

OWNER

1124 Las Pulgas, LLC
4751 Wilshire Blvd #207
Los Angeles, CA 90010
Contact: Rob Lekstrom
rob@knightestates.com

CONSULTANTS

Designer: Miguel rueda design
Civil Engineer: Omar Braish P.E.
92 Capricorn
Irvine, CA 92618
Tel. (818) 359-3542
Los Angeles, CA
Contact: Miguel Rueda
Tel. (310) 626-3542

Project Manager: design build group la
1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Contact: Jason Massaband
Tel. (310) 441-1450

Structural Engineer: Berkoz & Associates
5530 Corbin Ave Suite #229
Tarzana, CA 91356
Contact: Naci Berkoz
Tel. (818) 668-8589

Civil Engineer: Omar Braish P.E.
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Soils Engineer: Schick Geotechnical Inc
7650 Haskell Ave Suite #D
Van Nuys, CA 91406
Contact: Wayne Schick
Tel. (818) 805-8011

Energy Title 24: Creative Design Consulting Engineers, Inc
336 N. Central Ave Suite #10B
Glendale, CA 91203
Contact: Vazgen Ohanian
Tel. (818) 507-7522

SITE INFORMATION

Scope of Work:----- New Basement & Remodel & Addition to Existing 1-Story SFD

Site Address:----- 1124 N Las Pulgas Rd
Los Angeles, CA 90272

Accessor PN:----- 4420009007
Tract:----- TR 19890

Block:----- None
Lot:----- 56

Zone:----- RE11-1

Hillside:----- Yes
Historic:----- No

Landslide:----- Yes
Liquefaction:----- No

Methane:----- No
Special Grading:----- Yes

Occupancy:----- R3
Lot Size:----- 11,364.66 sf

Number of Stories:----- 1-Story
Type of Construction:----- Type V - B

BUILDING INFORMATION

| FLOOR AREA BHO Zoning | | | | | |
|-----------------------|-------------------|-------------------|-------------------|-------------------|-------------------|
| | EXISTING | REMOVE | NEW | EXEMPT | TOTAL |
| 1st Floor | 1,884.1 sf | 0 sf | 1,482.9 sf | 0 sf | 3,367.0 sf |
| 1st Floor Garage | 401.9 sf | - 401.9 sf | 0 sf | 0 sf | 0 sf |
| Covered Patio | 0 sf | 0 sf | 174.4 sf | 0 sf | 174.4 sf |
| Basement | 0 sf | 0 sf | 200.4 sf | - 200.4 sf | 0 sf |
| Basement Garage | 0 sf | 0 sf | 383.5 sf | - 383.5 sf | 0 sf |
| TOTAL | 2,286.0 sf | - 401.9 sf | 2,241.2 sf | - 583.9 sf | 3,541.4 sf |

3,541.4 sf < 4,047 sf (max)

| FLOOR AREA Building Code | | | | | |
|--------------------------|-------------------|-------------------|-------------------|-------------------|--|
| | EXISTING | REMOVE | NEW | TOTAL | |
| 1st Floor | 1,884.1 sf | 0 sf | 1,482.9 sf | 3,367.0 sf | |
| 1st Floor Garage | 401.9 sf | - 401.9 sf | 0 sf | 0 sf | |
| Basement | 0 sf | 0 sf | 200.4 sf | 200.4 sf | |
| Basement Garage | 0 sf | 0 sf | 383.5 sf | 383.5 sf | |
| TOTAL | 2,286.0 sf | - 401.9 sf | 2,066.8 sf | 3,950.9 sf | |

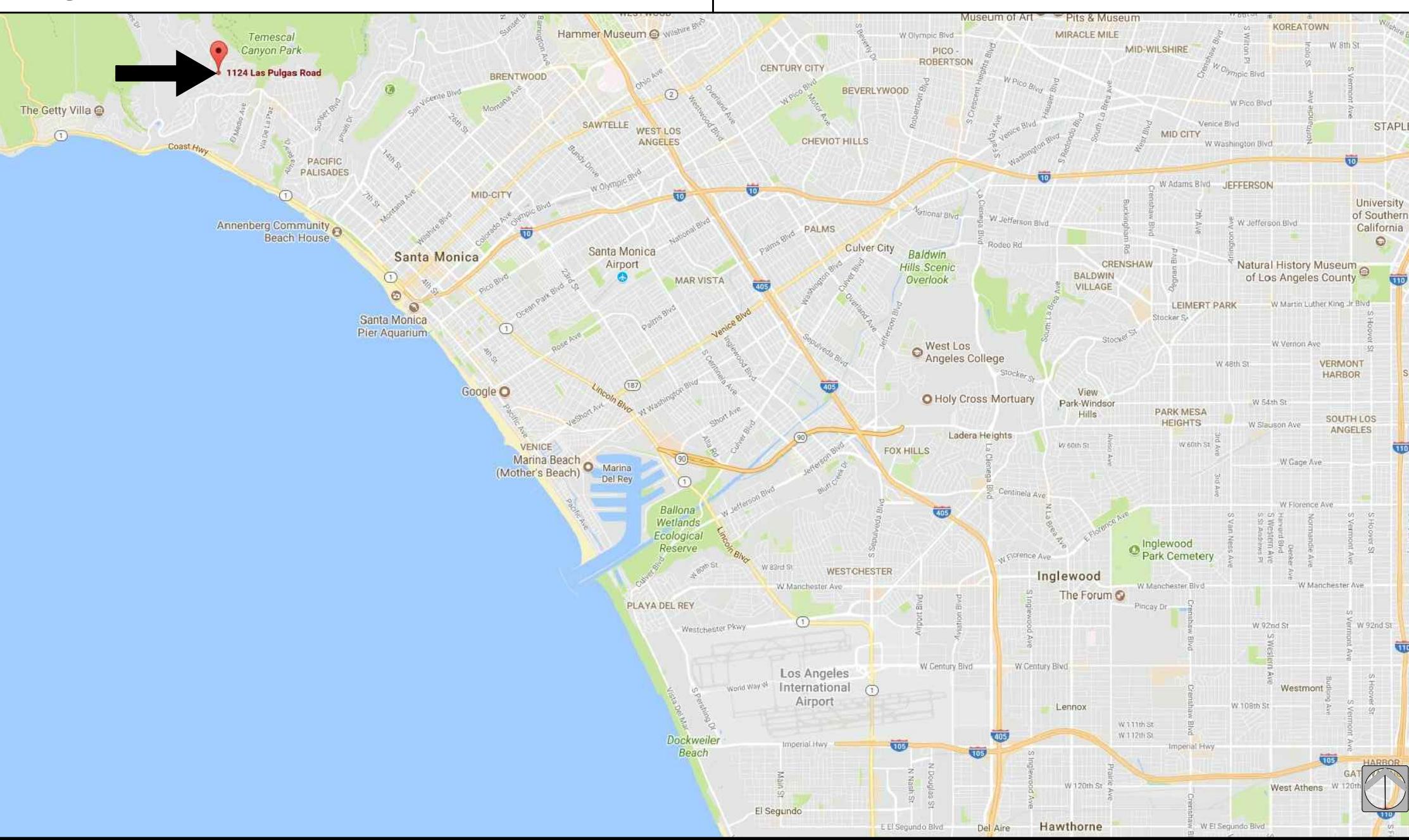
BUILDING CODES

2016 CBC ARCHITECTURAL
2016 CBC STRUCTURAL
2016 CPC PLUMBING
2016 CEC ELECTRICAL
2016 CMC MECHANICAL
2016 CGBC GREEN
2016 CALIFORNIA ENERGY CODE

UNDER SEPERATE PERMIT

1. MECHANICAL
2. PLUMBING
3. ELECTRICAL
4. FIRE SPRINKLER

VICINITY MAP



DRAWING INDEX

| NO. | SHEET NO. | DRAWING TITLE |
|---------------|------------|-----------------------------------|
| ARCHITECTURAL | | |
| 1 | Sht. ----- | Cover Sheet 1 |
| 2 | Sht. ----- | Survey |
| 3 | Sht. A-1.0 | Site Plan |
| 4 | Sht. A-2.0 | Existing/Demo Floor & Roof Plan |
| 5 | Sht. A-2.1 | Zoning Demo Calculation |
| 6 | Sht. A-2.2 | New First Floor Plan |
| 7 | Sht. A-2.3 | New Basement Plan |
| 8 | Sht. A-2.3 | New Roof Plan |
| 9 | Sht. A-3.0 | Existing North & South Elevations |
| 10 | Sht. A-3.1 | Existing East & West Elevations |
| 11 | Sht. A-4.0 | New North & South Elevations |
| 12 | Sht. A-4.1 | New East & West Elevations |
| 13 | Sht. A-5.0 | Sections A-A & B-B |
| 14 | Sht. A-5.1 | Sections C-C & D-D |
| 15 | Sht. A-5.2 | Sections E-E & F-F |

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DRAWING HISTORY

| NO. | DATE | TITLE |
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| 1 | 8/2017 | PHOA SUBMITTAL SET |
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Owner:
1124 Las Pulgas, LLC
4751 Wilshire Blvd, #207
Los Angeles, CA 90010

Stamp:

Job Address:
1124 Las Pulgas Place
Pacific Palisades, CA 90272

REV. DESCRIPTION DATE DWN CHKD APPD

Designer: **DBG:LA**

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1736 Westwood Blvd Suite #201
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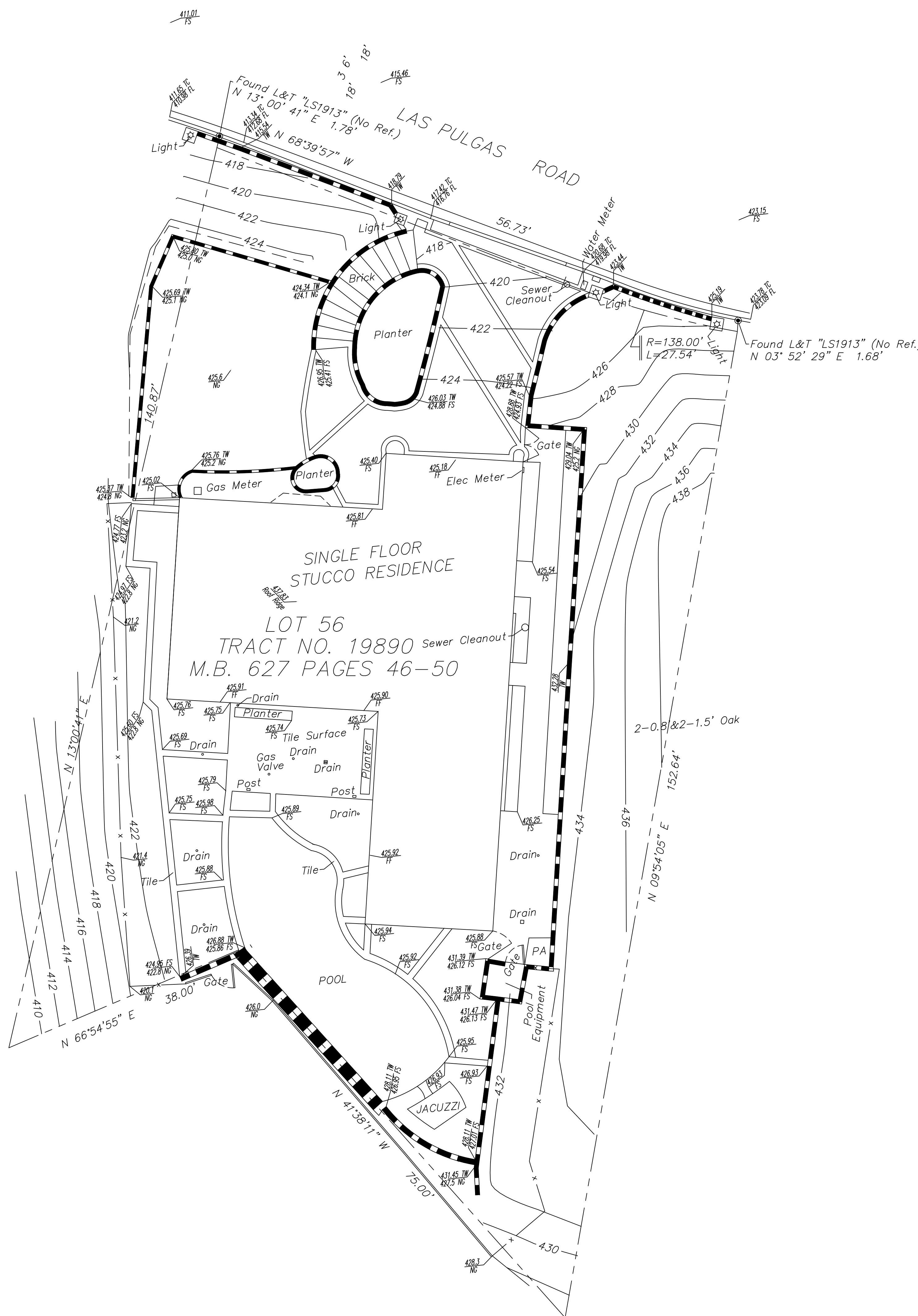
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Title: **COVER SHEET**

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PROJECT NUMBER: SCALE: ORIG. DWG SIZE: A-D REV:

Sht.



GRAPHIC SCALE

LEGEND

FF FINISHED FLOOR
FL FLOW LINE
FS FINISHED SURFACE
NG NATURAL GROUND
TC TOP OF CURB
TG TOP OF GRATE
TW TOP OF WALL

CHAINLINK/METAL FENCE

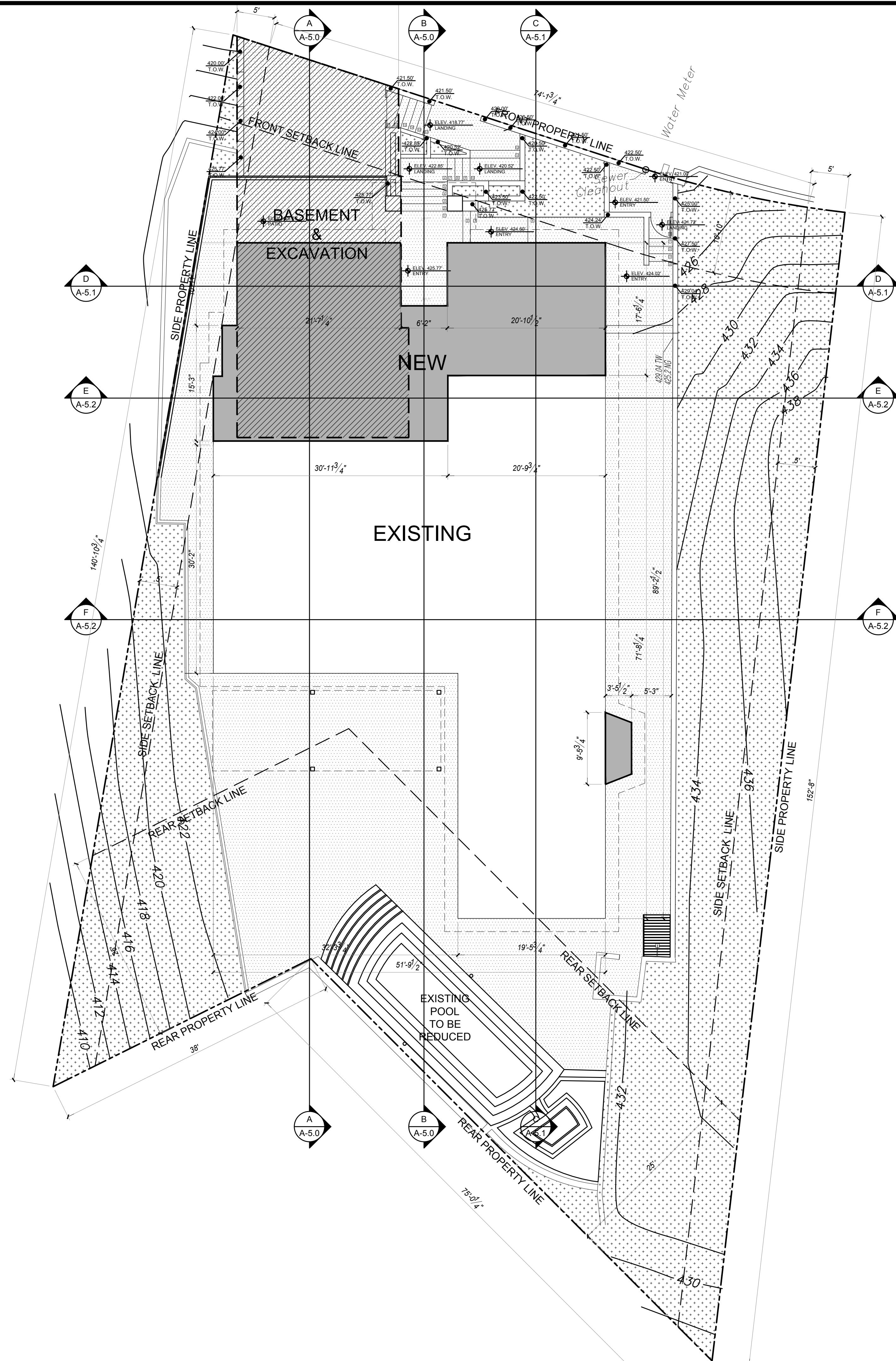
HARDSCAPE SURFACE (CONCRETE, BRICK, TILE...)

CONCRETE WALL

NATURAL SURFACE SS PLANTS GRAVEL DIRT

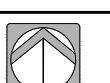
SPOT ELEVATION

TRACE



NEW SITE PLAN

Scale 1/8" = 1'-0" NORTH



A-1.0

DRAWING HISTORY

| D. | DATE | TITLE |
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| | 8/2017 | PHOA SUBMITTAL SET |
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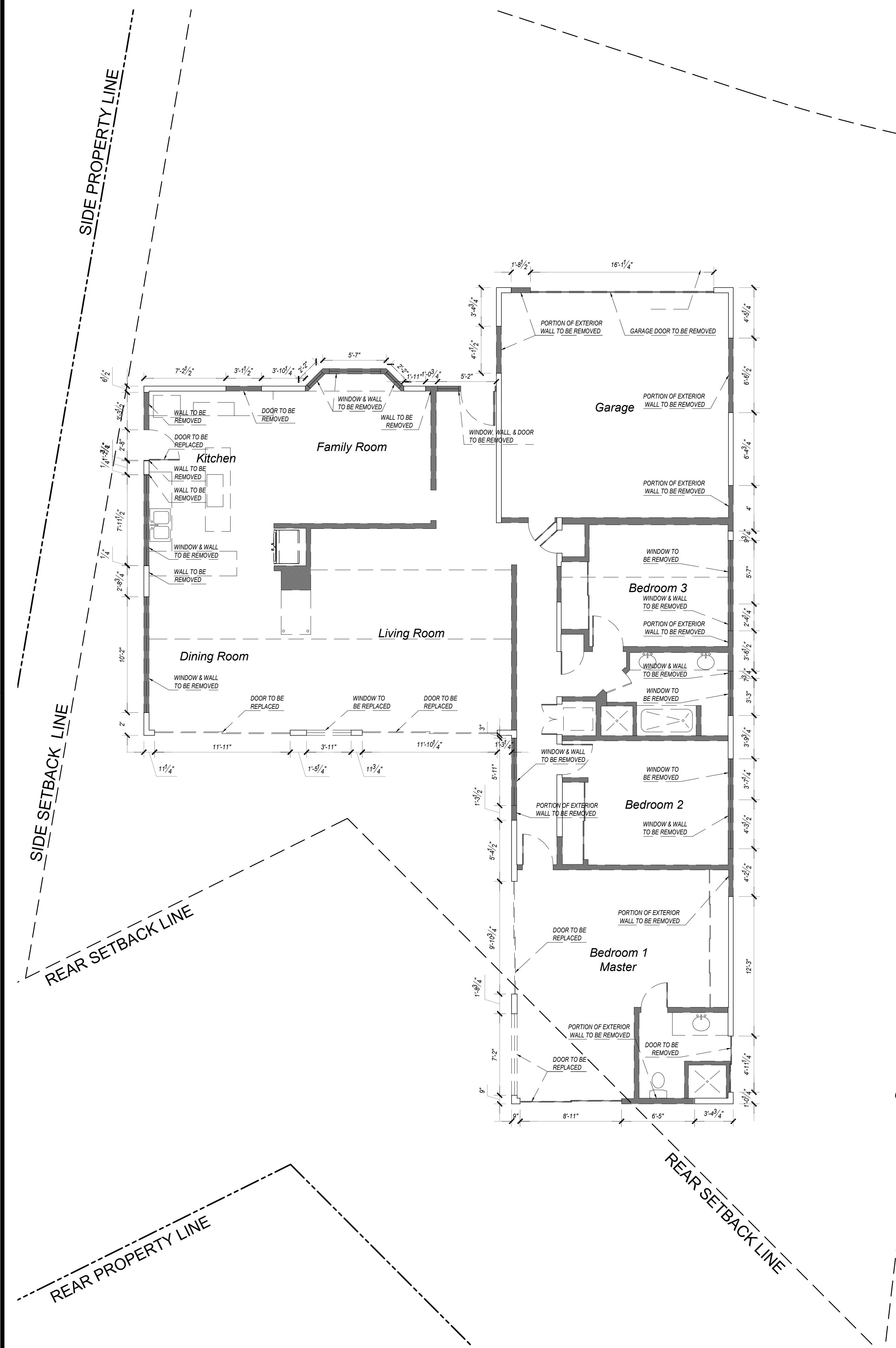
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NEW SITE PLAN

