

OWNER

1124 Las Pulgas, LLC
4751 Wilshire Blvd #207
Los Angeles, CA. 90010
Contact: Rob Lekstrom
rob@knightstates.com

CONSULTANTS

Designer:
miguel rueda design

Los Angeles, CA
Contact: Miguel Rueda
Tel. (310) 626-3547

Project Manager:
design build group la

1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Contact: Jason Massaband
Tel. (310) 441-1450

Structural Engineer:
Berkoz & Associates

5530 Corbin Ave Suite #229
Tarzana, CA 91356
Contact: Naci Berkoz
Tel. (818) 668-8589

Civil Engineer:
Omar Braish P.E.

92 Capricorn
Irvine, CA 92618
Tel. (818) 359-3542

Soils Engineer:
Schick Geotechnical Inc

7650 Haskell Ave Suite #D
Van Nuys, CA 91406
Contact: Wayne Schick
Tel. (818) 905-8011

Energy Title 24:
Creative Design Consulting Engineers, Inc

336 N. Central Ave Suite #108
Glendale, CA 91203
Contact: Vazgen Ohanian
Tel. (818) 507-7522

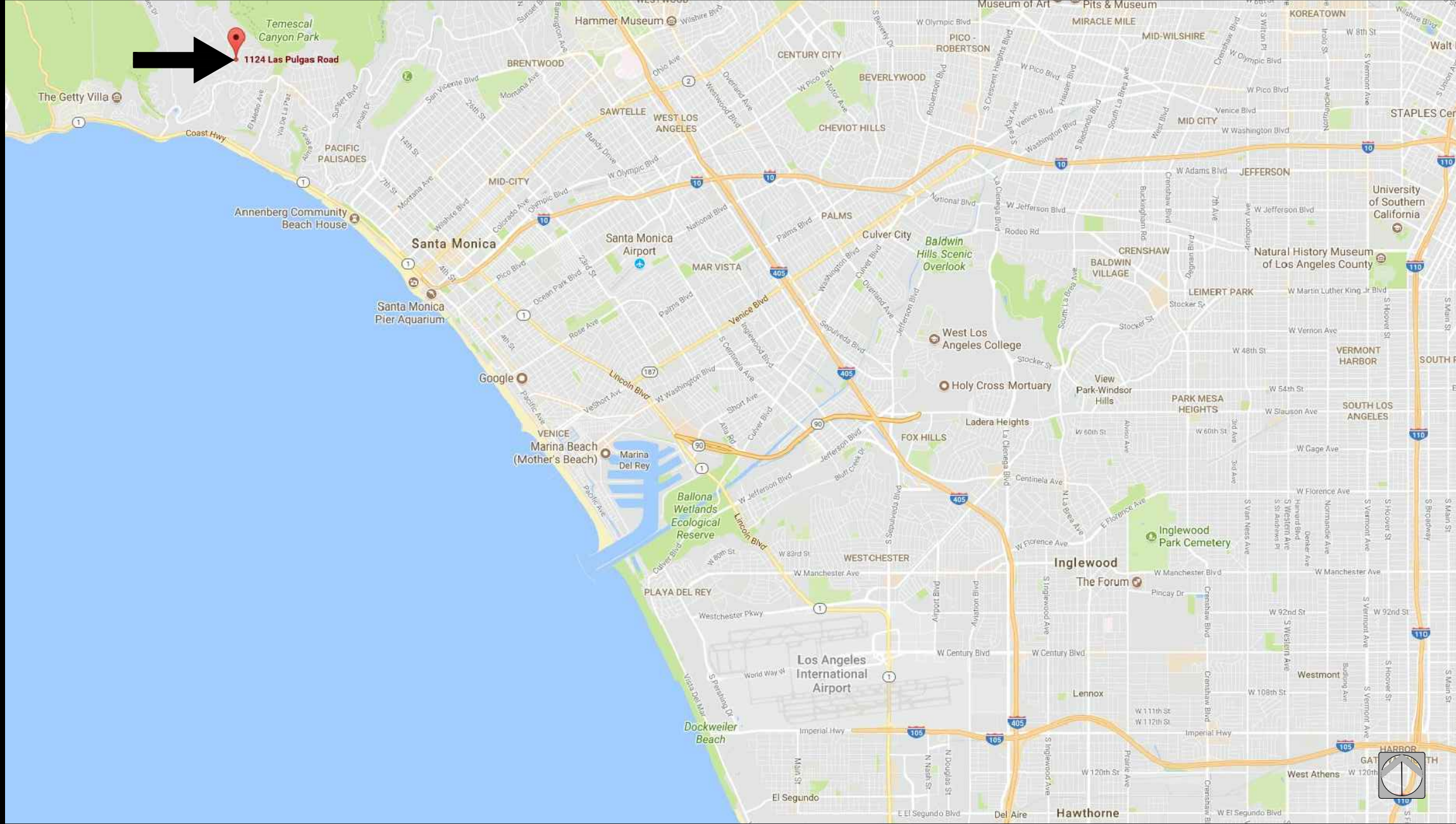
BUILDING CODES

2016 CBC ARCHITECTURAL
2016 CBC STRUCTURAL
2016 CPC PLUMBING
2016 CEC ELECTRICAL
2016 CMC MECHANICAL
2016 CGBC GREEN
2016 CALIFORNIA ENERGY CODE

UNDER SEPERATE PERMIT

- 1. MECHANICAL
- 2. PLUMBING
- 3. ELECTRICAL
- 4. FIRE SPRINKLER

VICINITY MAP



PROPOSED NEW BASEMENT & REMODEL &
ADDITION TO EXISTING 1-STORY SFD
1124 N LAS PULGAS RD LOS ANGELES, CA 90272

SITE INFORMATION

Scope of Work:----- New Basement & Remodel & Addition to Existing 1-Story SFD

Site Address:----- 1124 N Las Pulgas Rd
Los Angeles, CA 90272

Accessor PN:----- 4420009007

Tract:----- TR 19890

Block:----- None

Lot:----- 56

Zone:----- RE11-1

Hillside:----- Yes

Historic:----- No

Landslide:----- Yes

Liquefaction:----- No

Methane:----- No

Special Grading:----- Yes

Occupancy:----- R3

Lot Size:----- 11,364.66 sf

Number of Stories:----- 1-Story

Type of Construction:----- Type V - B

BUILDING INFORMATION

FLOOR AREA BHO Zoning					
	EXISTING	REMOVE	NEW	EXEMPT	TOTAL
1st Floor	1,884.1 sf	0 sf	1,482.9 sf	0 sf	3,367.0 sf
1st Floor Garage	401.9 sf	- 401.9 sf	0 sf	0 sf	0 sf
Covered Patio	0 sf	0 sf	174.4 sf	0 sf	174.4 sf
Basement	0 sf	0 sf	200.4 sf	- 200.4 sf	0 sf
Basement Garage	0 sf	0 sf	383.5 sf	- 383.5 sf	0 sf
TOTAL	2,286.0 sf	- 401.9 sf	2,241.2 sf	- 583.9 sf	3,541.4 sf
3,541.4 sf < 4,047 sf (max)					

FLOOR AREA Building Code				
	EXISTING	REMOVE	NEW	TOTAL
1st Floor	1,884.1 sf	0 sf	1,482.9 sf	3,367.0 sf
1st Floor Garage	401.9 sf	- 401.9 sf	0 sf	0 sf
Basement	0 sf	0 sf	200.4 sf	200.4 sf
Basement Garage	0 sf	0 sf	383.5 sf	383.5 sf
TOTAL	2,286.0 sf	- 401.9 sf	2,066.8 sf	3,950.9 sf

DRAWING INDEX

NO.	SHEET NO.	DRAWING TITLE
ARCHITECTURAL		
1	Sht. ----	Cover Sheet 1
2	Sht. ----	Survey
3	Sht. A-1.0	Site Plan
4	Sht. A-2.0	Existing/Demo Floor & Roof Plan
5	Sht. A-2.1	Zoning Demo Calculation
6	Sht. A-2.2	New First Floor Plan
7	Sht. A-2.3	New Basement Plan
8	Sht. A-2.3	New Roof Plan
9	Sht. A-3.0	Existing North & South Elevations
10	Sht. A-3.1	Existing East & West Elevations
11	Sht. A-4.0	New North & South Elevations
12	Sht. A-4.1	New East & West Elevations
13	Sht. A-5.0	Sections A-A & B-B
14	Sht. A-5.1	Sections C-C & D-D
15	Sht. A-5.2	Sections E-E & F-F

DBG:LA

DESIGN BUILD GROUP LOS ANGELES

DRAWING HISTORY

NO.	DATE	TITLE
1	8/2017	PHOA SUBMITTAL SET

Owner:

1124 Las Pulgas, LLC
4751 Wilshire Blvd. #207
Los Angeles, CA 90010

Stamp:

Job Address:
1124 Las Pulgas Place
Pacific Palisades, CA 90272

REV.	DESCRIPTION	DATE	DWN	CHKD	APPD
------	-------------	------	-----	------	------

Designer:

DBG:LA

DESIGN BUILD GROUP LOS ANGELES

1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.

Title: COVER SHEET					
THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY					
PROJECT NUMBER:		SCALE:		ORIG. DWG SIZE: A-D REV	

Sht.	
------	--



Scale 1/8" = 1'-0" NORTH



Owner:	Stamp:
1124 Las Pulgas, LLC 4751 Wilshire Blvd, #207 Los Angeles, CA 90010	

Job Address:
1124 Las Pulgas Place
Pacific Palisades, CA 90272

REV.	DESCRIPTION	DATE	DWN	CHKD	APP
Designer:					

DESIGN BUILD GROUP LOS ANGELES

1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.

