCLOSED WITH MATERIALS AS REQUIRED FOR 1-HOUR FIRE-RESISTIVE CONSTRUCTION (7207.2)

DIR - 2016-3078
City of Los Angeles
City Planning Department
Date: 2/11/17
Comments: 2/11/17
2/13/17

THESE PLANS HAVE BEEN REVIEWED BY IRVINE
GEOTECHNICAL INC AND CONFORM TO THE
GEOTECHNICAL RECOMMENDATIONS CONTAINED
IN THE
IG - 15124
12/1/16
1/28/17
2/13/17

STORMWATER MITIGATION
LOW IMPACT DEVELOPMENT (LID)
APPROVED WITH CONDITIONS
This set of plans and specifications must be at jobsite during construction.
Stormwater Observation Report (SOR) is required prior to issuance of Certificate of Occupancy or final sign off.
Total Pages: 6
By: Mark Egan Date: 1-20-17
Department of Public Works Bureau of Sanitation
Watershed Protection Division

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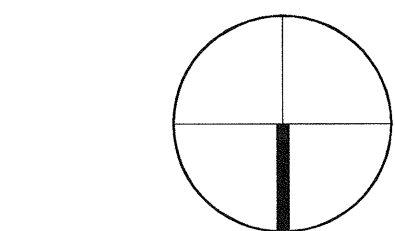
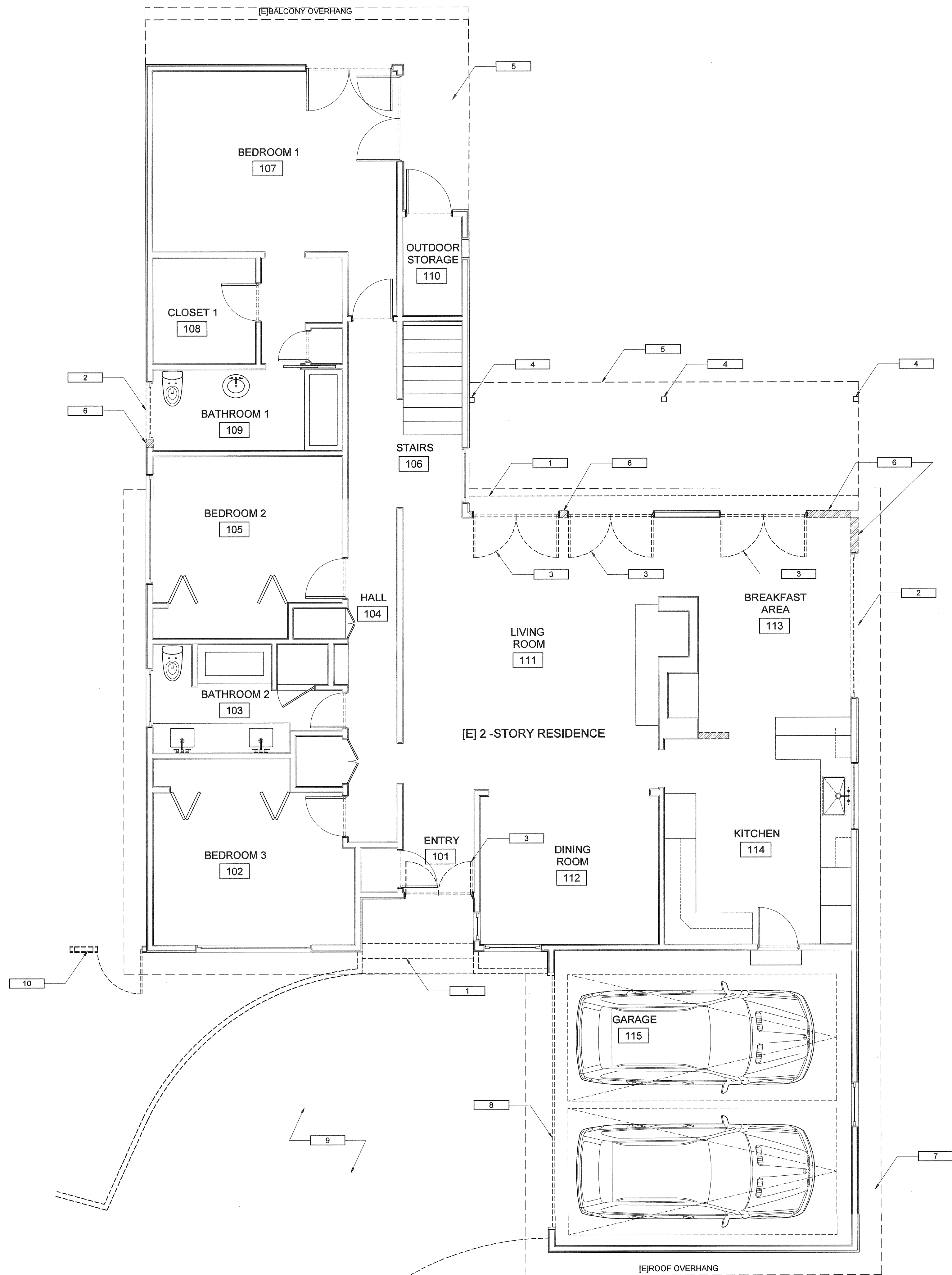
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SITE PLAN

DATE	ISSUE SET	DATE	ISSUE SET
02/03/2016	ISSUE SETTING		
02/03/2016	ISSUE SETTING		
02/03/2016	ISSUE SETTING		
02/03/2016	ISSUE SETTING		
02/03/2016	ISSUE SETTING		

READY TO SUBMIT
MAR 08 2017
Signature

SHEET
A1.1



SCALE
1/4"=1'-0"