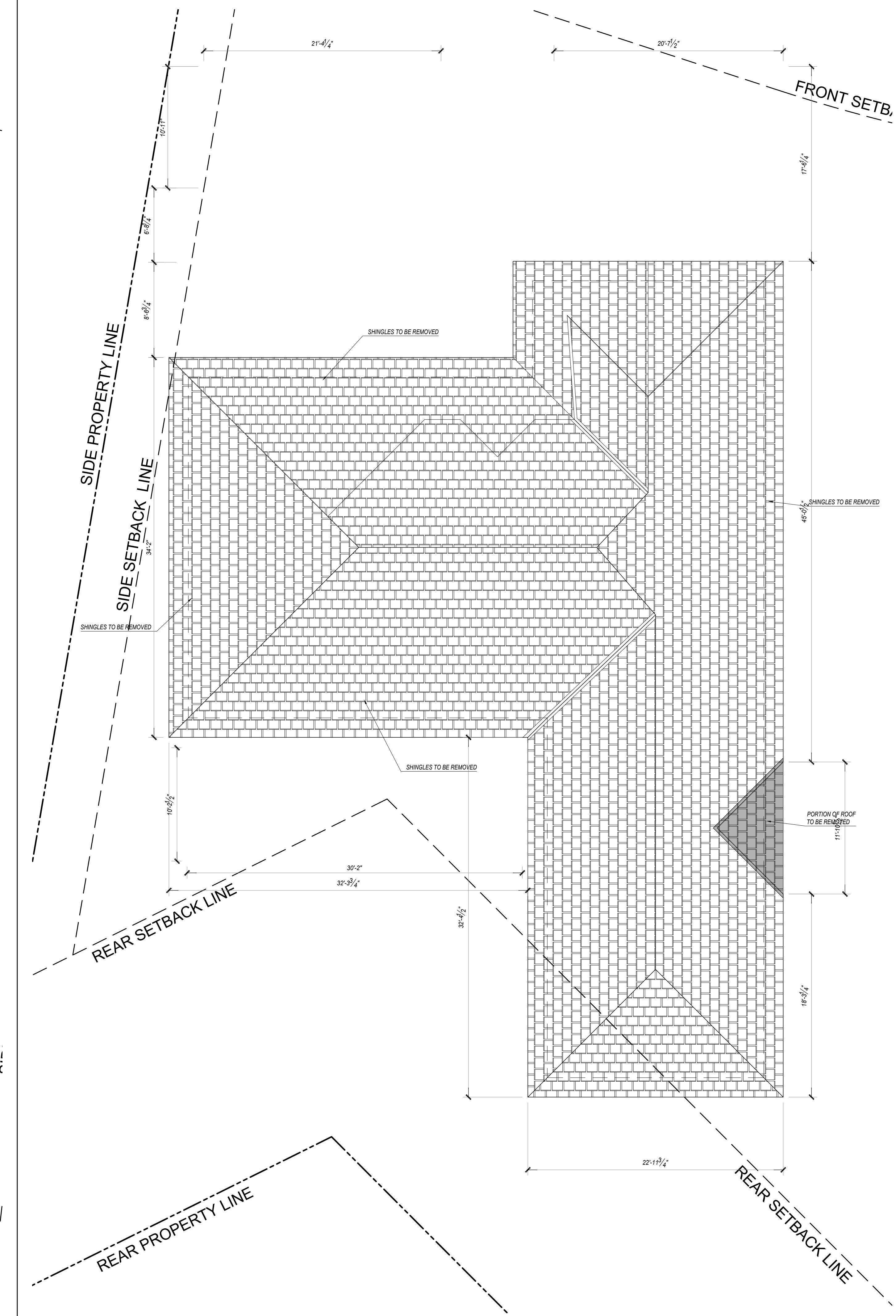
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| JECT NUMBER: | SCALE: | ORIG. DWG SIZE: A-D | REV. |
| | 1/8" = 1'-0" | | |

A-1.0



EXISTING/DEMOLITION FLOOR PLAN

Scale 3/16" = 1'-0" NORTH



EXISTING/DEMO ROOF PLAN

Scale 3/16" = 1'-0" NORTH

| DRAWING HISTORY | | |
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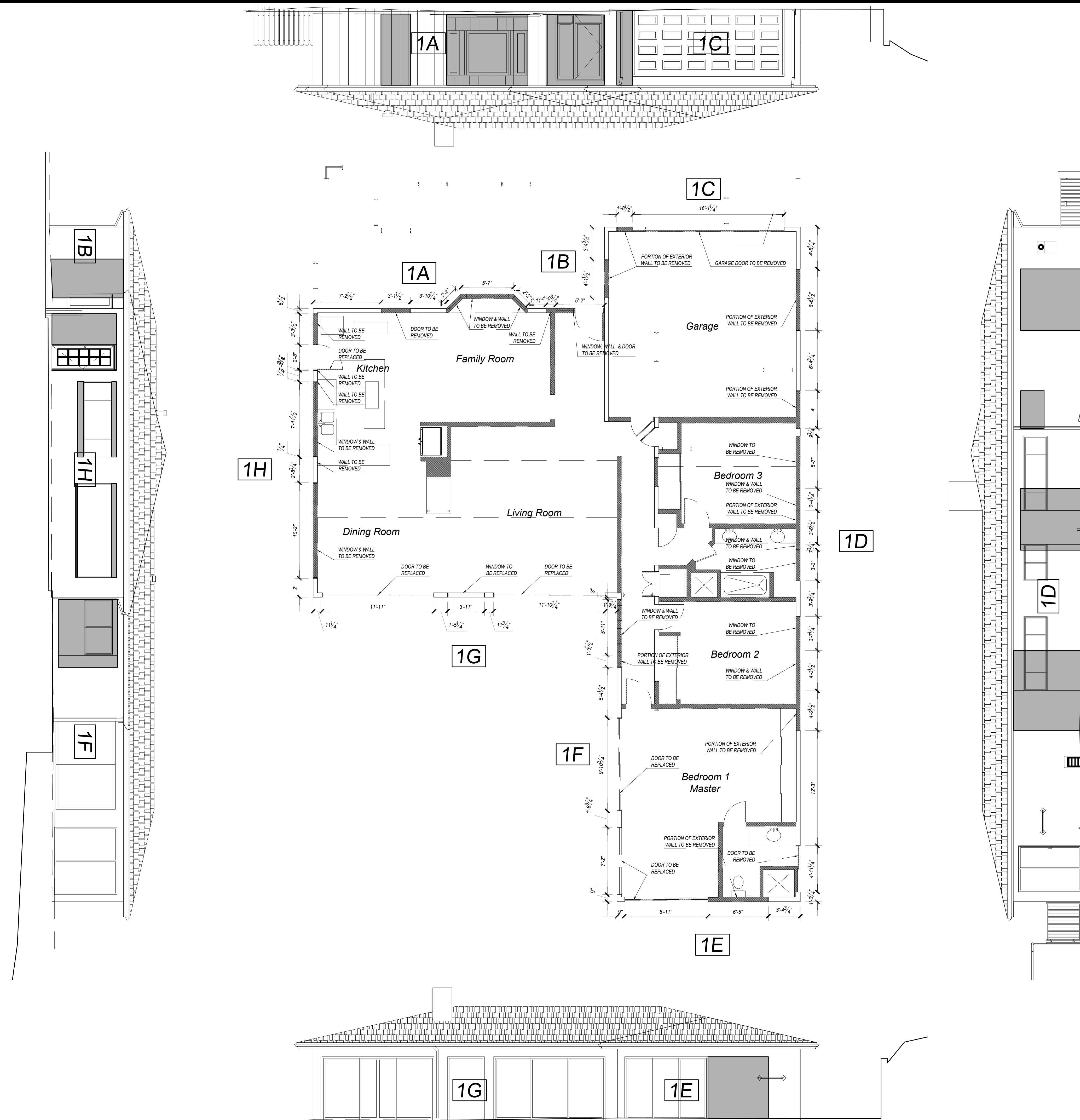
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EXISTING/DEMO FLOOR & ROOF PLAN

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$\frac{3}{16}$ " = 1'-0"

FOR BINDING



| ZONING DEMO CALCULATION BREAKDOWN | | |
|--------------------------------------|---------------|-----------------|
| ELEVATION | SF MODIFIED | SF |
| 1A | 135 SF | 233 SF |
| 1B | 31 SF | 66 SF |
| 1C | 13 SF | 167 SF |
| 1D | 161 SF | 534 SF |
| 1E | 42 SF | 143 SF |
| 1F | 45 SF | 241 SF |
| 1G | 0 SF | 244 SF |
| 1H | 40 SF | 234 SF |
| ROOF | 21 SF | 2,399 SF |
| TOTAL | 488 SF | 4,461 SF |

| ZONING DEMO TOTAL | | |
|----------------------|--------------|------------|
| TOTAL | 488 4,461 | .11 11% |

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Title: ZONING DEMO CALCULATION

THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY
PROJECT NUMBER: SCALE: ORIG. DWG SIZE: A-D REV:
3/16" = 1'-0"