Title: NEW SITE PLAN

THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY			
PROJECT NUMBER:	SCALE:	ORIG. DWG SIZE: A-D	R

		$\frac{1}{8}'' = 1'-0''$	
Sht.	A-1.0		

DRAWING HISTORY

NO.	DATE	TITLE
1	8/2017	PHOA SUBMITTAL SET

Owner:	Stamp:
1124 Las Pulgas, LLC 4751 Wilshire Blvd. #207 Los Angeles, CA 90010	

Job Address:
1124 Las Pulgas Place Pacific Palisades, CA 90272

REV.	DESCRIPTION	DATE	DWN	CHKD	APPD
------	-------------	------	-----	------	------

Designer:

1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

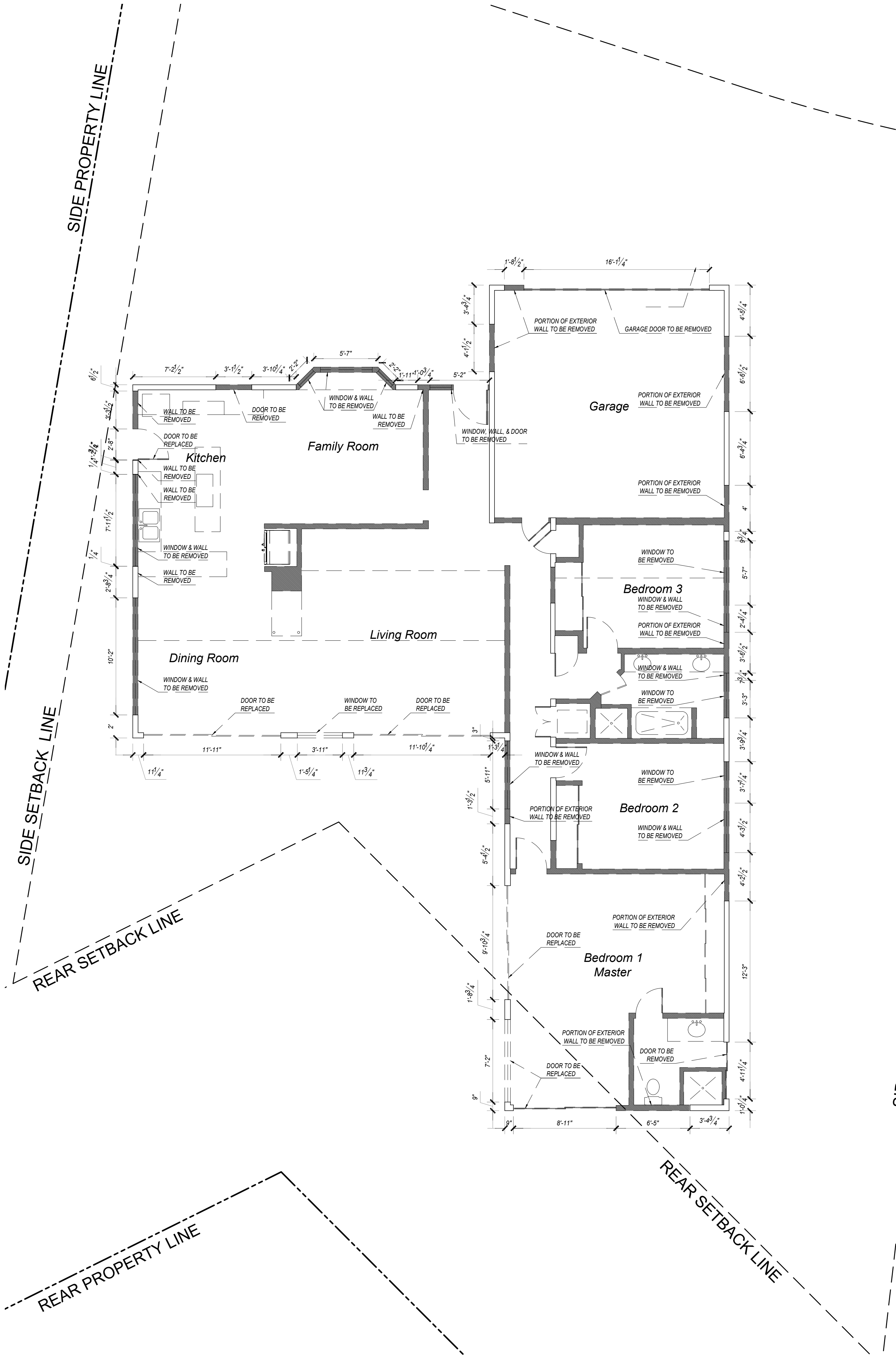
Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.

Title:
EXISTING/DEMO FLOOR & ROOF PLAN

THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY

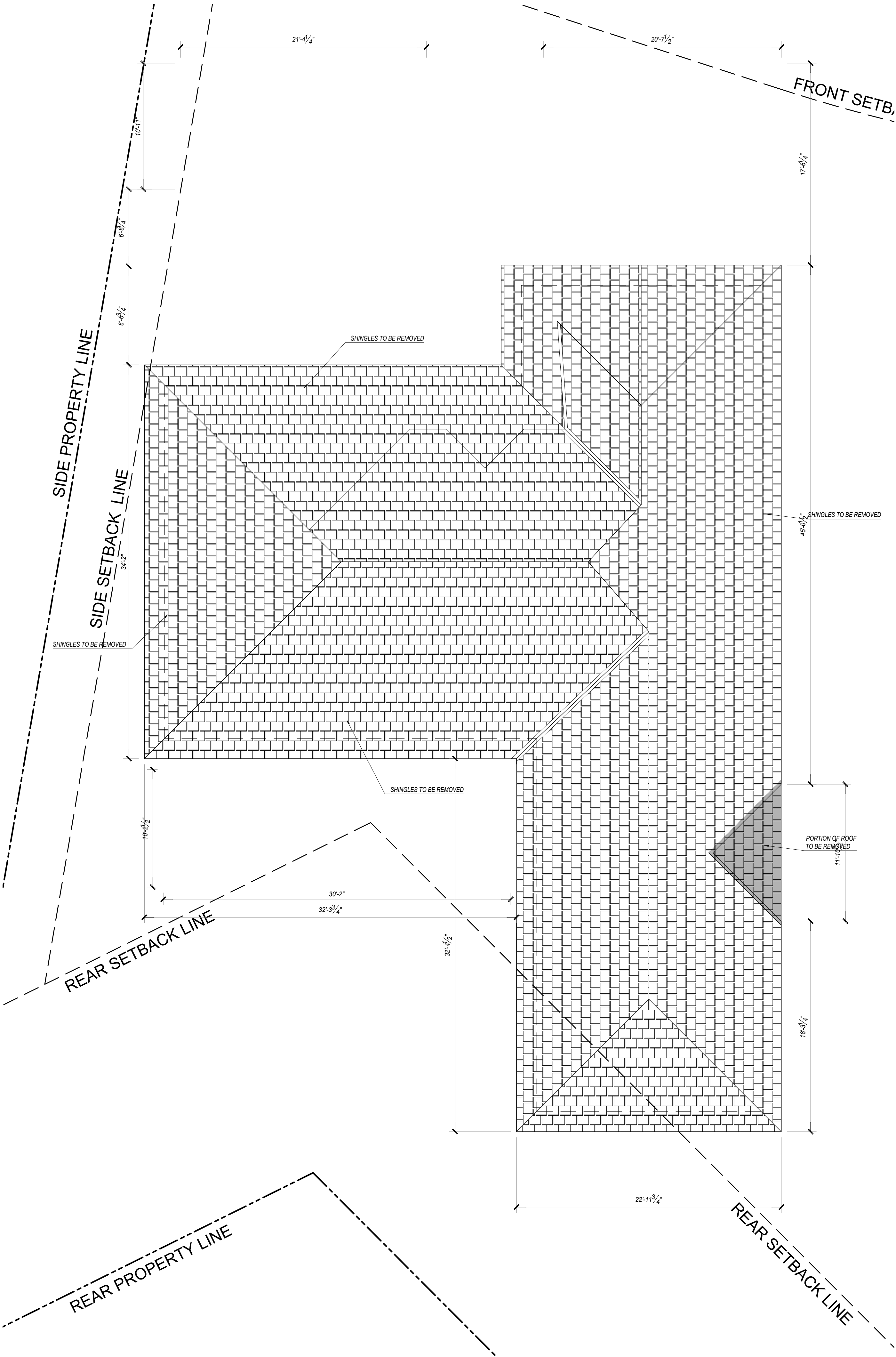
PROJECT NUMBER:	SCALE: 3/16" = 1'-0"	ORIG. DWG SIZE: A-D	REV
-----------------	-------------------------	---------------------	-----