KEYNOTES

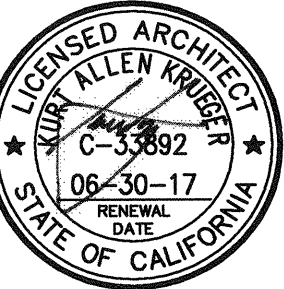
- 1 DEMO CONCRETE STAIRS
- 2 DEMO WINDOW
- 3 DEMO DOOR
- 4 DEMO COLUMNS & TRELLIS ABOVE
- 5 DEMO CONCRETE & TILE PATIO
- 6 DEMO WALL
- 7 DEMO/REPLACE EXISTING ROOF SHINGLES - FIRST FLOOR ONLY
- 8 DEMO/REPLACE GARAGE DOOR
- 9 DEMO/REPLACE DRIVEWAY
- 10 DEMO/REPLACE GATE/FENCE

SCALE
N/A

3

DEMO FLOOR PLAN

DATE	ISSUE SET	DATE	ISSUE SET
03/03/2016	PERMIT SET		
03/03/2016	PERMIT SET		
03/03/2016	PERMIT SET		
03/03/2016	PERMIT SET		
03/03/2016	PERMIT SET		
03/03/2016	PERMIT SET		
03/03/2016	PERMIT SET		
03/03/2016	PERMIT SET		
03/03/2016	PERMIT SET		



SHEET

D2.0

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BY MAXUAN SHEN/ASI
MAR 08 2017

Signature

MM

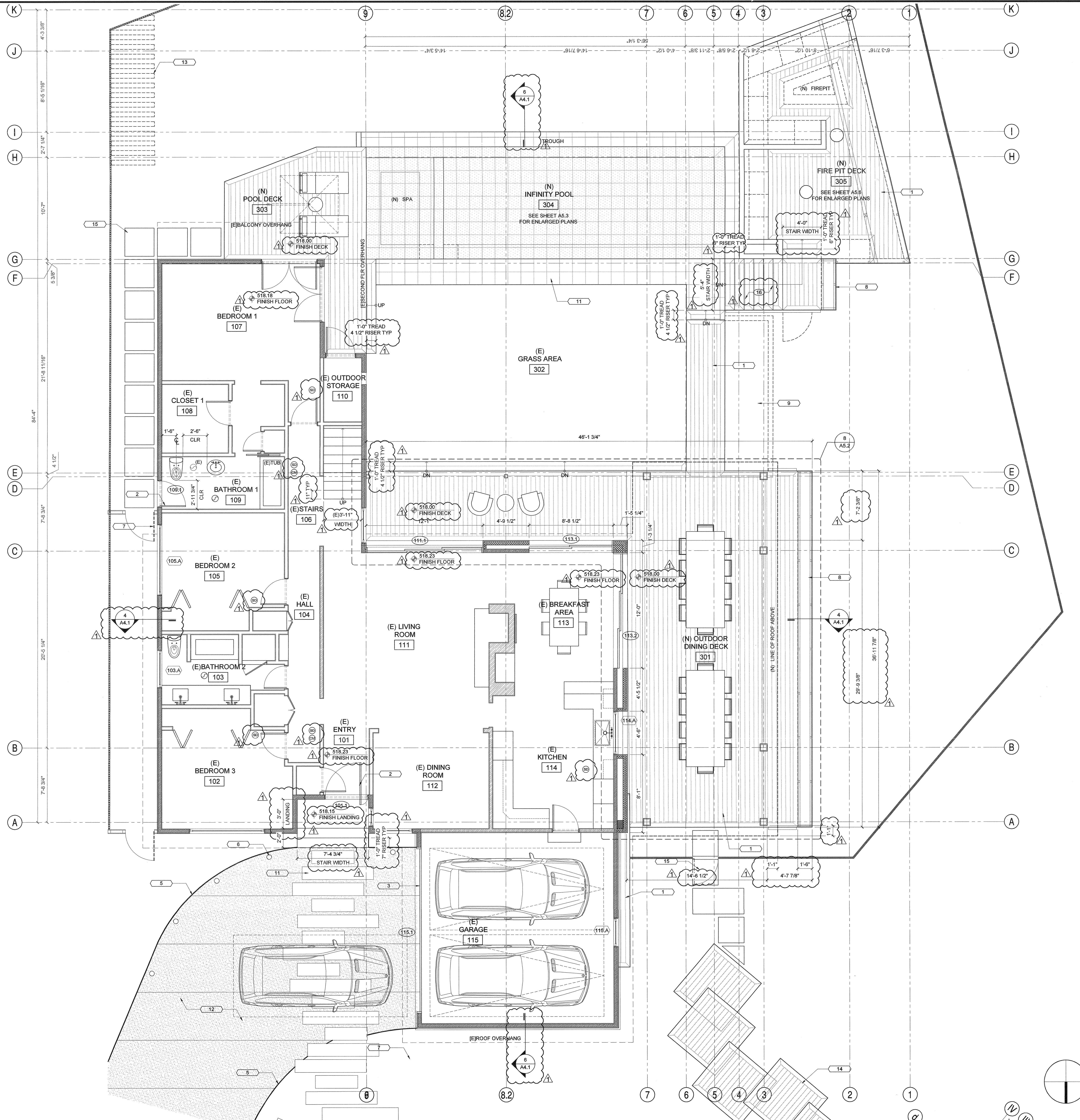
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B WLA 31717
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FIRST FLOOR PLAN



FLOOR PLAN NOTES

1. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)
2. AN APPROVED CARBON MONOXIDE (CO) SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
3. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)
4. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).
5. DAMP PROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION 406.1.