KEY NOTES

- 18" x 24" min. access opening to under floor area if any (R408.4)
- 36" x 30" roof access hatch. (SEE DETAIL 2 & 4, SHEET A-10.7)
- 20" x 30" min. access opening to attic area having a clear headroom of 30" (R807.1)
4. Pull down ladder.
5. Screened under-floor vent.
6. Under-floor access.
7. Exhaust fan capable of providing five (5) complete air changes per hour (min. 50 cfm) exhausted directly to the outside. (R303.3) (See GBC compliance sheet A-GRN.1; Exhaust fan shall be ENERGY STAR compliant with humidistat controller readily accessible).
8. Provide self-closing and self-latching device on Fire Rated door (see door schedule @ A-8.0)
9. Line of exhaust hood above: Vent to outside with remote exhaust fans. Verify venting requirements with manufacturer specifications.
10. Provide 5/8" type "X" gypsum board on all garage walls, ceiling, posts and beams supporting dwelling and shall extend from top of concrete to, and including garage ceiling. (SEE SHEET A-10.7, DETAILS #6, #7, #8)
11. Fire blocking shall be installed at: (708.2.1)
 - a.) Concealed space between stair stringers at top and bottom run.
 - b.) At openings around vents, pipes, ducts, chimneys (non-combustible materials).
 - c.) At openings between attic and chimneys chase for factory built chimneys;
12. Not used.
13. Not Used.
14. Electrical sub panel: See electrical plans.
15. Built in cabinetry.
16. Washer: Recessed hot and cold water and drain standpipe must be provided. Floor drain under washer must also be provided.
17. Dryer: The vent duct shall be 6" min., 14" max. with two 90° bends for metal duct and 6" max. for flex duct connector. Weather hood vent with damper to outside air at roof must be provided.
18. Water softener: Provide plumbing loops.
19. F.A.U. with night setback thermostat and summer fan switch: Combustion air vent and condensation line to outside air must be provided. If required, provide 20" plywood platform for unit (verify location with mechanical plans). See title 24 for size and model.
20. Gas fired hi-recovery water heater/ storage tank with circulating pump and R-5 insulation: Verify with title 24. For lateral support in the event of an earthquake, secure to wall framing with metal straps at top and bottom (Section 508.2, LAPC) Note: Provide 18" min. high wood platform with 5/8" type "X" gypsum board finish. (SEE SHEET A-DBS, P/PC 2011-003)
21. Phone panel: All lines to be home run.
22. Shower-Tub with stone / ceramic / porcelain on walls to ceiling height.
23. Shower with stone / ceramic / porcelain on walls to ceiling height: Shower pan shall be hot mopped with 4" built up dam.
24. Provide tempered glass shower enclosure. Shower door shall swing out.
25. Soap and shampoo niche.
26. Built-in whirlpool tub: Deck, skirt and splash must be provided. As required, provide wood framed platform with access to equipment. Electrical sub-contractor shall provide electrical supply and connections as required.
27. Steam shower - Mr. Steam model no. MS Super II: Enclosure shall be tempered glass with hopper window above door. (Finishing ceiling with same material as walls and slope 0.1" per 1'-0". Install steam unit per MRF, recommendations.
28. Pre-fabricated Direct Vent fireplace unit with Sealed Combustion System: Model "DXV-60" by "Mendota, UL #127. Fuel gas and loose key valve must be provided. Approved spark arrestor at chimney termination must also be provided. Provide combustion air intake as required and glass enclosures at all fireplaces. Provide approved spark arrestor at chimney termination. (See Sheet A-10.8)
29. Metal firebox with herringbone brick pattern & Selkirk metalbestos #SII flue system built in accordance with the structural plans. Provide combustion air as required. Provide fuel gas with loose key valve. Provide glass enclosures at all fireplaces. Provide approved spark arrestor at chimney termination. (SEE SHEET A-10.11)
30. Verify owner if "Instant-hot" dispenser and water filtration system shall be provided.
31. Provide purified cold water supply line to ice-maker with recessed shut off valve. Verify with manufacturer.
32. Cooking Pot filler faucet. (Location: Kitchen).
33. 1-hour fire-resistance-rated wall separating U from R-3 occupancy (per IBC T 720.1(2)).
34. 2-hour fire-resistance-rated wall separating S-2 from R-3 occupancy (per IBC T 720.1(2)). 2-hours fire-resistance-rated floor/ceiling assembly separating S-2 from R-3 occupancy (per IBC Table 720.1(3)).
35. Archway/doorway above (See elevations).
36. Decorative niche. Verify owner's requirements.
37. Provide 15" minimum between the center of water closet to any side wall and 24" clear space in front. (Per Cal.Plm.Code 407.6)
40. Provide an approved spark arrester for the chimneys of all fire places, stoves, or barbecue which uses fuel burning material. Openings not to exceed 1/2 inches. (LAMC 57.20.25) Fire code section 1109.7 and U.B.C. section 6403.5 & section 3102.3.8 U.B.C. section (max. 1/2 inch screen).
42. Wall should not include any of the following items: natural gas outlet, 220 AC outlet, double sink, bar sink exceeding one sq.ft, hot water line, refrigerator exceeding 10 cub.ft., garbage disposal, dishwasher, device designed for cooking or heating of food, total counter space exceeding 10 sq. feet. Counter finish per owner's requirements.
43. Built-in shelving, verify with owner's.
45. Provide 42" guardrails with less than 4" clear spacing between intermediate rails when the walking surface is higher than 30" above adjacent grade. (SEE DETAILS AT A-10.4)
46. Tempered Glass "T" (SEE D&W SCHEDULE AT A-8.0 AND A-8.1)
48. Elevator Requirements: Ensure that pit depth and overhead clearance is in accordance with ASME A17.1 requirements. Separate mechanical permit is required for elevator.

GENERAL FLOOR PLAN NOTES

A. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings min. 3% of the room floor area in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)

All rooms require natural ventilation by means of openable windows min. 4% of the room floor area.

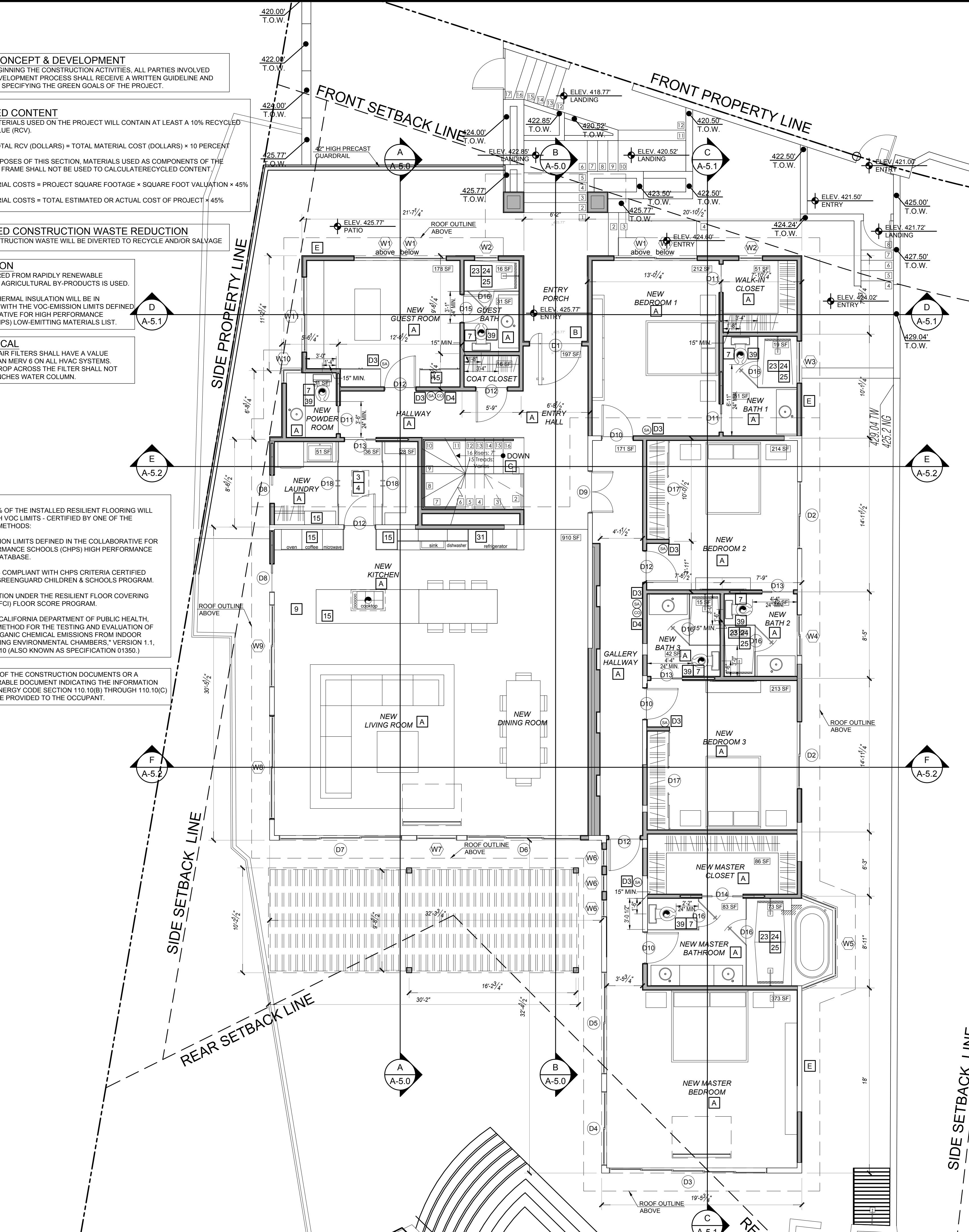
B. Entry/exit door must open over a landing not more than 1.5" below the threshold. If the door does NOT swing over the landing, landing shall not be more than 7.75" below the threshold. Landing at a door shall have a length measured in the direction of travel of no less than 36".

C. Stairways dimensions and construction:

- a. 7.75" rise & Minimum 10" run (R311.7.4) (Sheet A-10.3 (1)(2)(3))
- b. Minimum 6'-8" vertical headroom clearance at tread nosing (R311.7.2) (Sheet A-10.3)
- c. Minimum 36" clear width (R311.7.1) (Sheet A-10.3 (6)(7))
- d. Handrails 34" to 38" high above tread nosing (R311.7.1)
- e. Handrail portion of handrail shall not be less than 1.25" and no more than 2" cross-sectional dimension having a smooth surface with no sharp corners (R311.7.3)
- f. Max. 4" clear spacing opening between rails (R312.3)
- g. Provide stairway illumination. Min. 1 foot-candle at tread run (R303.6)