Sht. A-2.0



EXISTING/DEMOLITION FLOOR PLAN

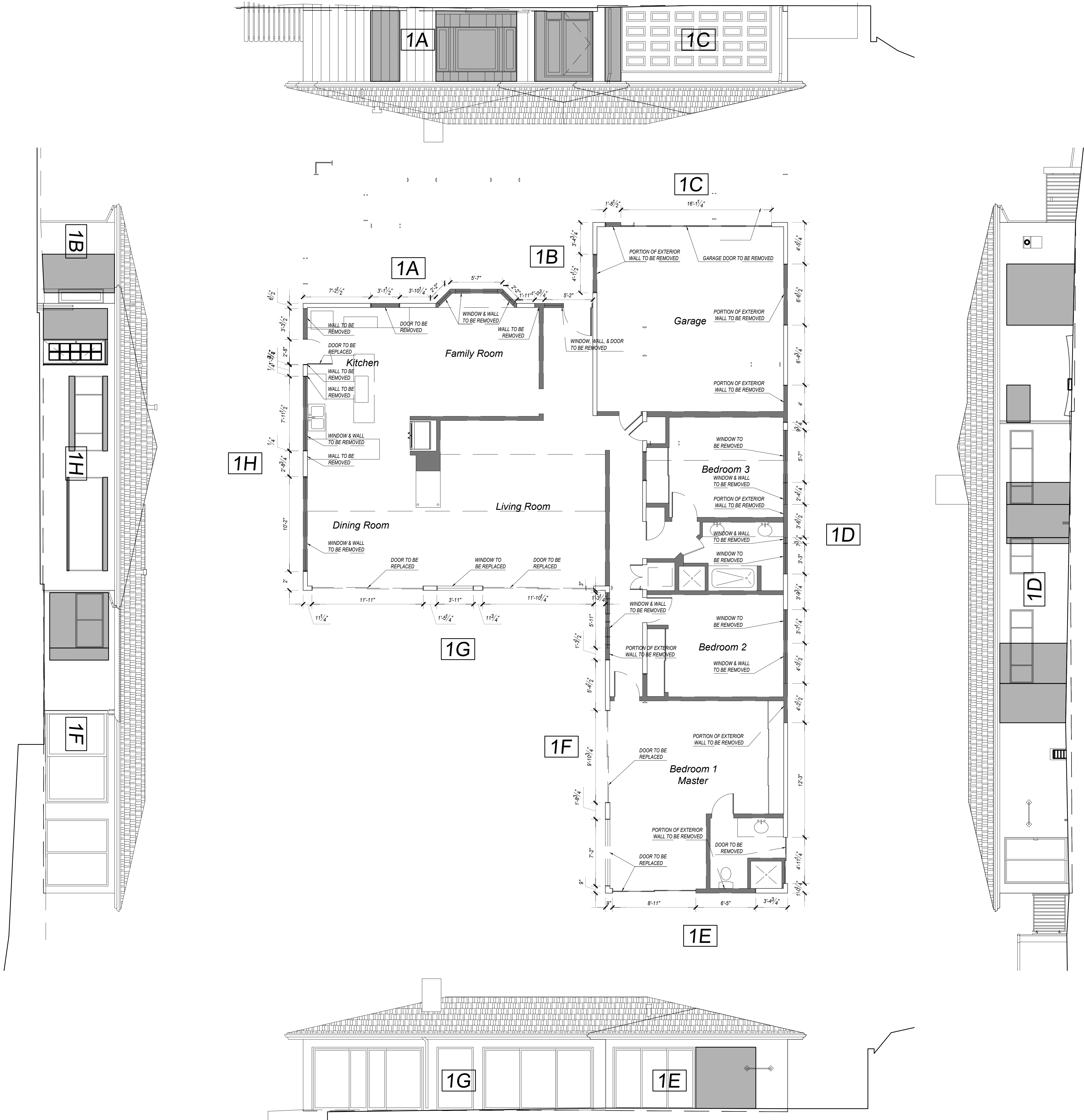
Scale 3/16" = 1'-0" NORTH



EXISTING/DEMO ROOF PLAN

Scale 3/16" = 1'-0" NORTH





ZONING DEMO CALCULATION BREAKDOWN		
ELEVATION	SF MODIFIED	SF
1A	135 SF	233 SF
1B	31 SF	66 SF
1C	13 SF	167 SF
1D	161 SF	534 SF
1E	42 SF	143 SF
1F	45 SF	241 SF
1G	0 SF	244 SF
1H	40 SF	234 SF
ROOF	21 SF	2,399 SF
TOTAL	488 SF	4,461 SF

ZONING DEMO TOTAL		
TOTAL	$\frac{488}{4,461} = .11$	11%

DRAWING HISTORY

NO.	DATE	TITLE
1	8/2017	PHOA SUBMITTAL SET

Owner:	Stamp:
1124 Las Pulgas, LLC 4751 Wilshire Blvd. #207 Los Angeles, CA 90010	

Job Address:
1124 Las Pulgas Place Pacific Palisades, CA 90272

REV.	DESCRIPTION	DATE	DWN	CHKD	APPD

Designer:

DBG:LA

DESIGN BUILD GROUP LOS ANGELES

1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.

Title: **ZONING DEMO CALCULATION**

THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY					
PROJECT NUMBER:	SCALE:	ORIG. DWG SIZE: A-D		REV.	
	$\frac{3}{16}" = 1'-0"$				

KEY NOTES

- 18" x 24" min. access opening to under floor area if any (R408.4)
- 36" x 30" roof access hatch. (SEE DETAIL 2 & 4, SHEET A-10.7)
- 20" x 30" min. access opening to attic area having a clear headroom of 30" (R807.1)
- Pull down ladder.
- Screened under-floor vent.
- Under-floor access.
- Exhaust fan capable of providing five (5) complete air changes per hour (min. 50 cfm) exhausted directly to the outside. (R303.3) (See GBC compliance sheet A-GRN.1; Exhaust fan shall be ENERGY STAR compliant with humidistat controller readily accessible).
- Provide self-closing and self-latching device on Fire Rated door (see door schedule @ A-8.0).
- Line of exhaust hood above: Vent to outside with remote exhaust fans. Verify venting requirements with manufacturer specifications.
- Provide 5/8" type "X" gypsum board on all garage walls, ceiling, posts and beams supporting dwelling and shall extend from top of concrete to, and including garage ceiling. (SEE SHEET A-10.7, DETAILS #6, #7, #8)
- Fire blocking shall be installed at: (708.2.1)
 - a.) Concealed space between stair stringers at top and bottom run.
 - b.) At openings around vents, pipes, ducts, chimneys (non-combustible materials).
 - c.) At openings between attic and chimneys chase for factory built chimneys;
- Not used.
- Not Used.
- Electrical sub panel: See electrical plans.
- Built in cabinetry.
- Washer: Recessed hot and cold water and drain standpipe must be provided. Floor drain under washer must also be provided.
- Dryer: The vent duct shall be Ø4" min., 14" max. with two 90° bends for metal duct and 6" max. for flex duct connector. Weather hood vent with damper to outside air at roof must be provided.
- Water softener. Provide plumbing loops.
- F.A.U. with night setback thermostat and summer fan switch: Combustion air vent and condensation line to outside air must be provided. If required, provide 20" plywood platform for unit (verify location with mechanical plans). See title 24 for size and model.
- Gas fired hi-recovery water heater/ storage tank with circulating pump and R-5 insulation: Verify with title 24. For lateral support in the event of an earthquake, secure to wall framing with metal straps at top and bottom (Section 508.2, LAPC) Note: Provide 18" min. high wood platform with 5/8" type "X" gypsum board finish. (SEE SHEET A-DBS, P/PC 2011-003)
- Phone panel: All lines to be home run.
- Shower-Tub with stone / ceramic / porcelain on walls to ceiling height.
- Shower with stone / ceramic / porcelain on walls to ceiling height: Shower pan shall be not mopped with 4" built up dam.
- Provide tempered glass shower enclosure. Shower door shall swing out.
- Soap and shampoo niche.
- Built-in whirlpool tub: Deck, skirt and splash must be provided. As required, provide wood framed platform with access to equipment. Electrical sub-contractor shall provide electrical supply and connections as required.
- Steam shower - Mr. Steam model no. MS Super II: Enclosure shall be tempered glass with hopper window above door. (Finish ceiling with same material as walls and slope 0.1" per 1'-0". Install steam unit per MRF. recommendations.
- Pre-fabricated Direct Vent fireplace unit with Sealed Combustion System: Model "DXV-60" by "Mendota, UL #127. Fuel gas and loose key valve must be provided. Approved spark arrestor at chimney termination must also be provided. Provide combustion air intake as required and glass enclosures at all fireplaces. Provide approved spark arrestor at chimney termination. (See Sheet A-10.8)
- Metal firebox with herringbone brick pattern & Selkirk metalbestos #SSII flue system built in accordance with the structural plans. Provide combustion air as required. Provide fuel gas with loose key valve. Provide glass enclosures at all fireplaces. Provide approved spark arrestor at chimney termination. (SEE SHEET A-10.11)
- Verify with owner if "Instant-hot" dispenser and water filtration system shall be provided.
- Provide purified cold water supply line to ice-maker with recessed shut off valve. Verify with manufacturer.
- Cooking Pot filler faucet, (Location: Kitchen).
- 1-hour fire-resistance-rated wall separating U from R-3 occupancy (per IBC T 720.1(2)).
- 2-hours fire-resistance-rated wall separating S-2 from R-3 occupancy (per IBC T 720.1(2)). 2-hours fire-resistance-rated floor/ceiling assembly separating S-2 from R-3 occupancy (per IBC Table 720.1(3)).
- Archway/doorway above (See elevations).
- Decorative niche. Verify owner's requirements.
- Provide 15" minimum between the center of water closet to any side wall and 24" clear space in front. (Per Cal.Plmb Code 407.6)
- Provide an approved spark arrester for the chimneys of all fire places, stoves, or barbecue which uses fuel burning material. Openings not to exceed 1/2 inches. (LAMC 57.20.25) Fire code section 1109.7 and U.B.C. section 6403.5 & section 3102.3.8 U.B.C. section (max. 1/2 inch screen).
- Wet bar should NOT include any of the following items: natural gas outlet, 220 AC el.outlet, double sink, bar sink exceeding one sq.foot, hot water line, refrigerator exceeding 10 cub.f., garbage disposal, dishwasher, device designed for cooking or heating of food, total counter space exceeding 10 sq. feet. Counter finish per owner's requirements.
- Built-in shelving. verify with owner's.
- Provide 42" guardrails with less than 4" clear spacing between intermediate rails when the walking surface is higher than 30" above adjacent grade. (SEE DETAILS AT A-10.4)
- Tempered Glass "T" (SEE D&W SCHEDULE AT A-8.0 AND A-8.1)
- Elevator Requirements: Ensure that pit depth and overhead clearance is in accordance with ASME A17.1 requirements. Separate mechanical permit is required for elevator.