KEYNOTES

- 1 (N) WOOD DECKING
- 2 (N) DOOR/WINDOW, SEE DOOR AND WINDOW SCHEDULE A7.1
- 3 (N) GARAGE DOOR
- 4 (N) CONCRETE PAD
- 5 1/2" RUSTED STEEL PLATE EDGER
- 6 (N) SURFACE MOUNTED LIGHT FIXTURE
- 7 (N) GATE WITH ALARM AND SELF CLOSING
- 8 (N) WOODEN PLANTER BOX
- 9 (N) PLANTER WITH CONCRETE WALLS
- 10 (N) 6'-0" WOOD FENCE
- 11 (N) STONE TILE
- 12 REPLACE EXISTING CONCRETE DRIVEWAY W/ SEEDED CONCRETE
- 13 WOOD LANDSCAPE TIES
- 14 (N) WOOD PLATFORM/STEP
- 15 (N) CONCRETE PAVERS
- 16 ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7)

LEGEND

- (SD) SMOKE DETECTOR, SEE SEE FLOOR PLAN NOTE # 1
- (CM) CARBON MONOXIDE DETECTOR, SEE FLOOR PLAN NOTE # 2
- (EF) EXHAUST FAN - NEWLY INSTALLED BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING
 - EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL
 - MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE.
- (EXIT) EMERGENCY EGRESS, SEE DOOR AND WINDOW SCHEDULE, FOR OPENING SIZE
- (ALARM) EXIT ALARM, SEE GENERAL NOTES # 1
- F.O.S. FACE OF STUD
- EXISTING 2x WOOD FRAMED WALL
- NEW 2x WOOD FRAMED WALL
- 2x4 WOOD FRAMED WALL - MIN. 1-HOUR FIRE RATING SEPARATION BETWEEN GARAGE & DWELLING WALLS & CEILINGS

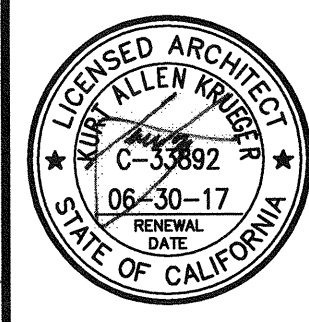
DIR-2016-3018
PLANS APPROVED
City of Los Angeles
City Planning Department
Date: 2/17/17
Comments: Deck