D. Fire Protection:

1. The building shall be equipped with an automatic residential fire sprinkler system in accordance with section R313.3 or NFPA13D. (R313, 12.2(A17(d))
2. The Sprinkler System shall be approved by Plumbing Div. prior to Installation.
3. An approved smoke alarms shall be installed in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. (R314)
4. An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarm shall be provided outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. (R315)
- E. Provide anti-Graffiti finish within the first 9 ft. measured from grade at exterior walls and doors.
- F. Upon review if structural plans may not show non-structural framing, rough carpenter to review all architectural sheets for clear understanding of work to be included in bid.
- G. Refer to reflected ceiling plans, building sections and interior elevations for furred ceilings.
- H. All exterior and interior studs shall be 2 x 6 framing or multiple rows of 2 x 6's unless otherwise noted. Spacing and specifications per structural engineer.
- I. As required by Current Building Code, draft stops must be provided. Enclosed spaces in stud wall, partitions and furred walls shall have fire stops at top and bottom and at mid-point in walls more than 10 feet high. Verify with structural plans.
- J. Insulation: Provide R-19 Min. insulation at all exterior walls, including garage. Provide R-30 min. insulation in attic spaces. Refer to title 24 for additional requirements. Provide R-19 insulation at all interior walls and R-30 insulation between floors for sound control. Insulate around plumbing pipes.
- K. Attic ventilation equal to 1/150 s.f. of attic area is required. (R806.2)
- L. Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48mm) sheet steel and shall have no openings into the garage. 406.14
- M. Garage floor surface shall be of noncombustible materials or asphalt paving materials. Garage walls and garage ceiling shall be 1-HR. Fire Rated.
- N. Building shall be fully sprinkled in accordance with Sec.R313.3 or NFPA 13D. Sprinkler System shall be automatic residential type and approved by Plumbing Division prior to installation.
- O. Draft stop shall be provided in a concealed floor-ceiling assembly formed of combustible construction, unless the building is sprinkled with NFPA 13 sprinkler system (1000 sf from draft stops) (717.3.2 & 3).
- P. A corrosion resistant weep screed is required below the stucco minimum of 4" above earth or 2" above paved area 91.2506.05 (SEE DETAIL 6 & 8 SHEET A-10.5)
- Q. Provide damp-proofing for all structures below grade that enclose usable space and shall be installed with materials as required in Section R406.1 Use Versaflex VF-380 by "Versaflex, Inc." LARR #25836-T for concrete and masonry walls. Elasto-Deck B.T. by "Elastomeric Roofing System, Inc." RR# 24350 for footing and under slab.
- S. Clay roof tiles by "Redland Clay Tile". LARR #25124.
- T. All flat roofs, decks, balconies shall slope a minimum of 2% toward drains. 1506.1 & 1611
- U. Provide a class A, fire-retardant flat roof and deck covering per Section R90.2.1 Use Elasto Fiberdeck 100 by "AVM Industries, LLC" Class "A" fire retardant walking deck and roof covering. LARR #25430. (See Sheet A-RR.1)
- V. 20 minutes Fire Rated Door (Solid core tight fitting), Self-Closing and Self-Latching Device. TGP Door Assembly by "Technical Glass Products". RR# 25798 (See sheet A-RR.1)
- W. 90 minutes Fire Rated Door (Solid core tight fitting), Self-Closing and Self-Latching Device. TGP Door Assembly by "Technical Glass Products". RR# 25798 (See sheet A-RR.1)
- X. Round tubular skylights by "SOLATUBE International", LARR #25251 (See sheet A-10.9) Custom shape skylights by "Velux America, Inc", LARR #25885. Skylight and sloped glass glazing shall comply with Section R308.6. (See Sheet A-N.04)
- Y. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (704A.3.1). Comply w/ VHFHZ requirements.
- Z. Based on City maps, this project is located within Very High Fire Hazard Severity Zone (VHFHZ). It shall Comply with requirements of Materials, systems & construction methods of Chapter 7A and Chapter 72. Read VHFHZ Supplemental Notes on sheet A-N02.



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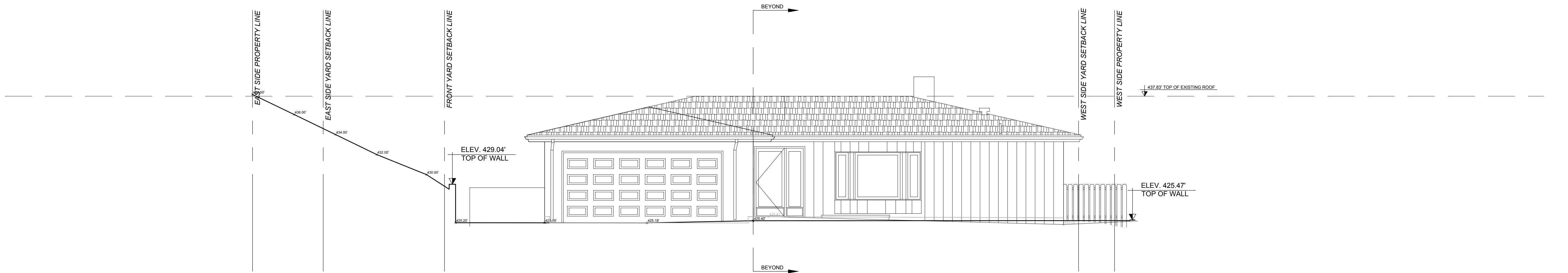
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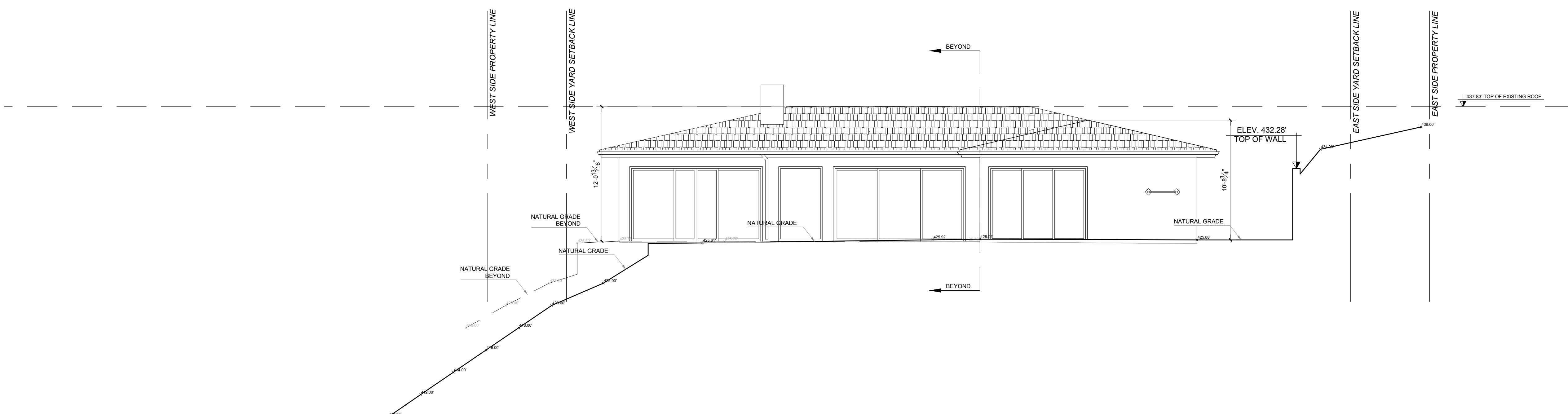
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| PROJECT NUMBER: | SCALE: | | ORIG. DWG SIZE: A-D | RE | |
| | $3/16"$ = 1'-0" | | | | |

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| Sht. | A-2.4 |
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EXISTING NORTH ELEVATION

Scale 3/16" = 1'-0"



EXISTING SOUTH ELEVATION

Scale 3/16" = 1'-0"

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DESIGN BUILD GROUP LOS ANGELES

36 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

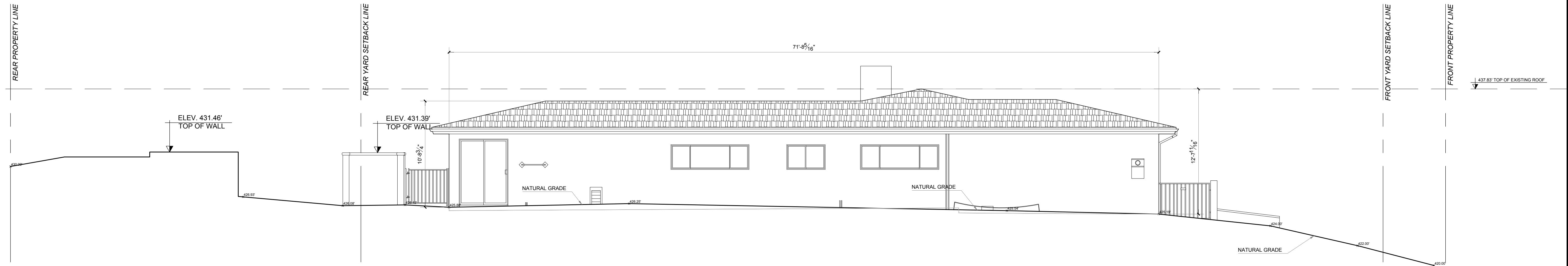
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EXISTING NORTH & SOUTH ELEVATIONS

THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY

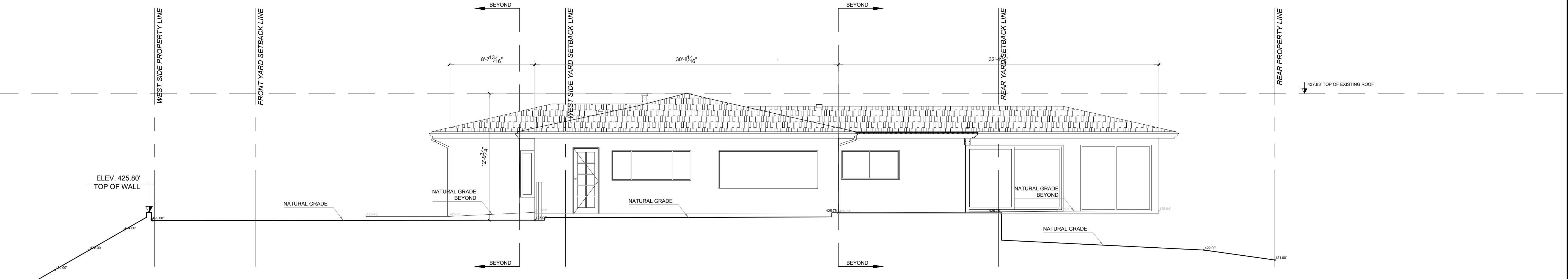
| | | | |
|--------------|---------------|---------------------|------|
| JECT NUMBER: | SCALE: | ORIG. DWG SIZE: A-D | REV. |
| | 3/16" = 1'-0" | | |

A-3.0



EXISTING EAST ELEVATION

Scale 3/16" = 1'-0"



EXISTING WEST ELEVATION

Scale 3/16" = 1'-0"

| DRAWING HISTORY | | |
|-----------------|--------|--------------------|
| | DATE | TITLE |
| | 8/2017 | PHOA SUBMITTAL SET |
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| <p>124 Las Pulgas, LLC 751 Wilshire Blvd, #207 Los Angeles, CA 90010</p> | <p>Stamp:</p> |
|--------------------------------------------------------------------------------------------|----------------------|