GENERAL FLOOR PLAN NOTES

- A. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings min.8% of the room floor area in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
- All rooms require natural ventilation by means of operable windows min.4% of the room floor area.
- B. Entry/exit door must open over a landing not more than 1.5" below the threshold. If the door does NOT swing over the landing, landing shall be not more than 7.75" below the threshold. Landing at a door shall have a length measured in the direction of travel of no less than 36".
- C. Stairways dimensions and construction:
- a. 7.75" rise & Minimum 10" run (R311.7.4) (Sheet A-10.3 (1)(2)(3))
 - b. Minimum 6'-8" vertical headroom clearance at tread nosing (R311.7.2) (Sheet A-10.3)
 - c. Minimum 36" clear width (R311.7.1) (Sheet A-10.3 (6)(7))
 - d. Handrails 34" to 38" high above tread nosing (R311.7.7.1)
 - e. Handgrip portion of handrail shall not be less than 1.25" and no more than 2" cross-sectional dimension having a smooth surface with no sharp corners (R311.7.7.3)
 - f. Max. 4" clear spacing opening between rails (R312.3)
 - g. Provide stairway illumination. Min. 1 foot-candle at tread run (R303.6)
- D. Fire Protection:
1. The building shall be equipped with an automatic residential fire sprinkler system in accordance with section R313.3 or NFPA13D. (R313, 12.21A17(d))
 2. The Sprinkler System shall be approved by Plumbing Div. prior to Installation.
 3. An approved smoke alarms shall be installed in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. (R314)
 4. An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarm shall be provided outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every I level of a dwelling unit including basements. (R315)
- E. Provide anti-Graffiti finish within the first 9 ft. measured from grade at exterior walls and doors.
- F. Upon review if structural plans may not show non-structural framing, rough carpenter to review all architectural sheets for clear understanding of work to be included in bid.
- G. Refer to reflected ceiling plans, building sections and interior elevations for furred ceilings.
- H. All exterior and interior studs shall be 2 x 6 framing or multiple rows of 2 x 6(4)'s unless otherwise noted. Spacing and specifications per structural engineer.
- I. As required by Current Building Code, draft stops must be provided. Enclosed spaces in stud wall, partitions and furred walls shall have fire stops at top and bottom and at mid-point in walls more than 10 feet high. Verify with structural plans.
- J. Insulation: Provide R-19 Min. insulation at all exterior walls, including garage. Provide R-30 min. insulation in attic spaces. Refer to title 24 for additional requirements. Provide R-19 insulation at all interior walls and R-30 insulation between floors for sound control. Insulate around plumbing pipes.
- K. Attic ventilation equal to 1/150 s.f. of attic area is required. (R806.2)
- L. Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48mm) sheet steel and shall have no openings into the garage. 406.14
- M. Garage floor surface shall be of noncombustible materials or asphaltic paving materials. Garage walls and garage ceiling shall be 1-HR. Fire Rated.
- N. Building shall be fully sprinkled in accordance with Sec.R313.3 or NFPA 13d. Sprinkler System shall be automatic residential type and approved by Plumbing Division prior to installation.
- O. Draft stop shall be provided in a concealed floor-ceiling assembly formed of combustible construction, unless the building is sprinklered with NFPA 13 sprinkler system (1000 sf between draft stops) (717.3.2 & 3).
- P. A corrosion resistant weep screed is required below the stucco minimum of 4" above earth or 2" above paved area 91.2506.05 (SEE DETAIL 6 & 8 SHEET A-10.5)
- Q.
- R. Provide damp-proofing for all structures below grade that enclose usable space and shall be installed with materials as required in Section R406.1 Use Versaflex VF-380 by "Versaflex, Inc." LARR #25838-T for concrete and masonry walls. Elasto-Deck B.T. by "Elastomeric Roofing System, Inc.", RRR# 24350 for under footing and under slab.
- S. Clay roof tiles by "Redland Clay Tile". LARR #25124.
- T. All flat roofs, decks, balconies shall slope a minimum of 2% toward drains. 1506.1 & 1611
- U. Provide a class A, fire-retardant flat roof and deck covering per Section R902.1 Use Elastro Fiberdeck 100 by "AVM Industries, LLC". Class "A" fire retardant walking deck and roof covering. LARR #25430. (See Sheet A-RR.1)
- V. 20 minutes Fire Rated Door (Solid core tight fitting). Self-Closing and Self-Latching Device. TGP Door Assembly by "Technical Glass Products". RRR# 25798 (See sheet A-RR.1)
- W. 90 minutes Fire Rated Door (Solid core tight fitting). Self-Closing and Self-Latching Device. TGP Door Assembly by "Technical Glass Products". RRR# 25798 (See sheet A-RR.1)
- X. Round tubular skylights by "SOLATUBE International", LARR #25251 (See sheet A-10.9) Custom shape skylights by "Velux America, Inc", LARR #25885. Skylight and sloped glass glazing shall comply with Section R308.6. (See Sheet A-N.04)
- Y. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (704A.3.1). Comply w/ VHFHZ requirements.
- Z. Based on City maps, this project is located within Very High Fire Hazard Severity Zone (VHFHSZ). It shall Comply with requirements of Materials, systems & construction methods of Chapter 7A and Chapter 72. Read VHFHSZ Supplemental Notes on sheet A-N02.

GREEN CONCEPT & DEVELOPMENT

PRIOR TO BEGINNING THE CONSTRUCTION ACTIVITIES, ALL PARTIES INVOLVED WITH THE DEVELOPMENT PROCESS SHALL RECEIVE A WRITTEN GUIDELINE AND INSTRUCTION SPECIFYING THE GREEN GOALS OF THE PROJECT.

RECYCLED CONTENT

BUILDING MATERIALS USED ON THE PROJECT WILL CONTAIN AT LEAST A 10% RECYCLED CONTENT VALUE (RCV).

REQUIRED TOTAL RCV (DOLLARS) = TOTAL MATERIAL COST (DOLLARS) × 10 PERCENT

FOR THE PURPOSES OF THIS SECTION, MATERIALS USED AS COMPONENTS OF THE STRUCTURAL FRAME SHALL NOT BE USED TO CALCULATE RECYCLED CONTENT.

TOTAL MATERIAL COSTS = PROJECT SQUARE FOOTAGE × SQUARE FOOT VALUATION × 45%
OR
TOTAL MATERIAL COSTS = TOTAL ESTIMATED OR ACTUAL COST OF PROJECT × 45%

ENHANCED CONSTRUCTION WASTE REDUCTION

65% OF CONSTRUCTION WASTE WILL BE DIVERTED TO RECYCLE AND/OR SALVAGE

INSULATION

MANUFACTURED FROM RAPIDLY RENEWABLE SOURCES OR AGRICULTURAL BY-PRODUCTS IS USED.

INSTALLED THERMAL INSULATION WILL BE IN COMPLIANCE WITH THE VOC-EMISSION LIMITS DEFINED IN COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST.

MECHANICAL

ALL RETURN AIR FILTERS SHALL HAVE A VALUE GREATER THAN MERV 6 ON ALL HVAC SYSTEMS. PRESSURE DROP ACROSS THE FILTER SHALL NOT EXCEED 0.1 INCHES WATER COLUMN.

VOC

AT LEAST 90% OF THE INSTALLED RESILIENT FLOORING WILL COMPLY WITH VOC LIMITS - CERTIFIED BY ONE OF THE FOLLOWING METHODS:

1. VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.

2. PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM.

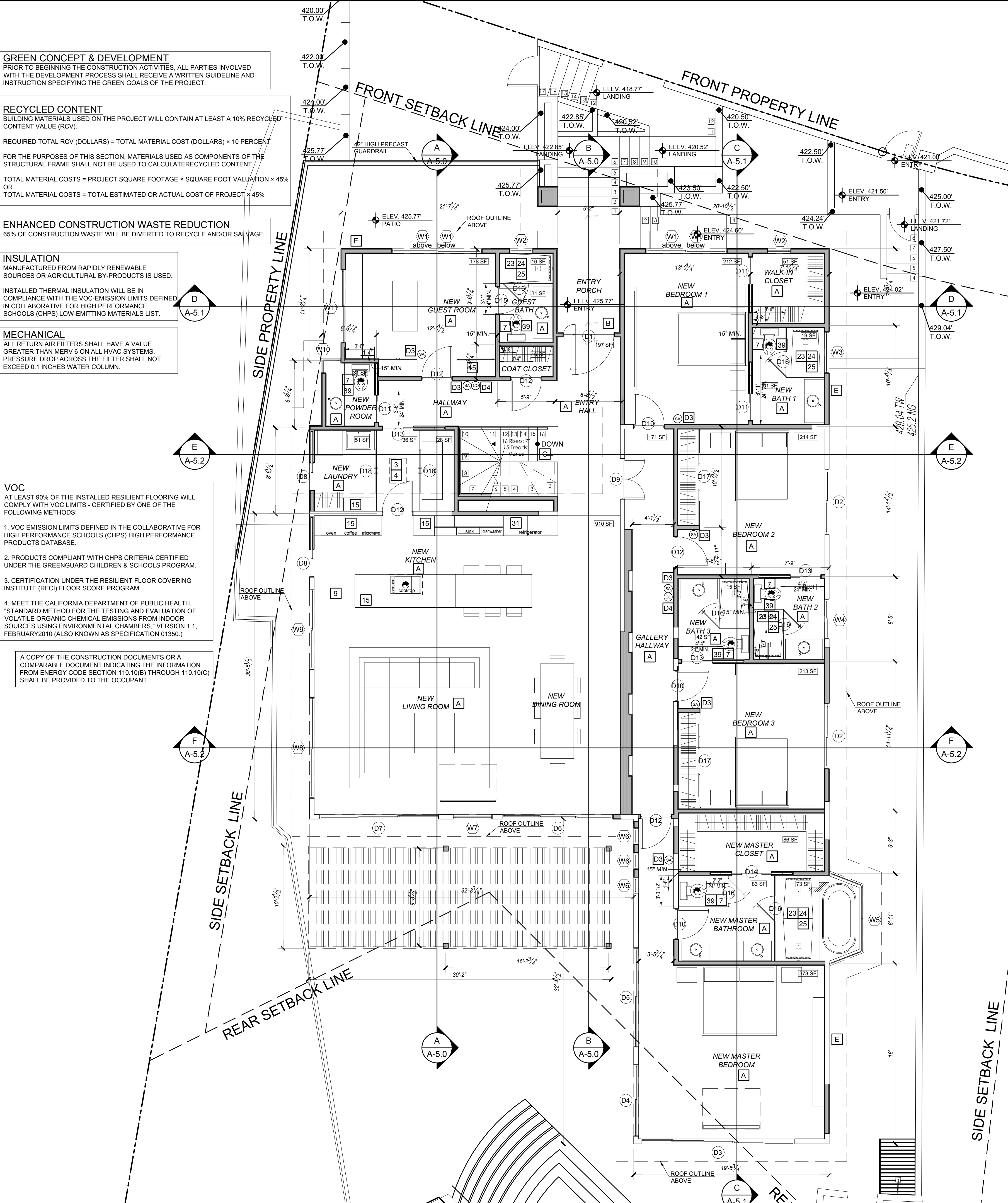
3. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM.

4. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH. "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01359.)

A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTION 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.

NEW FLOOR PLAN

Scale 3/16" = 1'-0" NORTH



DBG:LA

DESIGN BUILD GROUP LOS ANGELES

DRAWING HISTORY

NO.	DATE	TITLE
1	8/2017	PHOA SUBMITTAL SET

Owner: 1124 Las Pulgas, LLC
4751 Wilshire Blvd. #207
Los Angeles, CA 90010

Job Address: 1124 Las Pulgas Place
Pacific Palisades, CA 90272

REV. DESCRIPTION DATE DWN CHKD APPD

Designer: **DBG:LA**

DESIGN BUILD GROUP LOS ANGELES

1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.

Title: **NEW FLOOR PLAN**

THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY
PROJECT NUMBER: SCALE: 3/16" = 1'-0" ORIG. DWG SIZE: A-D REV.

Sht. A-2.2

KEY NOTES

- 18" x 24" min. access opening to under floor area if any (R408.4)
- 36" x 30" roof access hatch. (SEE DETAIL 2 & 4, SHEET A-10.7)
- 20" x 30" min. access opening to attic area having a clear headroom of 30" (R807.1)
- Pull down ladder.
- Screened under-floor vent.
- Under-floor access.
- Exhaust fan capable of providing five (5) complete air changes per hour (min. 50 cfm) exhausted directly to the outside. (R303.3) (See GBC compliance sheet A-GRN.1; Exhaust fan shall be ENERGY STAR compliant with humidistat controller readily accessible).
- Provide self-closing and self-latching device on Fire Rated door (see door schedule @ A-8.0).
- Line of exhaust hood above: Vent to outside with remote exhaust fans. Verify venting requirements with manufacturer specifications.
- Provide 5/8" type "X" gypsum board on all garage walls, ceiling, posts and beams supporting dwelling and shall extend from top of concrete to, and including garage ceiling. (SEE SHEET A-10.7, DETAILS #6, #7, #8)
- Fire blocking shall be installed at: (708.2.1)
 - Concealed space between stair stringers at top and bottom run.
 - At openings around vents, pipes, ducts, chimneys (non-combustible materials).
 - At openings between attic and chimneys chase for factory built chimneys;
- Not used.
- Not Used.
- Electrical sub panel: See electrical plans.
- Built in cabinetry.
- Washer: Recessed hot and cold water and drain standpipe must be provided. Floor drain under washer must also be provided.
- Dryer: The vent duct shall be Ø4" min., 14" max. with two 90° bends for metal duct and 6' max. for flex duct connector. Weather hood vent with damper to outside air at roof must be provided.
- Water softener. Provide plumbing loops.
- F.A.U. with night setback thermostat and summer fan switch: Combustion air vent and condensation line to outside air must be provided. If required, provide 20" plywood platform for unit (verify location with mechanical plans). See title 24 for size and model.
- Gas fired hi-recovery water heater/ storage tank with circulating pump and R-5 insulation: Verify with title 24. For lateral support in the event of an earthquake, secure to wall framing with metal straps at top and bottom (Section 508.2, LAPC) Note: Provide 18" min. high wood platform with 5/8" type "X" gypsum board finish. (SEE SHEET A-DBS, P/PC 2011-003)
- Phone panel: All lines to be home run.
- Shower-Tub with stone / ceramic / porcelain on walls to ceiling height.
- Shower with stone / ceramic / porcelain on walls to ceiling height: Shower pan shall be hot mopped with 4" built up dam.
- Provide tempered glass shower enclosure. Shower door shall swing out.
- Soap and shampoo niche.
- Built-in whirlpool tub: Deck, skirt and splash must be provided. As required, provide wood framed platform with access to equipment. Electrical sub-contractor shall provide electrical supply and connections as required.
- Steam shower - Mr. Steam model no. MS Super II: Enclosure shall be tempered glass with hopper window above door. (Finish ceiling with same material as walls and slope 0.1" per 1'-0". Install steam unit per MRF. recommendations.
- Pre-fabricated Direct Vent fireplace unit with Sealed Combustion System: Model "DXV-60" by "Mendota, UL #127. Fuel gas and loose key valve must be provided. Approved spark arrester at chimney termination must also be provided. Provide combustion air intake as required and glass enclosures at all fireplaces. Provide approved spark arrester at chimney termination. (See Sheet A-10.8)
- Metal firebox with herringbone brick pattern & Selkirk metabestos #SSII flue system built in accordance with the structural plans. Provide combustion air as required. Provide fuel gas with loose key valve. Provide glass enclosures at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.11)
- Verify with owner if "Instant-hot" dispenser and water filtration system shall be provided.
- Provide purified cold water supply line to ice-maker with recessed shut off valve. Verify with manufacturer.
- Cooking Pot filler faucet, (Location: Kitchen).
- 1-hour fire-resistance-rated wall separating U from R-3 occupancy (per IBC T 720.1.(2)).
- 2-hours fire-resistance-rated wall separating S-2 from R-3 occupancy (per IBC T 720.1.(2)). 2-hours fire-resistance-rated floor/ceiling assembly separating S-2 from R-3 occupancy (per IBC Table 720.1.(3)).
- Archway/doorway above (See elevations).
- Decorative niche. Verify owner's requirements.
- Provide 15" minimum between the center of water closet to any side wall and 24" clear space in front. (Per Cal.Plmb. Code 407.6)
- Provide an approved spark arrester for the chimneys of all fire places, stoves, or barbecue which uses fuel burning material. Openings not to exceed 1/2 inches. (LAMC 57.20.25) Fire code section 1109.7 and U.B.C. section 6403.5 & section 3102.3.8 U.B.C. section (max. 1/2 inch screen).
- Wet bar should NOT include any of the following items: natural gas outlet, 220 AC el.outlet, double sink, bar sink exceeding one sq.foot, hot water line, refrigerator exceeding 10 cub.f., garbage disposal, dishwasher, device designed for cooking or heating of food, total counter space exceeding 10 sq. feet. Counter finish per owner's requirements.
- Built-in shelving. verify with owner's.
- Provide 42" guardrails with less than 4" clear spacing between intermediate rails when the walking surface is higher than 30" above adjacent grade. (SEE DETAILS AT A-10.4)
- Tempered Glass "T" (SEE D&W SCHEDULE AT A-8.0 AND A-8.1)
- Elevator Requirements: Ensure that pit depth and overhead clearance is in accordance with ASME A17.1 requirements. Separate mechanical permit is required for elevator.