READY TO ISSUE
BY MARIAH SHENASI
MAR 08 2017
Signature

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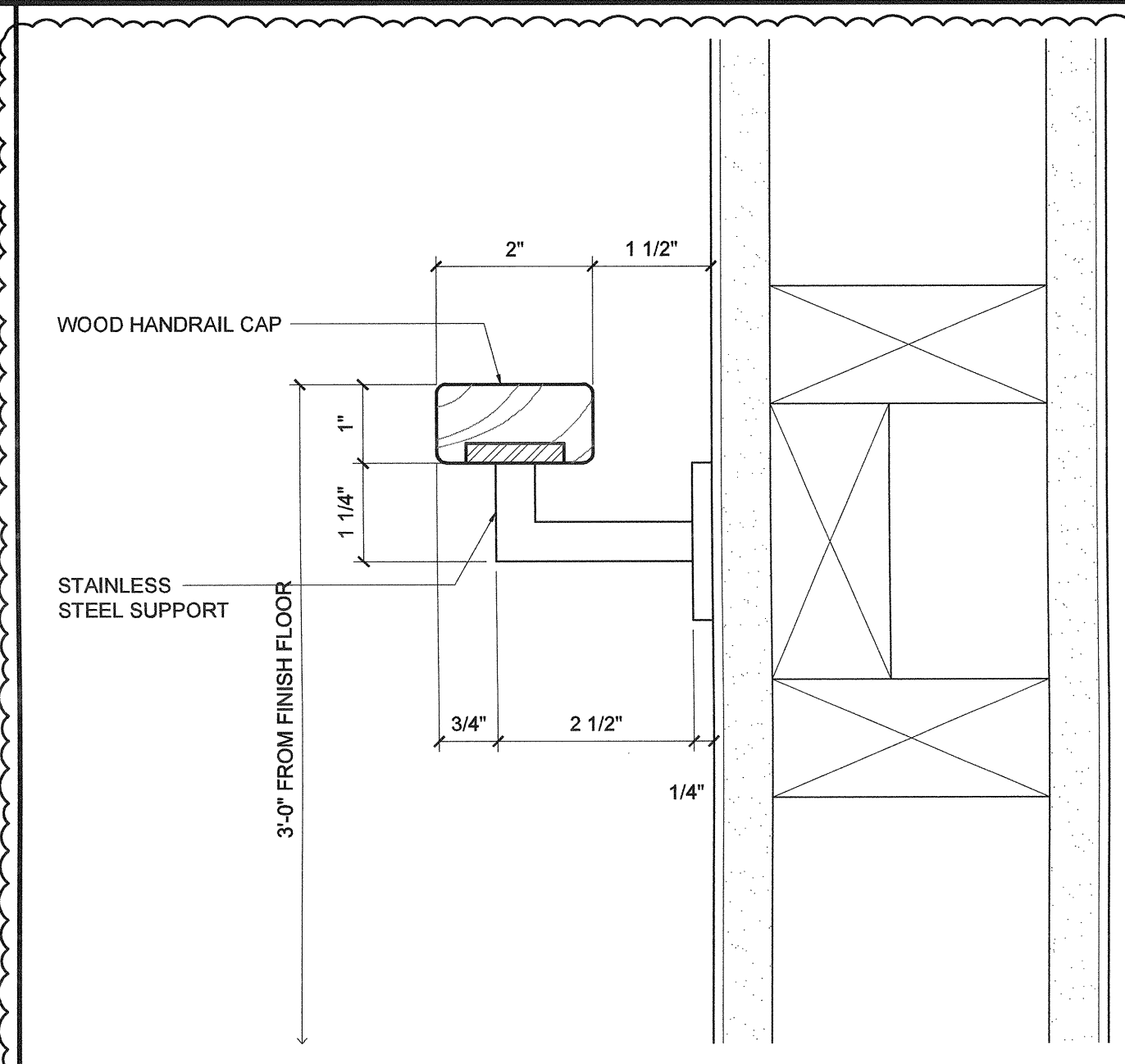
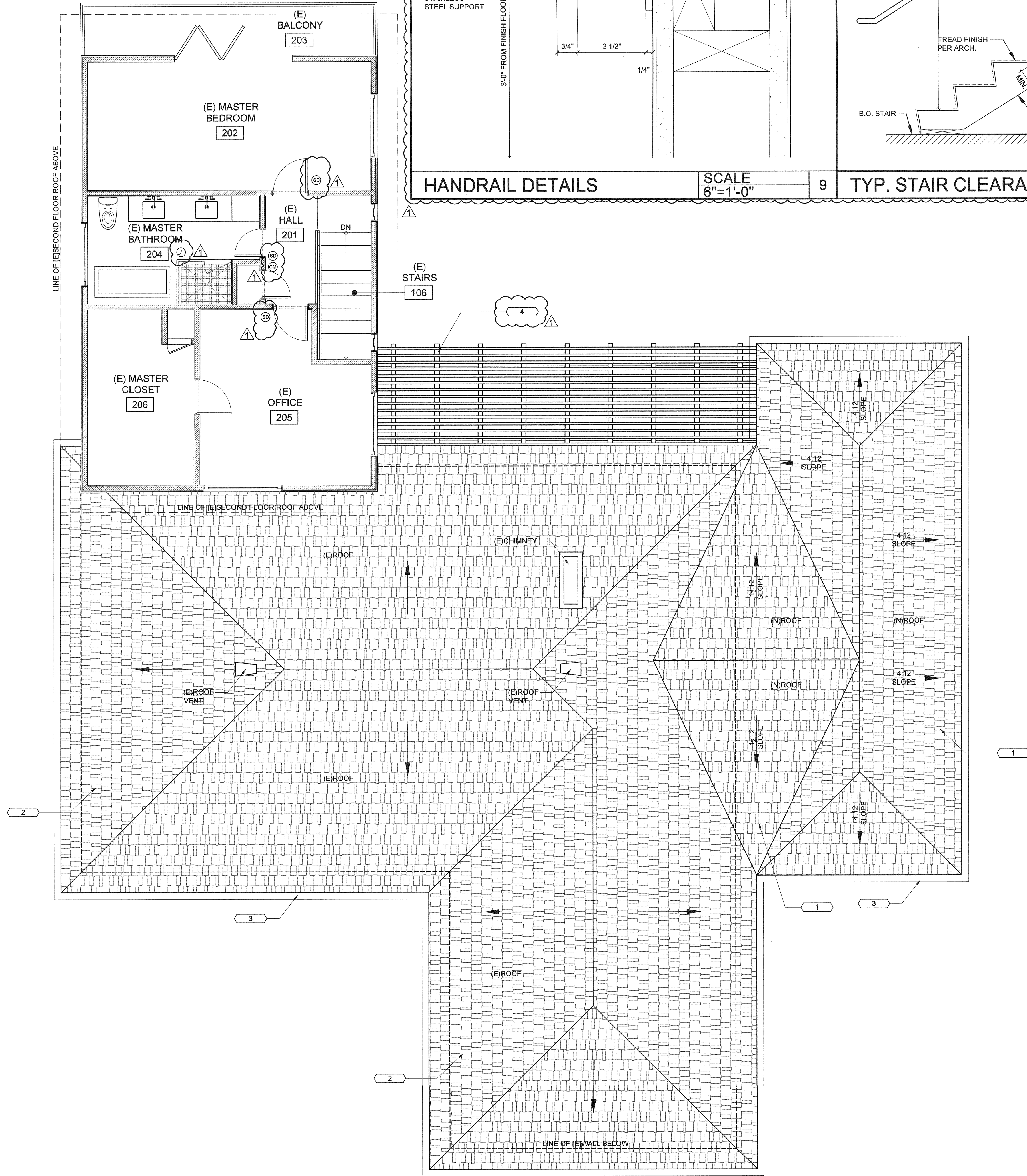
FIRST FLOOR PLAN