Address:
124 Las Pulgas Place
Pacific Palisades, CA 90272

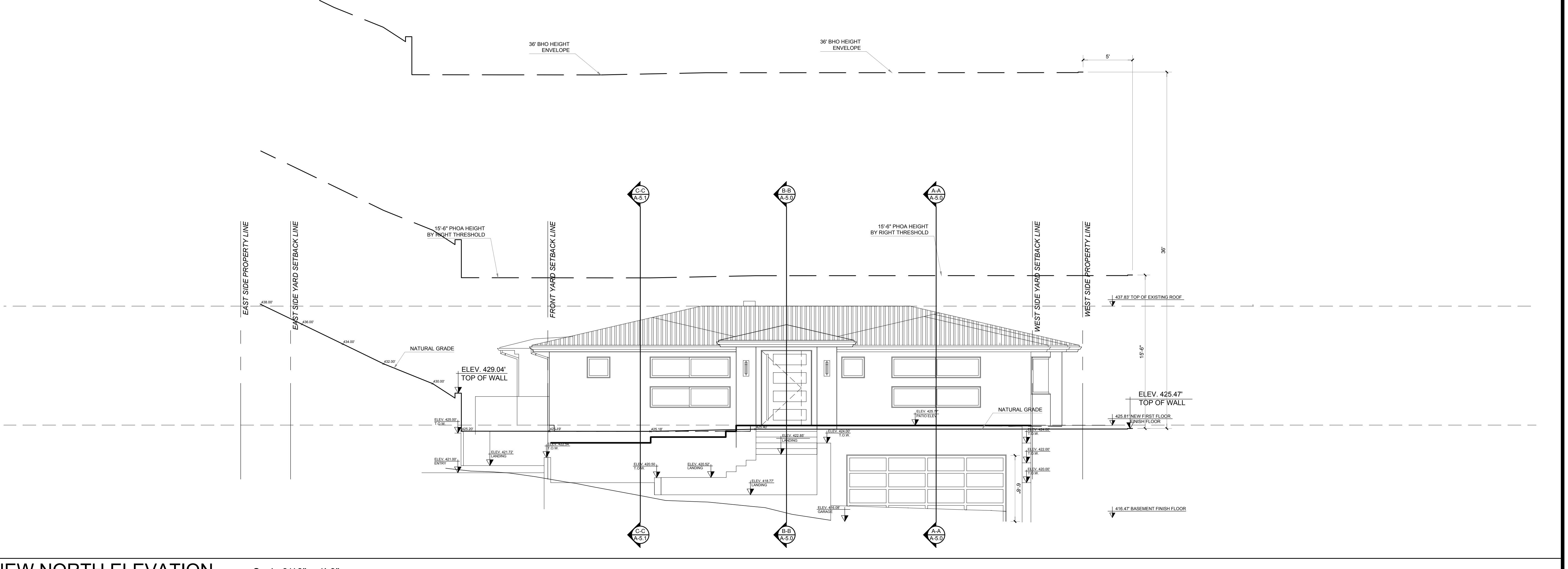
DBG:LA

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Los Angeles, CA 90024
310-441-1450 Fax: 310-441-1487

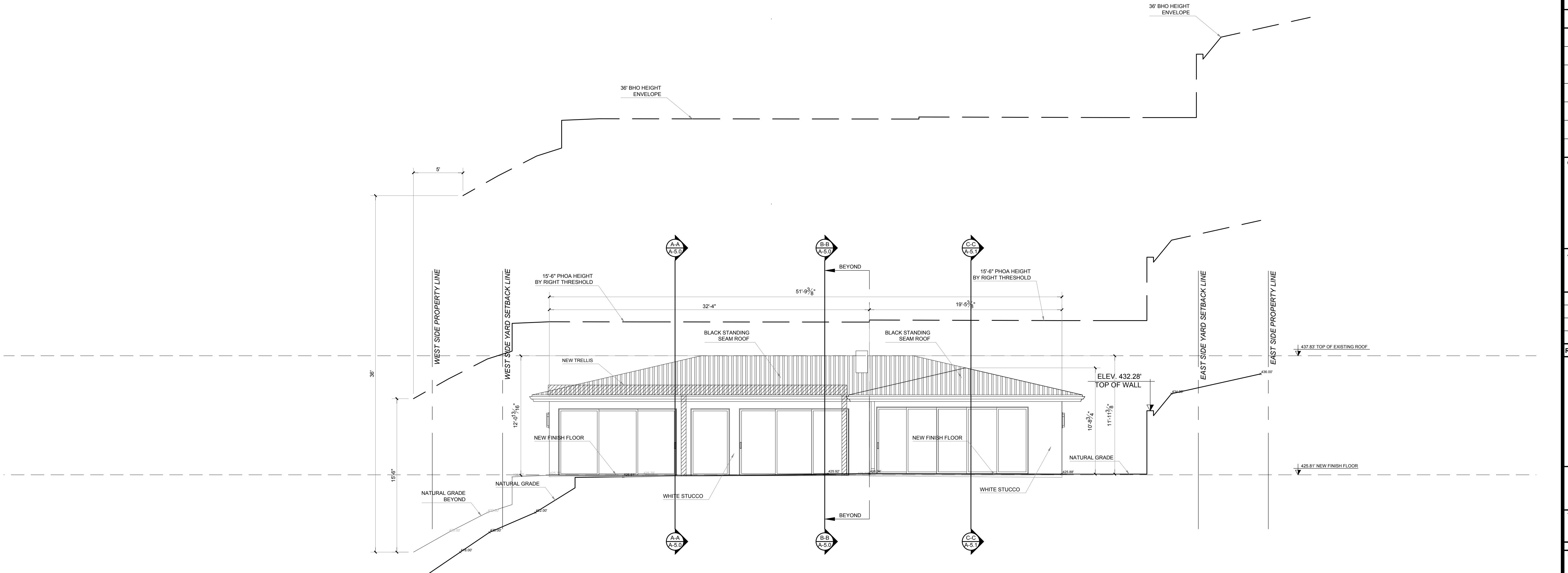
EXISTING EAST & WEST ELEVATIONS

A-3.1



NEW NORTH ELEVATION

Scale 3/16" = 1'-0"



NEW SOUTH ELEVATION

Scale 3/16" = 1'-0"

24 Las Pulgas, LLC
51 Wilshire Blvd, #207
Los Angeles, CA 90010

dress:
24 Las Pulgas Place
acific Palisades, CA 90272

| DESCRIPTION | DATE | DWN |
|-------------|------|-----|
| er: | | |

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Angeles, CA 90024
310-441-1450 Fax: 310-441-1487

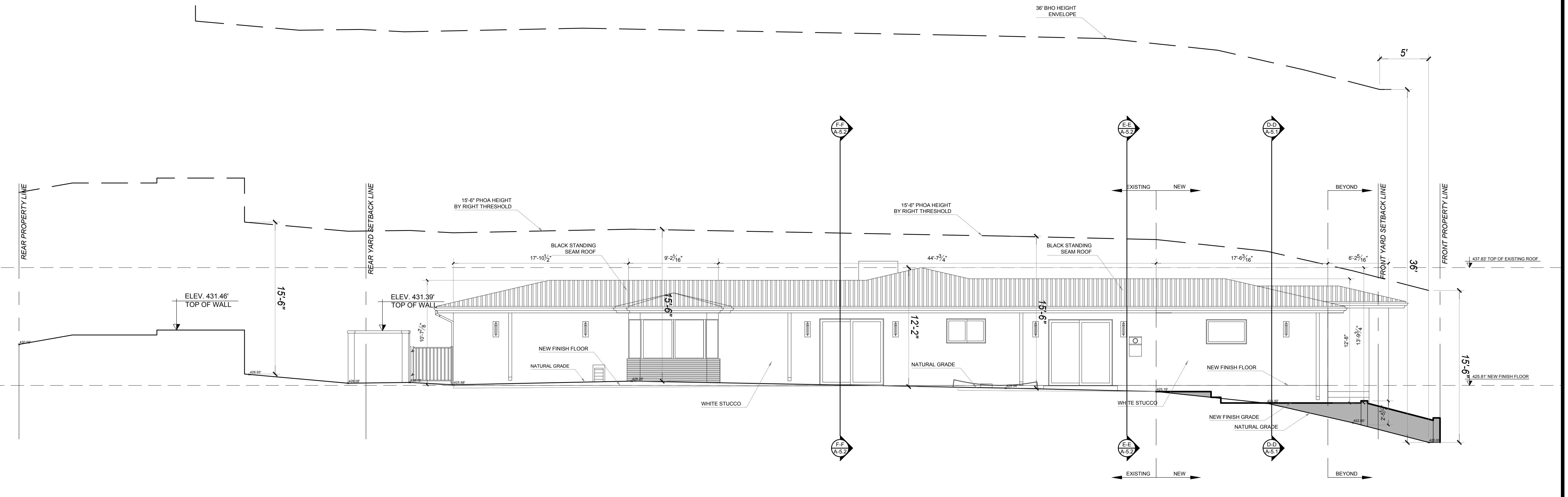
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NEW NORTH & SOUTH ELEVATIONS

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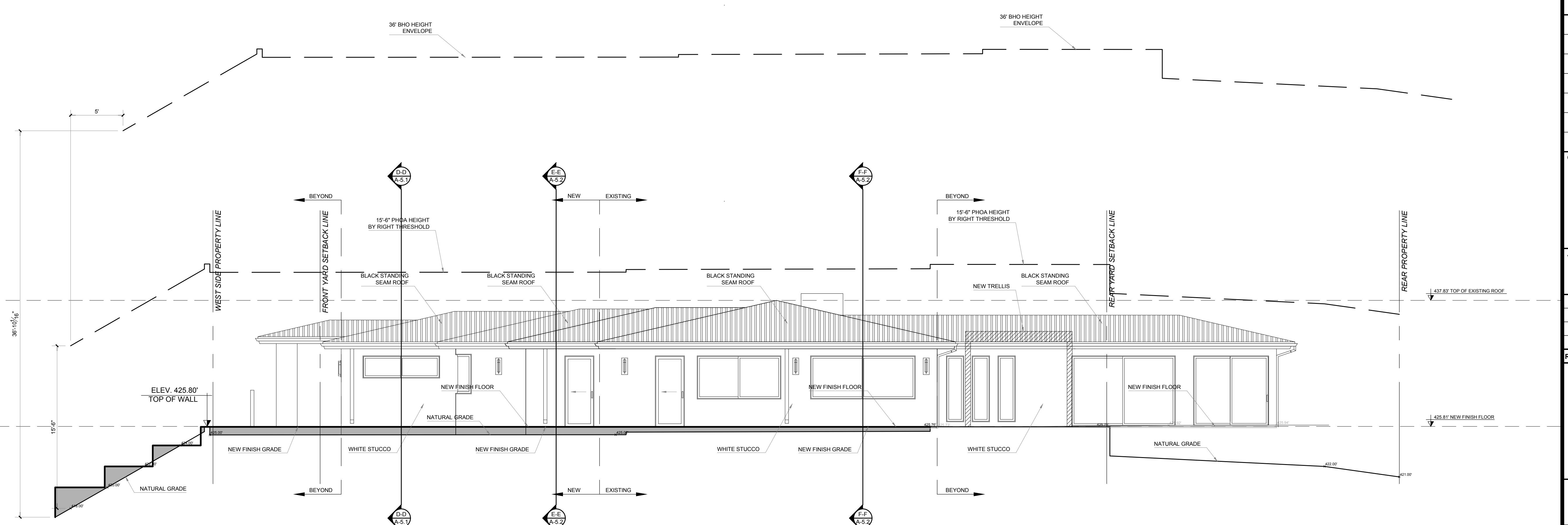
$$\frac{3}{16}'' = 1'-0''$$