GENERAL FLOOR PLAN NOTES

- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings min.8% of the room floor area in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
All rooms require natural ventilation by means of operable windows min.4% of the room floor area.
- Entry/exit door must open over a landing not more than 1.5" below the threshold. If the door does NOT swing over the landing, landing shall be not more than 7.75" below the threshold.Landing at a door shall have a length measured in the direction of travel of no less than 36".
- Stairways dimensions and construction:
 - 7.75" rise & Minimum 10" run (R311.7.4) (Sheet A-10.3 (1)(2)(3))
 - Minimum 6'-8" vertical headroom clearance at tread nosing (R311.7.2) (Sheet A-10.3)
 - Minimum 36" clear width (R311.7.1) (Sheet A-10.3 (6)(7))
 - Handrails 34" to 38" high above tread nosing (R311.7.7.1)
 - Handgrip portion of handrail shall not be less than 1.25" and no more than 2" cross-sectional dimension having a smooth surface with no sharp corners (R311.7.7.3)
 - Max. 4" clear spacing opening between rails (R312.3)
 - Provide stairway illumination. Min. 1 foot-candle at tread run (R303.6)
- Fire Protection:
 - The building shall be equipped with an automatic residential fire sprinkler system in accordance with section R313.3 or NFPA13D. (R313, 12.21A17(d))
 - The Sprinkler System shall be approved by Plumbing Div. prior to Installation.
 - An approved smoke alarms shall be installed in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. (R314)
 - An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarm shall be provided outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every l level of a dwelling unit including basements. (R315)
- Provide anti-Graffiti finish within the first 9 ft. measured from grade at exterior walls and doors.
- Upon review if structural plans may not show non-structural framing, rough carpenter to review all architectural sheets for clear understanding of work to be included in bid.
- Refer to reflected ceiling plans, building sections and interior elevations for furred ceilings.
- All exterior and interior studs shall be 2 x 6 framing or multiple rows of 2 x 6(4)'s unless otherwise noted. Spacing and specifications per structural engineer.
- As required by Current Building Code, draft stops must be provided. Enclosed spaces in stud wall, partitions and furred walls shall have fire stops at top and bottom and at mid-point in walls more than 10 feet high. Verify with structural plans.
- Insulation: Provide R-19 Min. insulation at all exterior walls, including garage. Provide R-30 min. insulation in attic spaces. Refer to title 24 for additional requirements. Provide R-19 insulation at all interior walls and R-30 insulation between floors for sound control. Insulate around plumbing pipes.
- Attic ventilation equal to 1/150 s.f. of attic area is required. (R806.2)
- Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48mm) sheet steel and shall have no openings into the garage. 406.14
- Garage floor surface shall be of noncombustible materials or asphaltic paving materials. Garage walls and garage ceiling shall be 1-HR. Fire Rated. N. Building shall be fully sprinkled in accordance with Sec.R313.3 or NFPA 13d. Sprinkler System shall be automatic residential type and approved by Plumbing Division prior to installation.
- Draft stop shall be provided in a concealed floor-ceiling assembly formed of combustible construction, unless the building is sprinklered with NFPA 13 sprinkler system (1000 sf between draft stops) (717.3.2.& 3).
- A corrosion resistant weep screed is required below the stucco minimum of 4" above earth or 2" above paved area 91.2506.05 (SEE DETAIL 6 & 8 SHEET A-10.5)
- Q.
- Provide damp-proofing for all structures below grade that enclose usable space and shall be installed with materials as required in Section R406.1 Use Versaflex VF-380 by "Versaflex, Inc." LARR #25838-T for concrete and masonry walls. Elasto-Deck B.T. by "Elastomeric Roofing System, Inc.". RR# 24350 for under footing and under slab.
- Clay roof tiles by "Redland Clay Tile". LARR #25124.
- T. All flat roofs, decks, balconies shall slope a minimum of 2% toward drains.1506.1 & 1611
- U. Provide a class A, fire-retardant flat roof and deck covering per Section R902.1 Use Elastro Fiberdeck 100 by "AVM Industries, LLC". Class "A" fire retardant walking deck and roof covering. LARR #25430. (See Sheet A-RR.1)
- V. 20 minutes Fire Rated Door (Solid core tight fitting), Self-Closing and Self-Latching Device.TGP Door Assembly by "Technical Glass Products". RR# 25798 (See sheet A-RR.1)
- W. 90 minutes Fire Rated Door (Solid core tight fitting), Self-Closing and Self-Latching Device. TGP Door Assembly by "Technical Glass Products". RR# 25798 (See sheet A-RR.1)
- X. Round tubular skylights by "SOLATUBE International", LARR #25251 (See sheet A-10.9) Custom shape skylights by "Velux America, Inc", LARR #25885. Skylight and sloped glass glazing shall comply with Section R308.6. (See Sheet A-N.04)
- Y. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (704A.3.1). Comply w/ VHFHZ requirements.
- Z. Based on City maps, this project is located within Very High Fire Hazard Severity Zone (VHFHSZ). It shall Comply with requirements of Materials, systems & construction methods of Chapter 7A and Chapter 72. Read VHFHSZ Supplemental Notes on sheet A-N02.

ELECTRIC VEHICLE (EV) CHARGING
FOR EACH DWELLING UNIT, A DEDICATED 208/240-VOLT BRANCH CIRCUIT SHALL BE INSTALLED IN THE RACEWAY. THE BRANCH CIRCUIT AND ASSOCIATED OVERCURRENT PROTECTIVE DEVICE SHALL BERATED AT 40 AMPERES MINIMUM. OTHER ELECTRICAL COMPONENTS, INCLUDING A RECEPTACLE OR BLANK COVER, RELATED TO THIS SECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.

THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE DESIGNATED FOR FUTURE EV CHARGING PURPOSES AS "EV READY" IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. THE RECEPTACLE OR BLANK COVER SHALL BE IDENTIFIED AS "EV READY."

INSULATION

MANUFACTURED FROM RAPIDLY RENEWABLE SOURCES OR AGRICULTURAL BY-PRODUCTS IS USED.

INSTALLED THERMAL INSULATION WILL BE IN COMPLIANCE WITH THE VOC-EMISSION LIMITS DEFINED IN COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST.

MECHANICAL

ALL RETURN AIR FILTERS SHALL HAVE A VALUE GREATER THAN MERV 6 ON ALL HVAC SYSTEMS. PRESSURE DROP ACROSS THE FILTER SHALL NOT EXCEED 0.1 INCHES WATER COLUMN.

VOC

AT LEAST 90% OF THE INSTALLED RESILIENT FLOORING WILL COMPLY WITH VOC LIMITS - CERTIFIED BY ONE OF THE FOLLOWING METHODS:

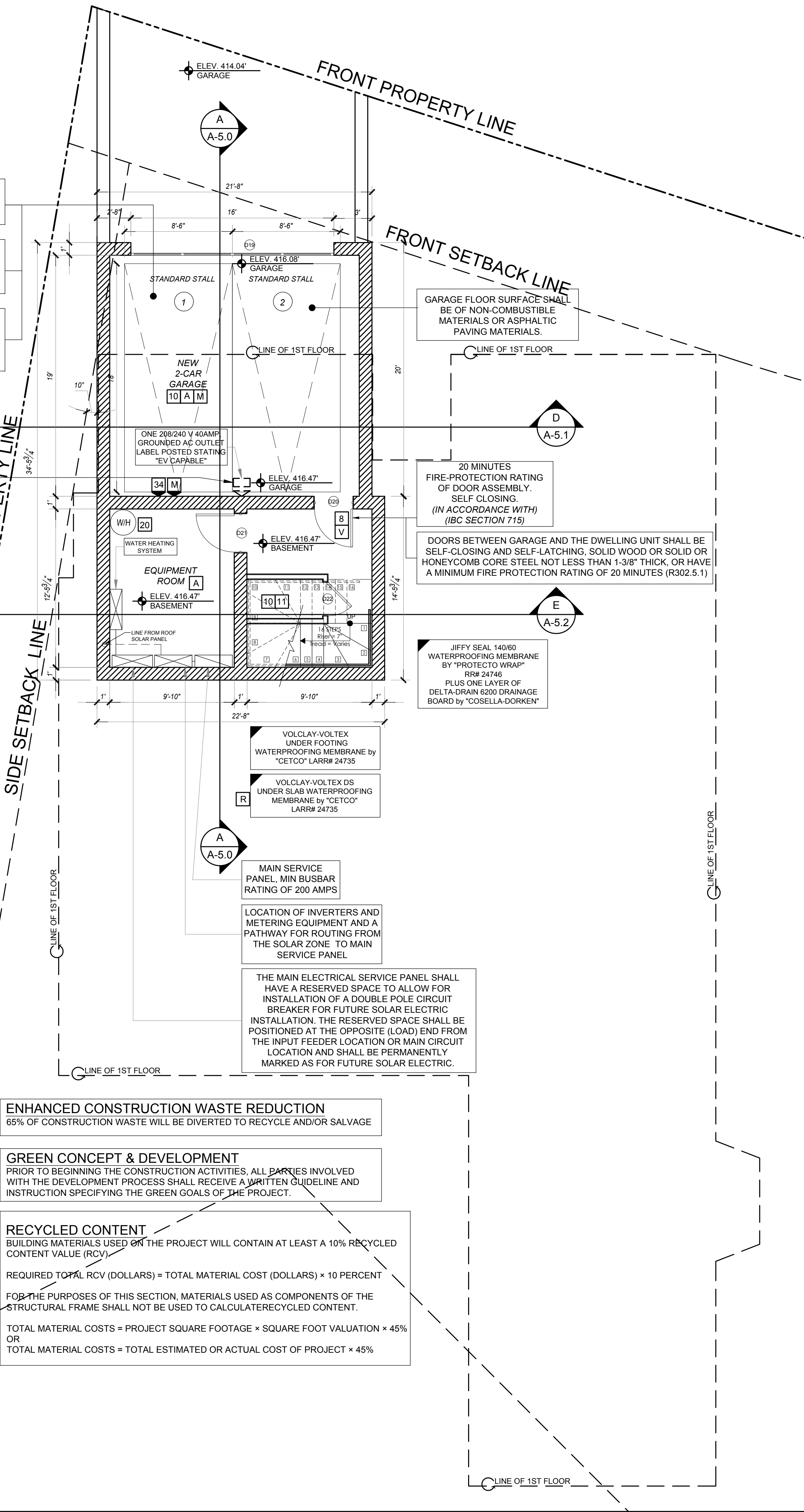
- VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
- PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM.
- CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM.
- MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY2010 (ALSO KNOWN AS SPECIFICATION 01350.)

A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTION 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.

OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS ARE TO BE PROTECTED AS REQUIRED BY SEC. R302.11, ITEM 4 (R302.5.3)

GARAGE FLOOR SURFACE SHALL BE OF AN APPROVED NON COMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY (R309.1)

DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING UNIT FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 0.019-INCH (#26 GAGE) SHEET STEEL AND SHALL BE NO OPENINGS FROM THE DUCTS INTO THE GARAGE (R302.5.2)



DBG:LA

DESIGN BUILD GROUP LOS ANGELES

DRAWING HISTORY

NO.	DATE	TITLE
1	8/2017	PHOA SUBMITTAL SET

Owner:	Stamp:
1124 Las Pulgas, LLC 4751 Wilshire Blvd. #207 Los Angeles, CA 90010	

Job Address:
1124 Las Pulgas Place Pacific Palisades, CA 90272

REV.	DESCRIPTION	DATE	DWN	CHKD	APPD
------	-------------	------	-----	------	------

Designer:

DBG:LA

DESIGN BUILD GROUP LOS ANGELES

1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.