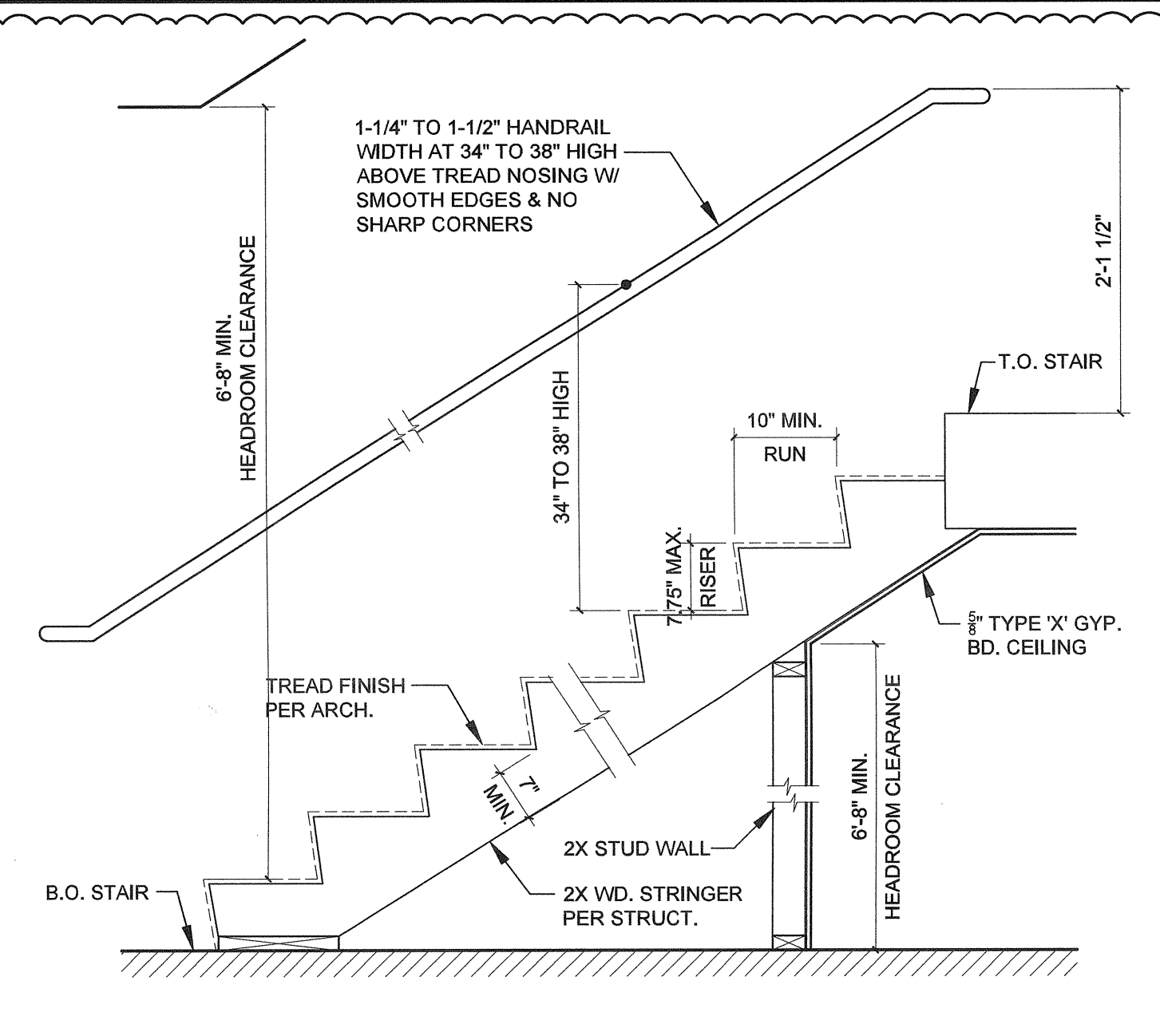
SHEET

A2.1

SECOND FLOOR PLAN

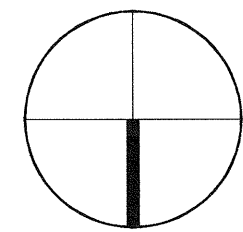


HANDRAIL DETAILS SCALE 6"=1'-0" 9



TYP. STAIR CLEARANCES SCALE 1"=1'-0" 5

- KEYNOTES SCALE NO SCALE 1
- 1 NEW ASPHALT SHINGLE ROOFING
 - 2 REPLACE EXISTING ASPHALT SHINGLES WITH NEW ASPHALT SHINGLES ROOFING
 - 3 NEW METAL GUTTER
 - 4 NEW WOOD TRELLIS, CONSTRUCTED OF HEAVY TIMBER OR NON COMBUSTIBLE MATERIALS. MINIMUM OF 4 INCHES SPACING BETWEEN MEMBERS.



SCALE 1/4"=1'-0" 8

This set of plans and specifications has been reviewed and is approved for completion with state and local constraints related to the Green Building Code. It is intended to alter, change, or deviate from these plans. This stamp of this plan SHALL NOT be construed to be approval or a violation of any provisions of any Ordinance or Law.