A-4.0



NEW EAST ELEVATION

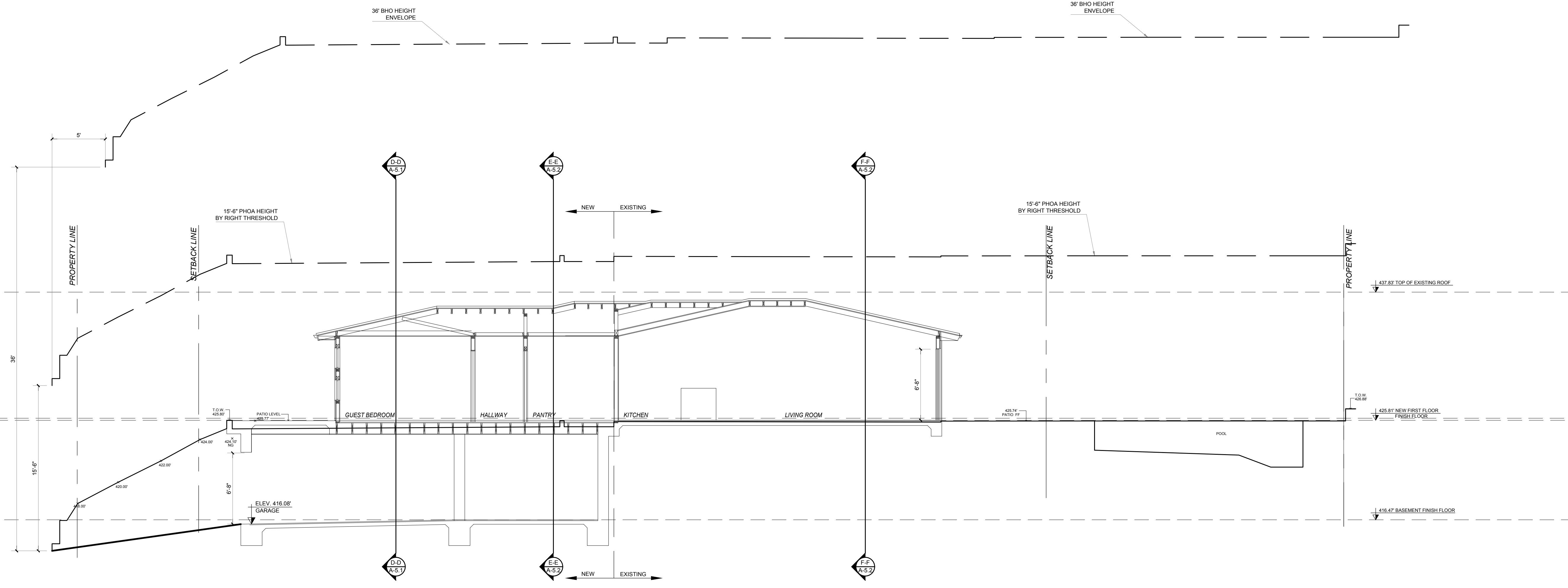
Scale 3/16" = 1'-0"



NEW WEST ELEVATION

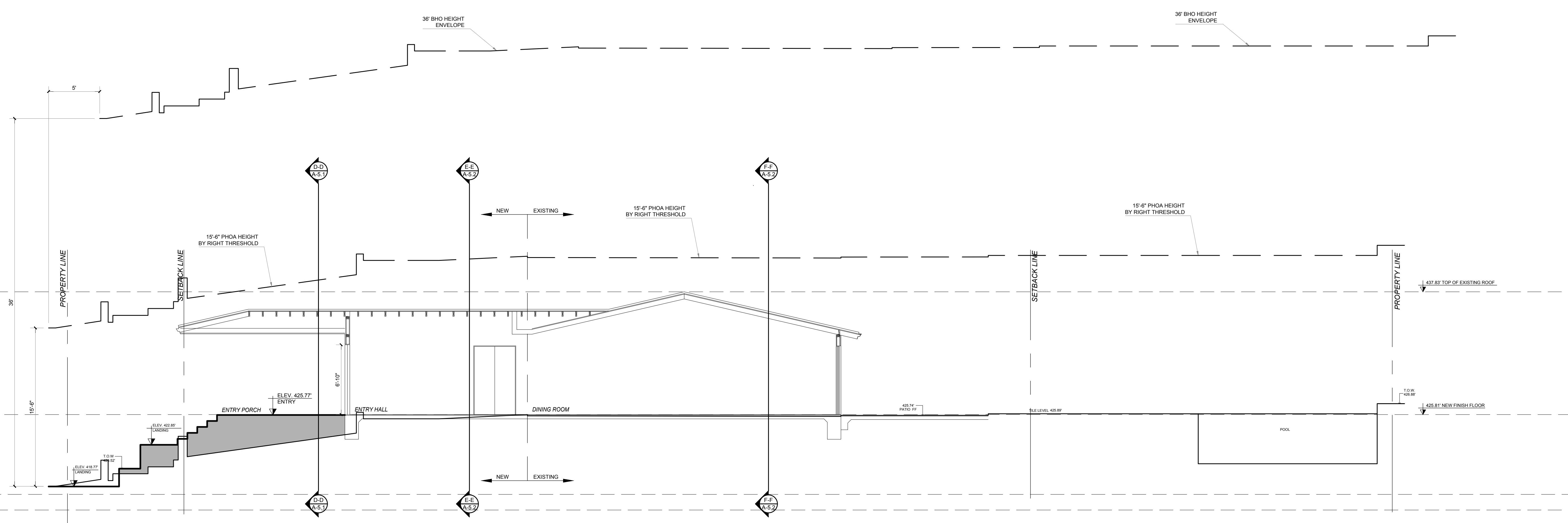
Scale 3/16" = 1'-0"

| DRAWING HISTORY | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|--------------------|
| NO. | DATE | TITLE |
| 1 | 8/2017 | PHOA SUBMITTAL SET |
| | | |
| Owner: 1124 Las Pulgas, LLC 4751 Wilshire Blvd, #207 Los Angeles, CA 90010 | | |
| Stamp: _____ | | |
| Job Address: 1124 Las Pulgas Place Pacific Palisades, CA 90272 | | |
| | | |
| REV. | DESCRIPTION | DATE |
| Designer: DBG:LA DESIGN BUILD GROUP LOS ANGELES | | |
| 1736 Westwood Blvd Suite #201 Los Angeles, CA 90024 Tel: 310-441-1450 Fax: 310-441-1487 | | |
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| Title: NEW EAST & WEST ELEVATIONS | | |
| THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY | | |
| PROJECT NUMBER: 3/16" = 1'-0" ORIG. DWG SIZE: A-D REV | | |
| Sht. A-4.1 | | |



SECTION A-A

Scale 3/16" = 1'-0"



SECTION B-B

Scale 3/16" = 1'-0"

DRAWING HISTORY

| DATE | TITLE |
|--------|--------------------|
| 8/2017 | PHOA SUBMITTAL SET |
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| r: 124 Las Pulgas, LLC 751 Wilshire Blvd, #207 Los Angeles, CA 90010 | Stamp: |
|-----------------------------------------------------------------------------------|--------|

| DESCRIPTION | DATE | DWN | CHKD | APPD |
|-------------|------|-----|------|------|
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ner:

DBG:LA

DESIGN BUILD GROUP LOS ANGELES

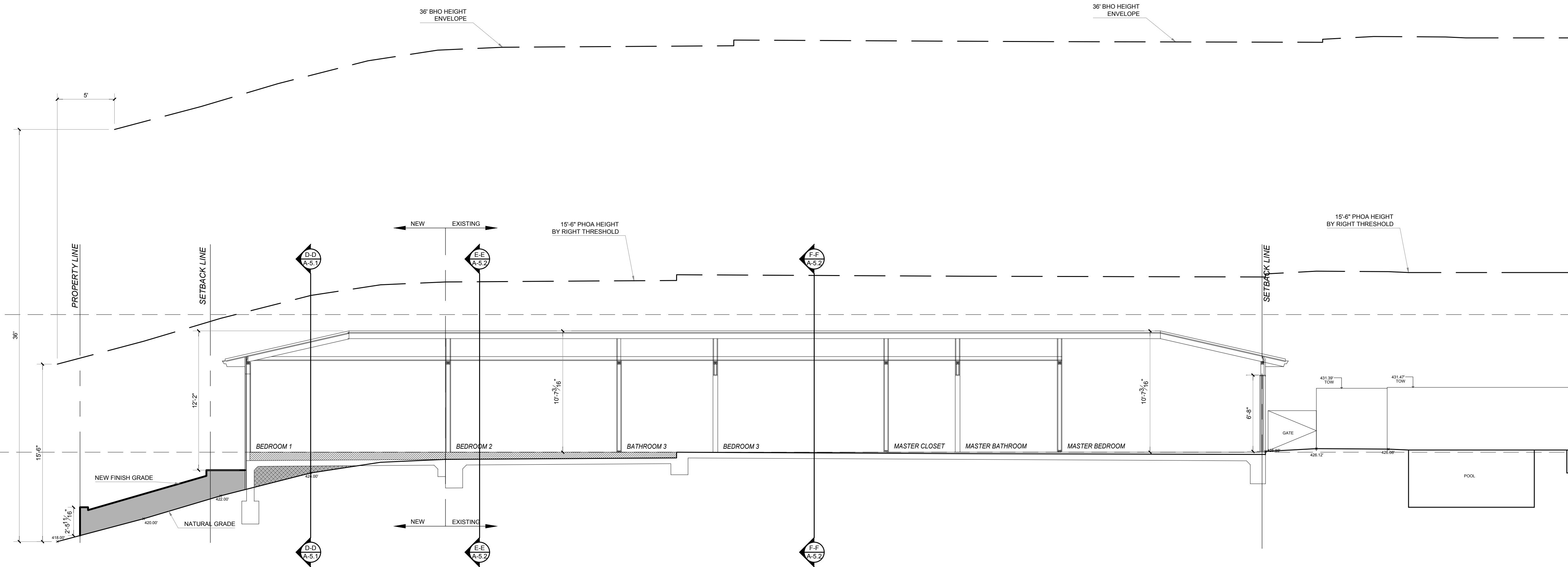
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SECTION A-A & B-B