Title:
NEW BASEMENT PLAN

THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY					
PROJECT NUMBER:	SCALE:	ORIG. DWG SIZE:	A-D	REV	
	3/16" = 1'-0"				

NEW BASEMENT PLAN

Scale 3/16" = 1'-0" NORTH



Sh. A-2.3

DRAWING HISTORY

NO.	DATE	TITLE
1	8/2017	PHOA SUBMITTAL SET

Owner:	Stamp:
1124 Las Pulgas, LLC 4751 Wilshire Blvd, #207 Los Angeles, CA 90010	

Job Address:
1124 Las Pulgas Place Pacific Palisades, CA 90272

REV	DESCRIPTION	DATE	DWN	CHKD	APPD

Designer:

DBG:LA

DESIGN BUILD GROUP LOS ANGELES

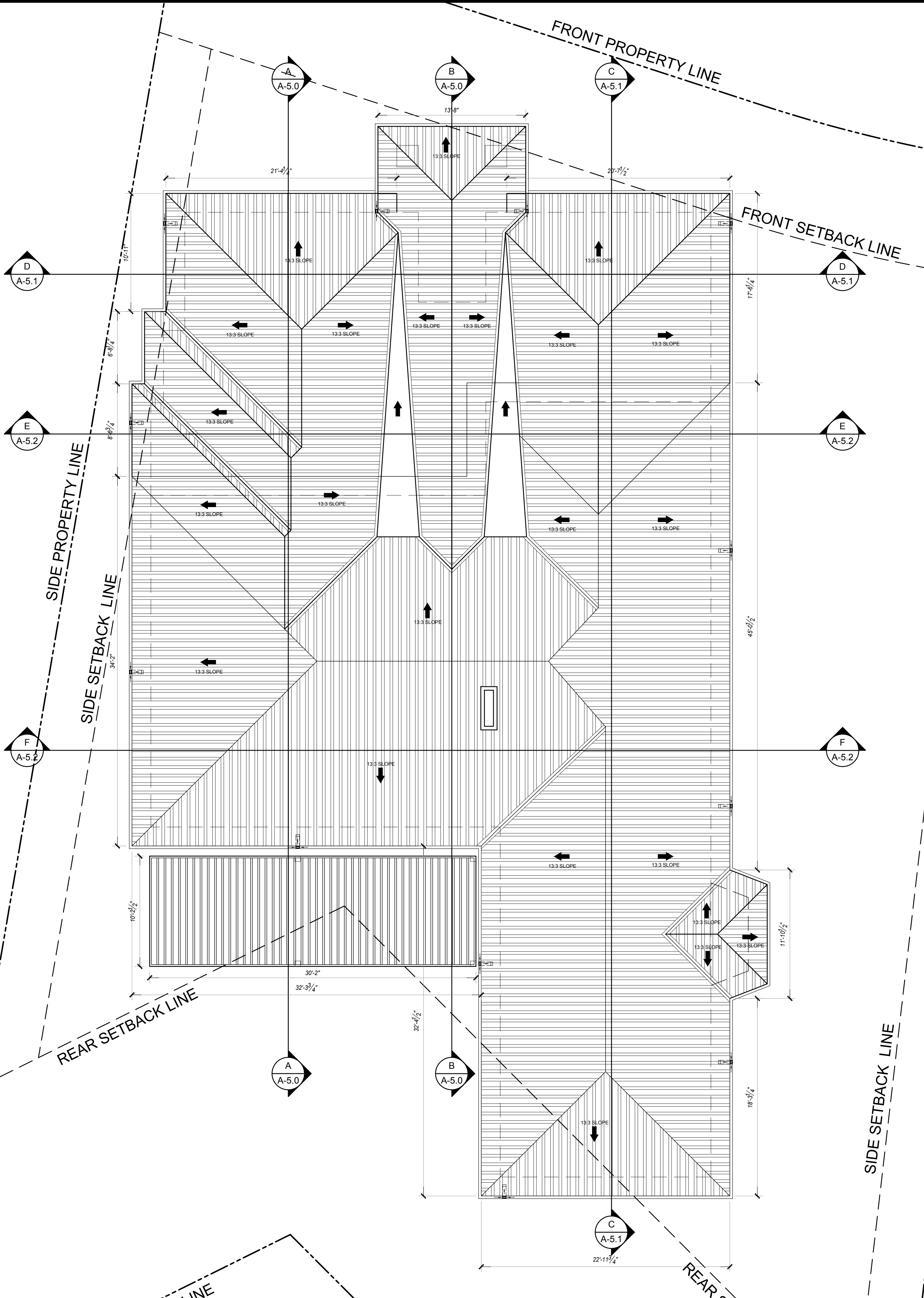
1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

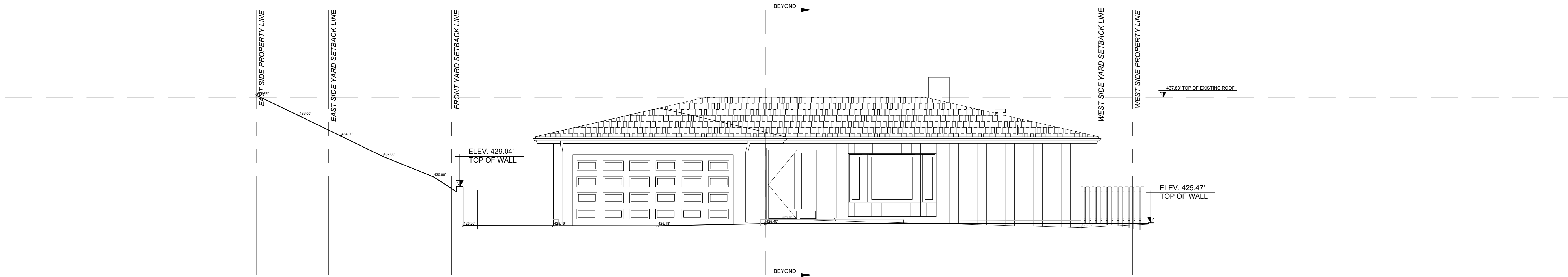
Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.

Title: **NEW ROOF PLAN**

PROJECT NUMBER:	SCALE: 3/16" = 1'-0"	ORIG. DWG SIZE: A-D	REV
-----------------	----------------------	---------------------	-----

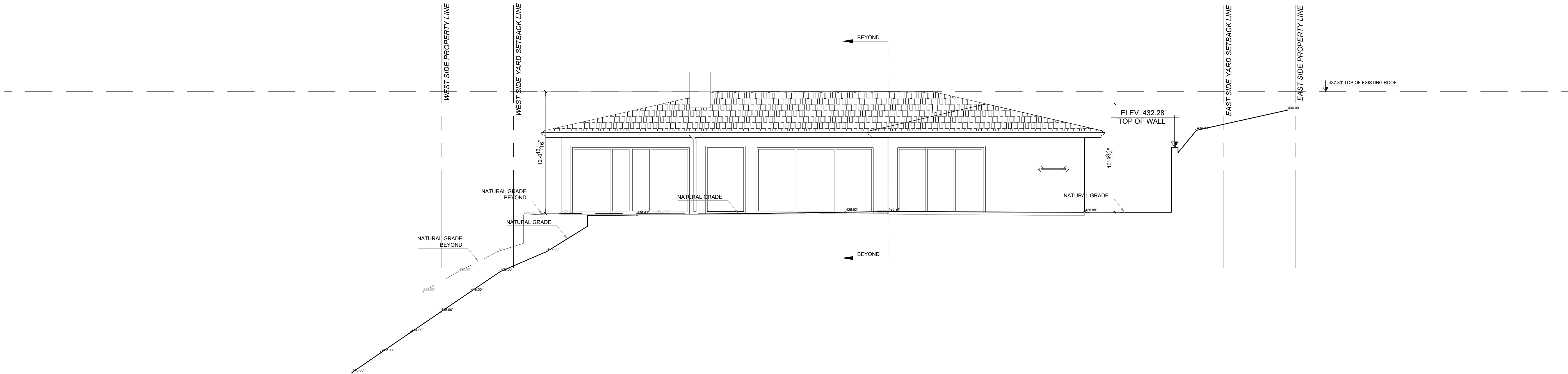
Sht.	A-2.4
------	-------





EXISTING NORTH ELEVATION

Scale 3/16" = 1'-0"



EXISTING SOUTH ELEVATION

Scale 3/16" = 1'-0"

DRAWING HISTORY

NO.	DATE	TITLE
1	8/2017	PHOA SUBMITTAL SET

Owner:	Stamp:
1124 Las Pulgas, LLC 4751 Wilshire Blvd. #207 Los Angeles, CA 90010	

Job Address:
1124 Las Pulgas Place Pacific Palisades, CA 90272

REV.	DESCRIPTION	DATE	DWN	CHKD	APPD
------	-------------	------	-----	------	------

Designer:

DBG:LA

DESIGN BUILD GROUP LOS ANGELES

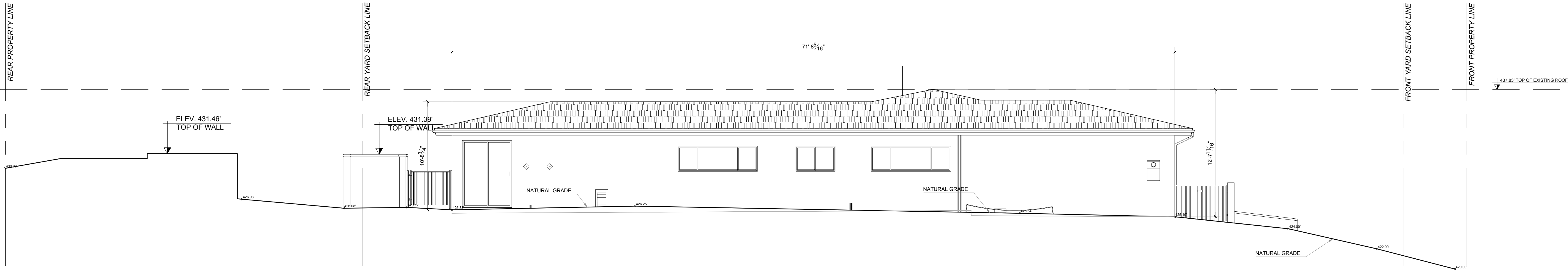
1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.