By: _____ Date: _____

Total of _____ Sheets

READY TO ISSUE
BY: MARJAN CHENAI
MAR 08 2017

SHEET

A2.2

SECOND FLOOR PLAN

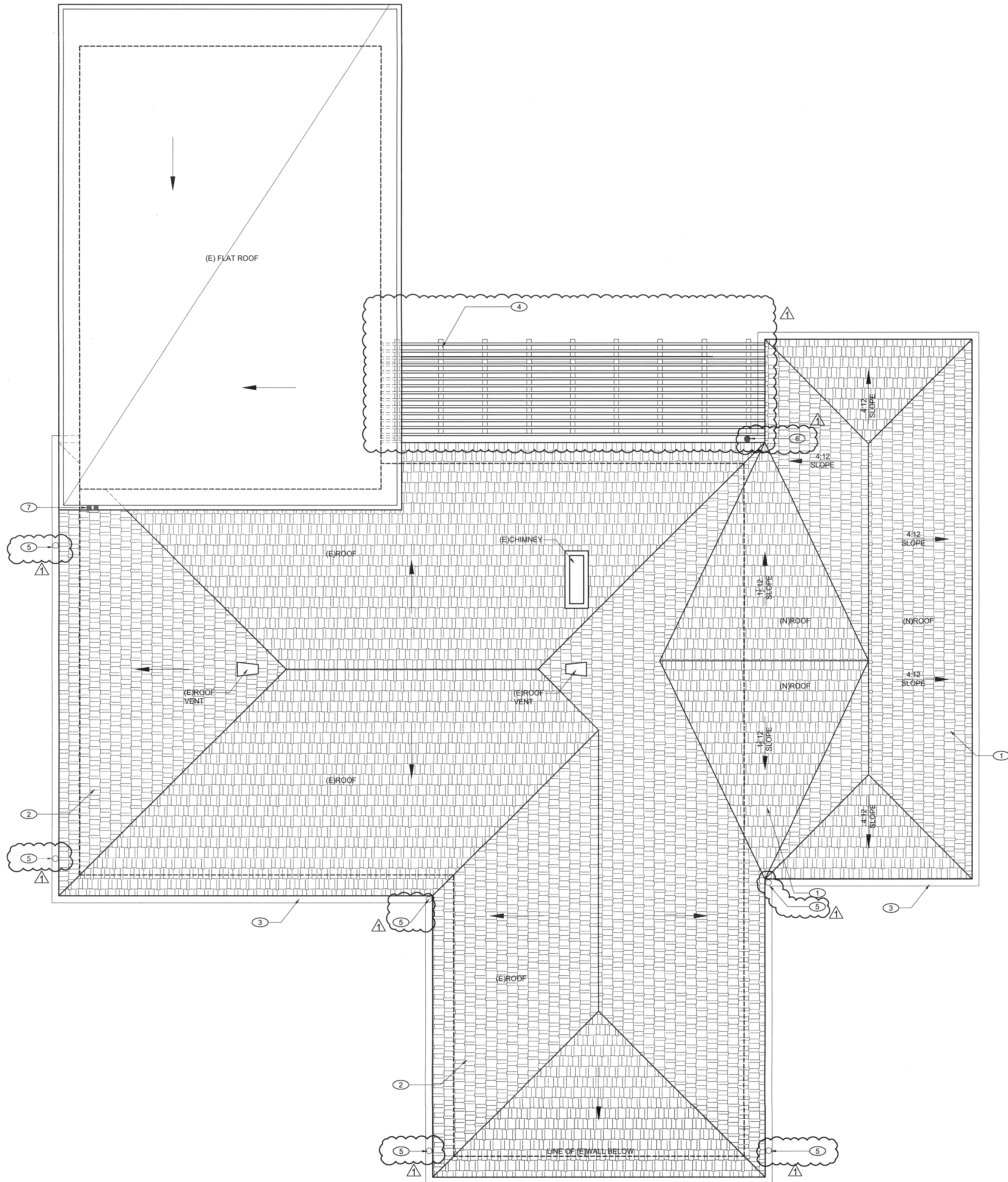
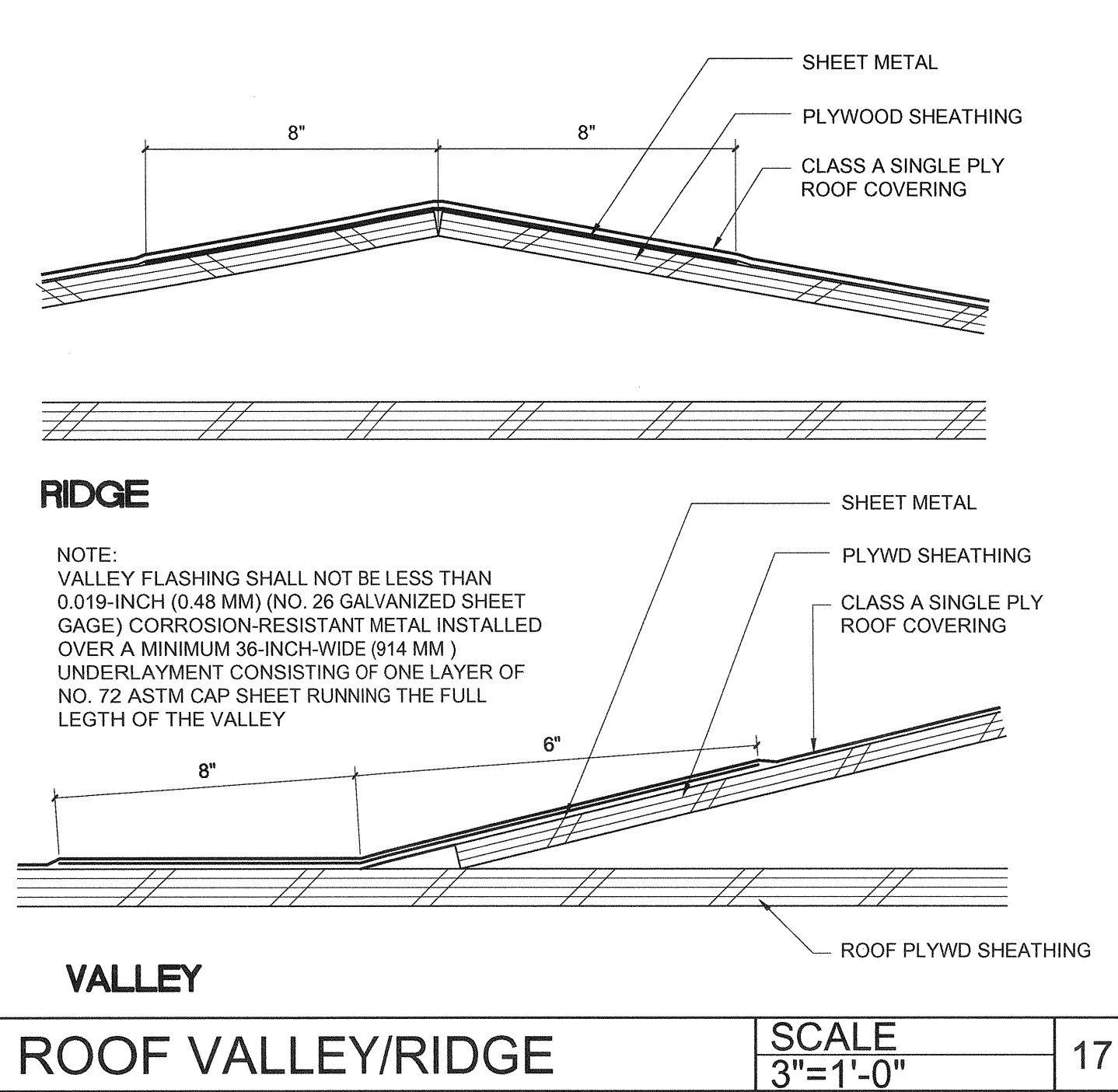
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02/03/2016	ISSUED FOR PERMITTING	02/03/2016	ISSUED FOR PERMITTING
02/03/2016	ISSUED FOR PERMITTING	02/03/2016	ISSUED FOR PERMITTING