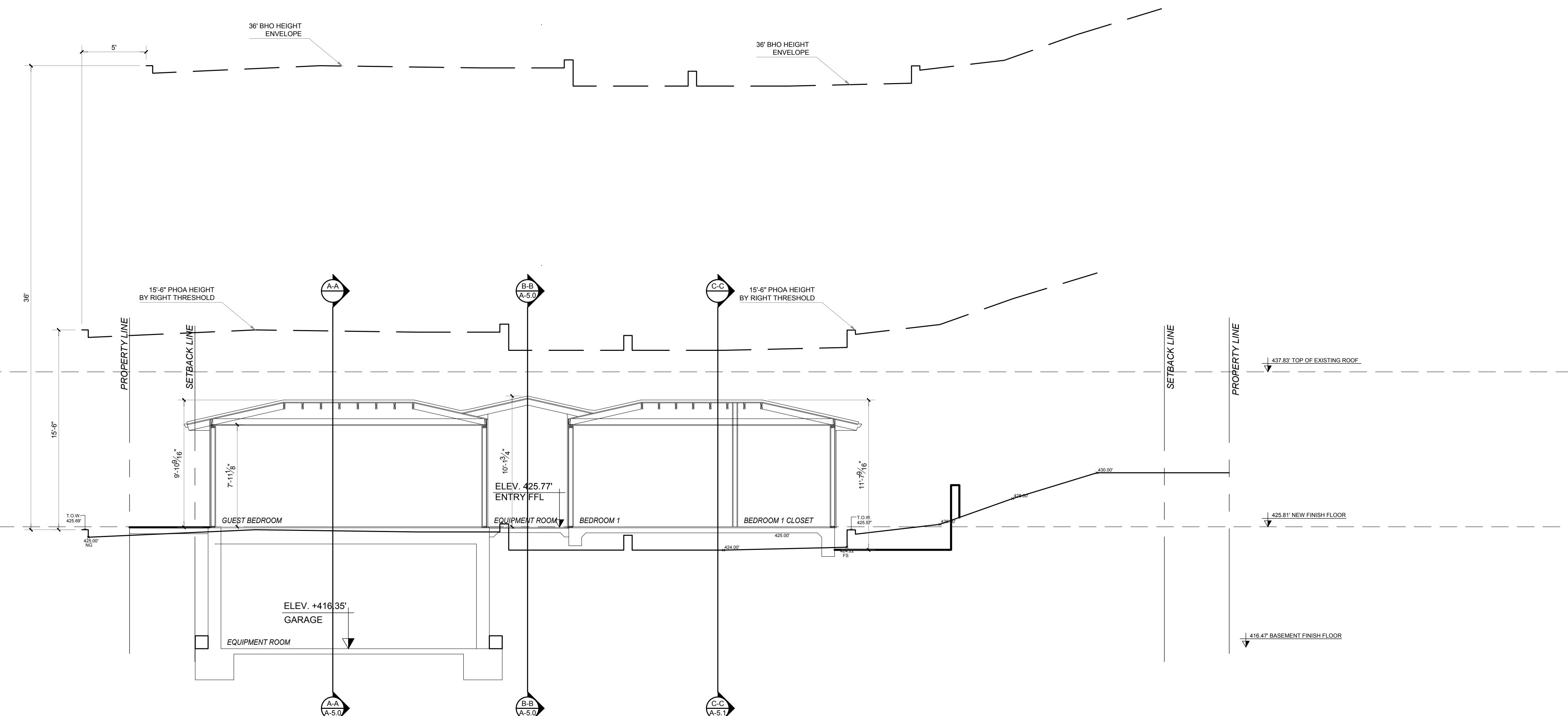
| THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY | | | |
|--------------------------------------------------------|---------------|---------------------|------|
| PROJECT NUMBER: | SCALE: | ORIG. DWG SIZE: A-D | REV. |
| | 3/16" = 1'-0" | | |

A-5.0



SECTION C-C

Scale 3/16" = 1'-0"



SECTION D-D

Scale 3/16" = 1'-0"

A-5.1

DRAWING HISTORY

| NO. | DATE | TITLE |
|-----|--------|--------------------|
| 1 | 8/2017 | PHOA SUBMITTAL SET |
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| | |
|-----------------------------------------------------------------------------------------|--------|
| Owner: 1124 Las Pulgas, LLC 4751 Wilshire Blvd, #207 Los Angeles, CA 90010 | Stamp: |
|-----------------------------------------------------------------------------------------|--------|

| | | | | | |
|--------------------------------------------------------------------------|-------------|------|-----|------|------|
| Job Address: 1124 Las Pulgas Place Pacific Palisades, CA 90272 | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| REV. | DESCRIPTION | DATE | DWN | CHKD | APPD |

Designer:

DBG:LA

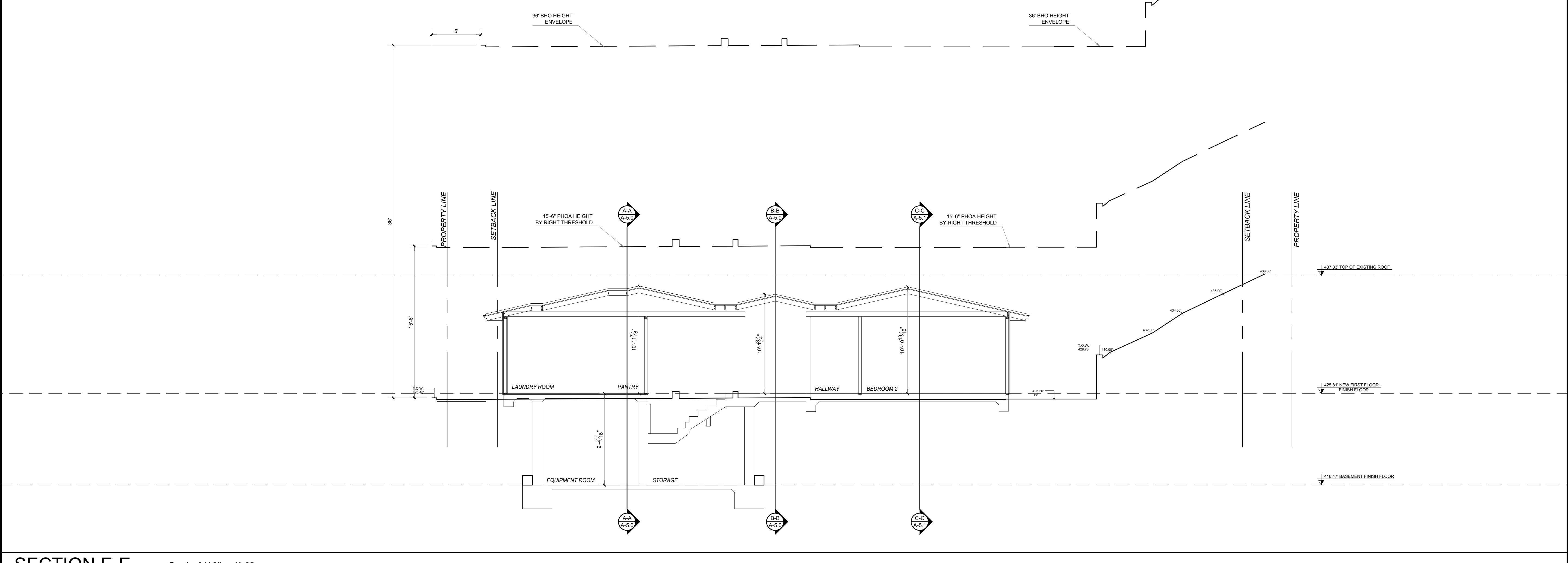
DESIGN BUILD GROUP LOS ANGELES

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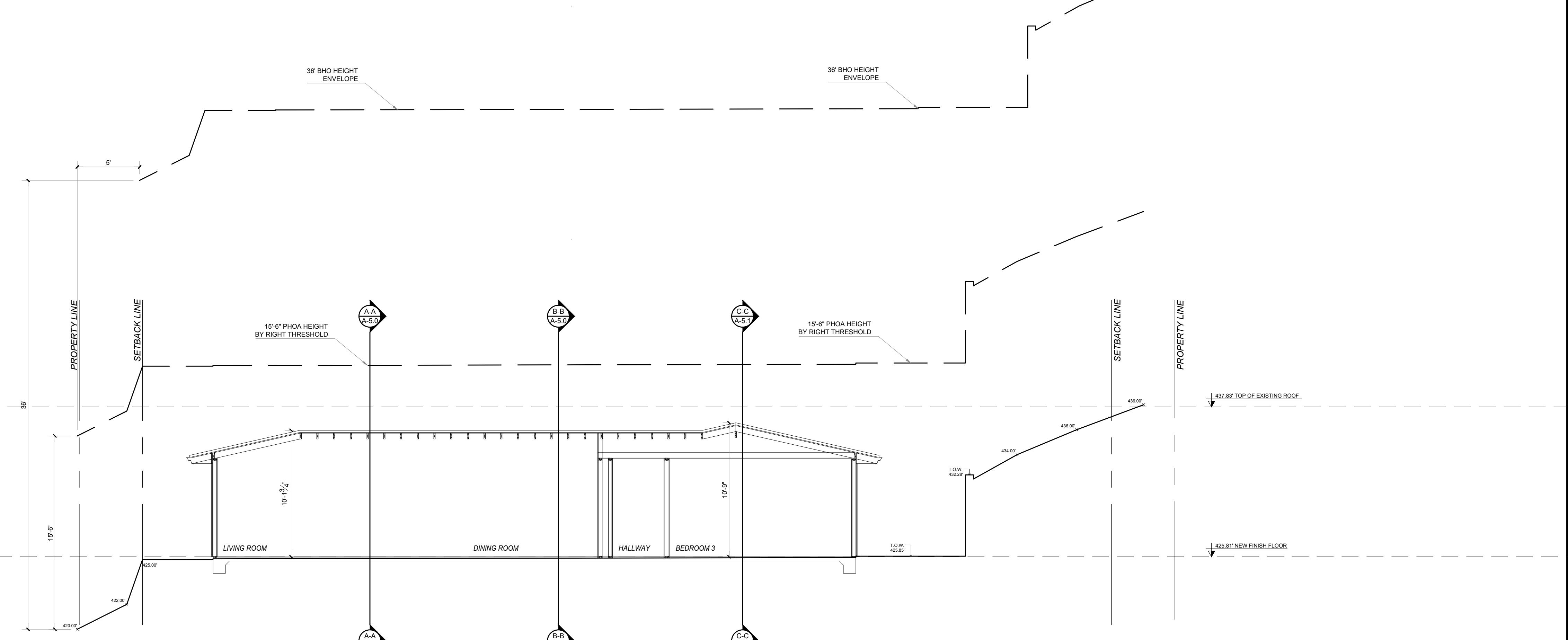
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| | | | |
|--------------------------------------------------------|-------------------------------|---------------------|------|
| Title: SECCION C-C & D-D | | | |
| THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY | | | |
| PROJECT NUMBER: | SCALE: $3/16" = 1'-0"$ | ORIG. DWG SIZE: A-D | REV. |

| | |
|------|-------|
| Sht. | A-5.1 |
|------|-------|



SECTION E-E Scale 3/16" = 1'-0"



SECTION F-F Scale 3/16" = 1'-0"