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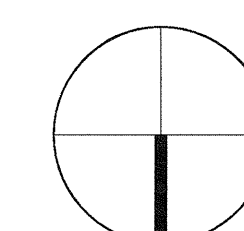


KEYNOTES

- NEW CLASS A FIRE RETARDANT ROOF COVERING, SEE SHEET A0.5 #4 AND A0.6 #2
- REPLACE EXISTING ASPHALT SHINGLES WITH NEW ASPHALT SHINGLES ROOFING, SEE SHEET A0.5 #4 AND A0.6 #2
- NEW METAL GUTTER
ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (705A.4)
- NEW WOOD TRELLIS, CONSTRUCTED OF HEAVY TIMBER OR NON COMBUSTIBLE MATERIALS, MINIMUM OF 4 INCHES SPACING BETWEEN MEMBERS
- DOWNSPOUT AT EXISTING ROOF DRAINS TO STREET.
- NEW DOWNSPOUT DRAINS AT PLANTER BOX.
- EXISTING ROOF SCUPPER DRAINS TO STREET.

GENERAL NOTES ROOF PLAN

- (ROOF) (ATTIC) (EXTERIOR WALL) VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4-INCH (6 MM) OPENINGS OR ITS EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES (705A.1, 705A.2, 705A.3, 7207.3)
- EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE (707A.5.5)
- THE SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS AND BE FIRE STOPPED PER 705A.2.
- NO TRELLIS IS PERMITTED WITHIN 10 FEET OF THE PRIMARY STRUCTURE.
- TRELLIS MORE THAN 10 FEET FROM THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER OR NON COMBUSTIBLE MATERIALS. MINIMUM OF 4 INCHES SPACING IS REQUIRED BETWEEN THE MEMBERS. (INFORMATION BULLETIN NO. PIBC 2008-023)



SCALE
1/4"=1'-0"

8

ROOF PLAN

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ROOF PLAN

DATE	ISSUE SET	DATE	ISSUE SET
03/03/2016	ISSUED FOR PERMITTING		
03/03/2016	ISSUED FOR PERMITTING		
03/03/2016	ISSUED FOR PERMITTING		
03/03/2016	ISSUED FOR PERMITTING		
03/03/2016	ISSUED FOR PERMITTING		
03/03/2016	ISSUED FOR PERMITTING		
03/03/2016	ISSUED FOR PERMITTING		

READY TO ISSUE
BY MARIAN SHENKASI
MAR 08 2017

SHEET

A2.3

GENERAL ELEVATION NOTES

- 1. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R3-9.1)
- 2. PROTECTION OF WOOD AND WOOD BASE PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- 3. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6308) - SEE SHEET A0.6 #3
- 4. EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, OR LOG WALL CONSTRUCTION OR SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SFM 12.7A-1 (704A.3)
- 5. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH (50.8 MM) NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE (704A.3.1)

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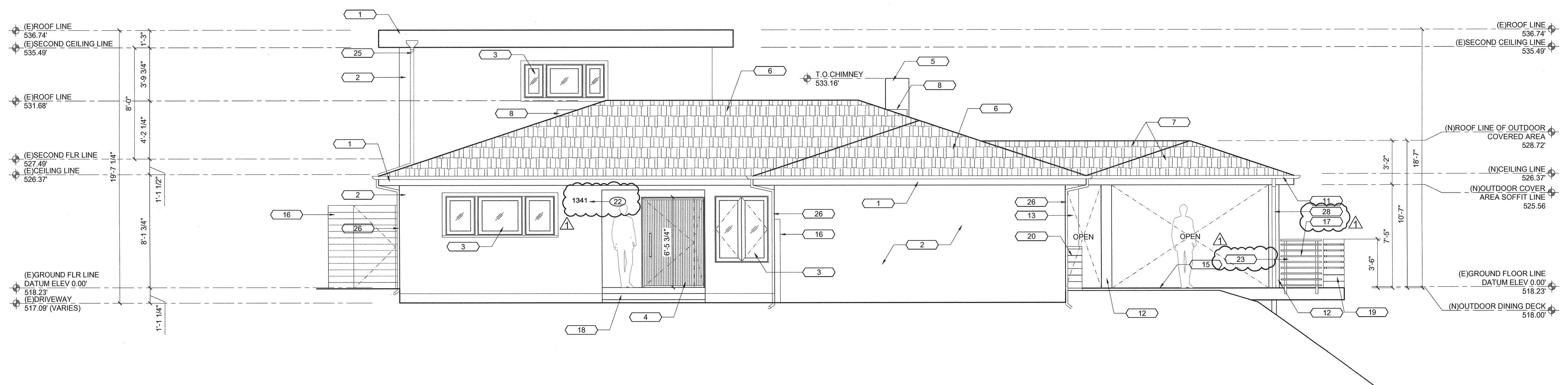
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EXTERIOR ELEVATIONS			
DATE	ISSUE SET	DATE	ISSUE SET
03/23/2016	PROJECT SET		
03/23/2016	PERMIT SET		
03/23/2016	ISSUE FOR PERMIT		
03/23/2016	PERMIT FOR LANDSCAPE		
03/23/2016	ISSUE FOR LANDSCAPE		

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BY MARIAN STENASI
MAR 08 2017

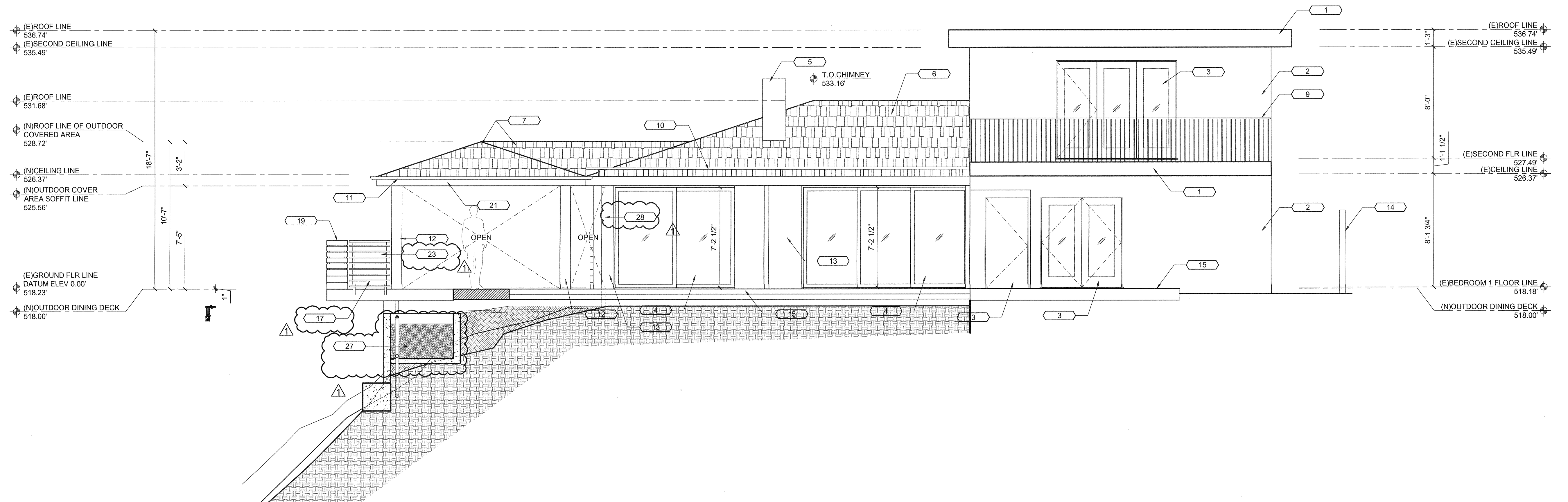
SHEET
A3.1



NORTH ELEVATION

SCALE
1/4"=1'-0"

8



SOUTH ELEVATION

SCALE
1/4"=1'-0"

8

KEYNOTES

- 1. PAINT (E) ROOF FASCIA TO REMAIN
- 2. PAINT (E) STUCCO WALL TO REMAIN
- 3. (E) WINDOW/DOOR TO REMAIN
- 4. (N) DOOR/WINDOW SEE DOOR AND WINDOW SCHEDULE ON SHEET A7.1
- 5. (E) CHIMNEY TO REMAIN
- 6. REPLACE (E) ASPHALT SHINGLE ROOF
- 7. (N) ASPHALT SHINGLE ROOF TO MATCH EXISTING SEE SPEC ON SHEET A0.7
- 8. (E) DORMER ROOF VENT
- 9. (E) 42" HIGH GUARDRAIL
- 10. REPLACE EXISTING WOOD TRELLIS
- 11. (N) GUTTER
- 12. (N) WOOD CLAD COLUMN
- 13. (N) STUCCO WALL - MATCH (E) STUCCO FINISH
- 14. (E) 6'-0" FENCE TO REMAIN
- 15. (N) WOOD FINISHED DECK
- 16. (N) 6'-0" WOOD FENCE & GATE
- 17. (N) 42" HIGH GUARDRAIL WITH MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS
- 18. (N) STONE FINISH STEPS & LANDING
- 19. (N) 5'-6" HIGH WOOD PLANTER/GUARDRAIL, WOOD PLANKS WITH MAX. 1" GAP WHERE OCCURS
- 20. (N) WOOD CLAD ENCLOSURE
- 21. (N) PAINTED FASCIA BOARD
- 22. APPROVED ADDRESS NUMBER-MIN. 4 INCHES HIGH, MIN 1/2" STROKE, ARABIC NUMBER OR ALPHABETIC LETTER IN CONTRAST WITH BACKGROUND.
- 23. 4" SPHERE (LESS THAN 4" CLR SPACING)
- 24. 6" SPHERE (LESS THAN 6" CLR SPACE)
- 25. EXISTING SCUPPER, DOWNSPOUT AND LEADER TO REMAIN; DRAIN TO STREET
- 26. NEW DOWNSPOUT, DRAIN TO STREET.
- 27. NEW 61 SOFT PLANTER BOX, SEE SHEET LID-1 FOR MORE INFORMATION.
- 28. NEW DOWNSPOUT, DRAIN TO PLANTER BOX.

STORMWATER MITIGATION
LOW IMPACT DEVELOPMENT (LID)
APPROVED WITH CONDITIONS

This set of plans and specifications must be at jobsite during construction.

Stormwater Observation Report (SOR) is required prior to issuance of Certificate of Occupancy or final sign off.

Total Pages: 6

By: *Mark Lopez* Date: 1-30-17
Department of Public Works-Bureau of Sanitation
Watershed Protection Division