Title: EXISTING NORTH & SOUTH ELEVATIONS

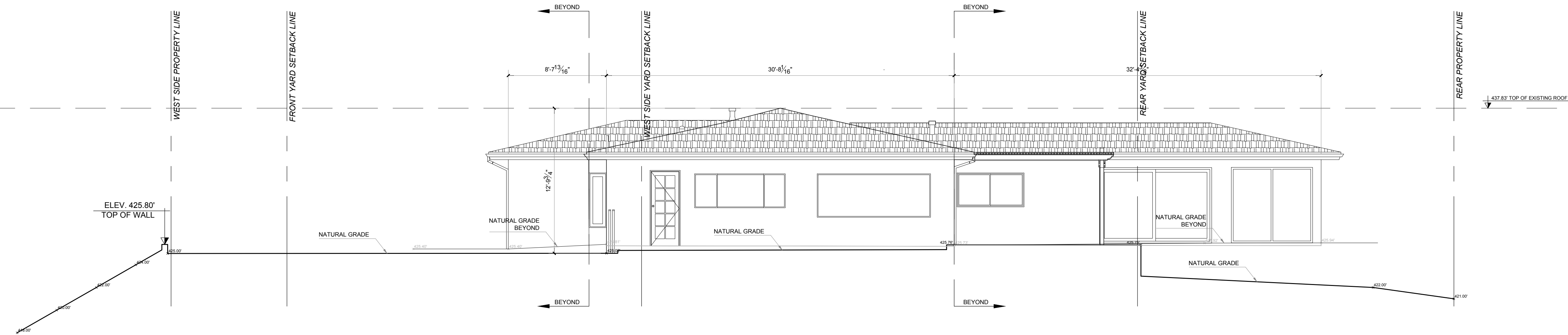
THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY					
PROJECT NUMBER:	SCALE:	ORIG. DWG SIZE:	A-D	REV.	
	3/16" = 1'-0"				

Sht.	A-3.0
------	-------



EXISTING EAST ELEVATION

Scale 3/16" = 1'-0"



EXISTING WEST ELEVATION

Scale 3/16" = 1'-0"

DRAWING HISTORY

NO.	DATE	TITLE
1	8/2017	PHOA SUBMITTAL SET

Owner:	Stamp:
1124 Las Pulgas, LLC 4751 Wilshire Blvd, #207 Los Angeles, CA 90010	

Job Address:
1124 Las Pulgas Place Pacific Palisades, CA 90272

REV.	DESCRIPTION	DATE	DWN	CHKD	APPD
------	-------------	------	-----	------	------

Designer:

DBG:LA

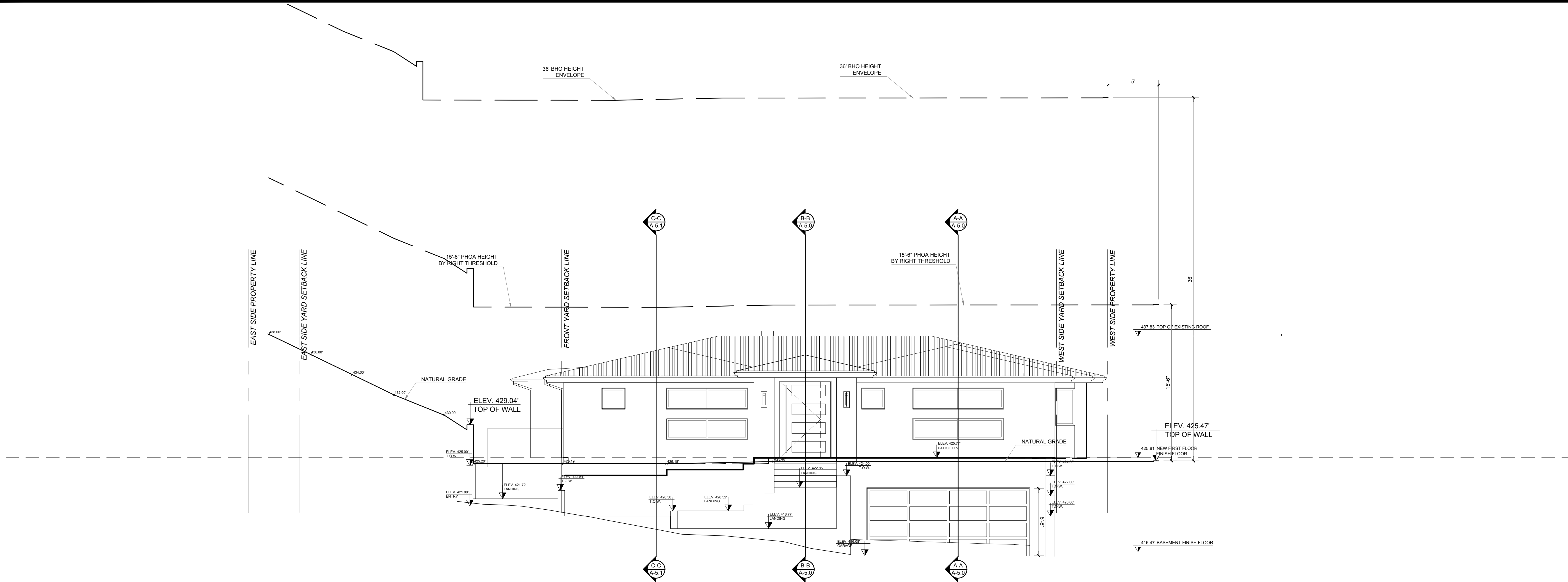
DESIGN BUILD GROUP LOS ANGELES

1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.

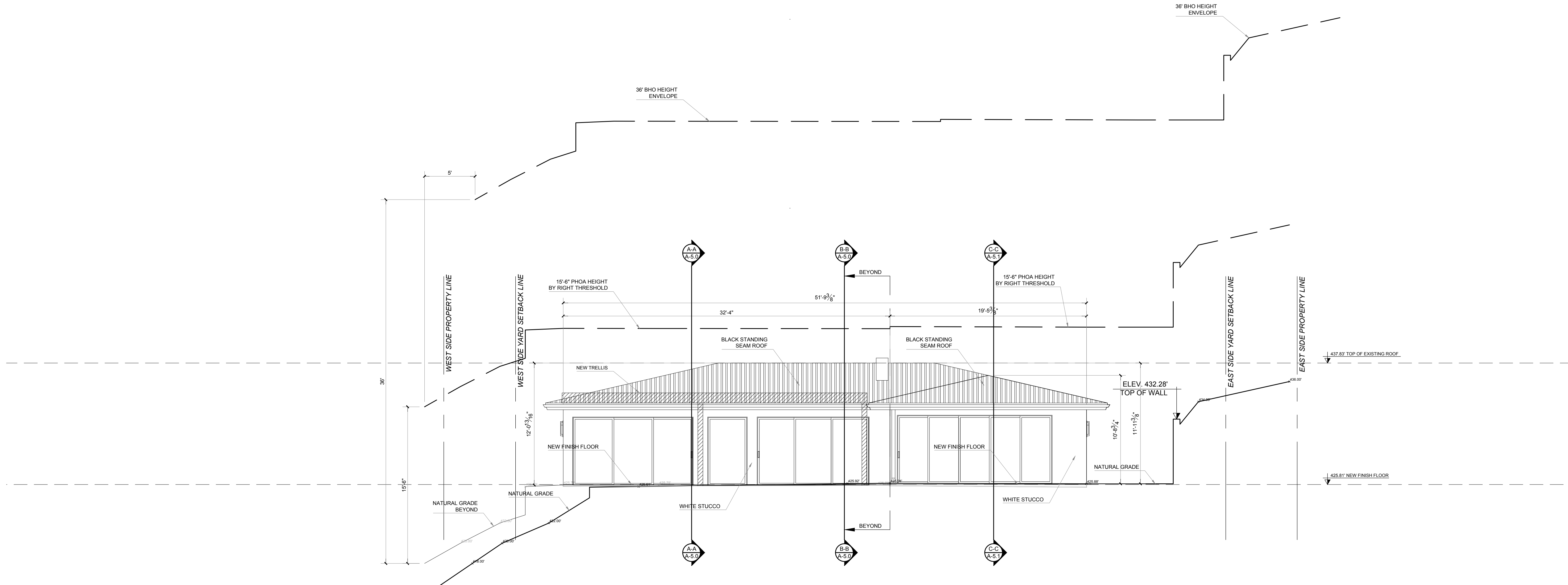
Title: EXISTING EAST & WEST ELEVATIONS

THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY					
PROJECT NUMBER:	SCALE:	ORIG. DWG SIZE: A-D		REV.	
	3/16" = 1'-0"				



NEW NORTH ELEVATION

Scale 3/16" = 1'-0"



NEW SOUTH ELEVATION

Scale 3/16" = 1'-0"

DRAWING HISTORY

NO.	DATE	TITLE
1	8/2017	PHOA SUBMITTAL SET

Owner:	Stamp:
1124 Las Pulgas, LLC 4751 Wilshire Blvd. #207 Los Angeles, CA 90010	

Job Address:
1124 Las Pulgas Place Pacific Palisades, CA 90272

REV.	DESCRIPTION	DATE	DWN	CHKD	APPD
------	-------------	------	-----	------	------

Designer:

DBG:LA

DESIGN BUILD GROUP LOS ANGELES

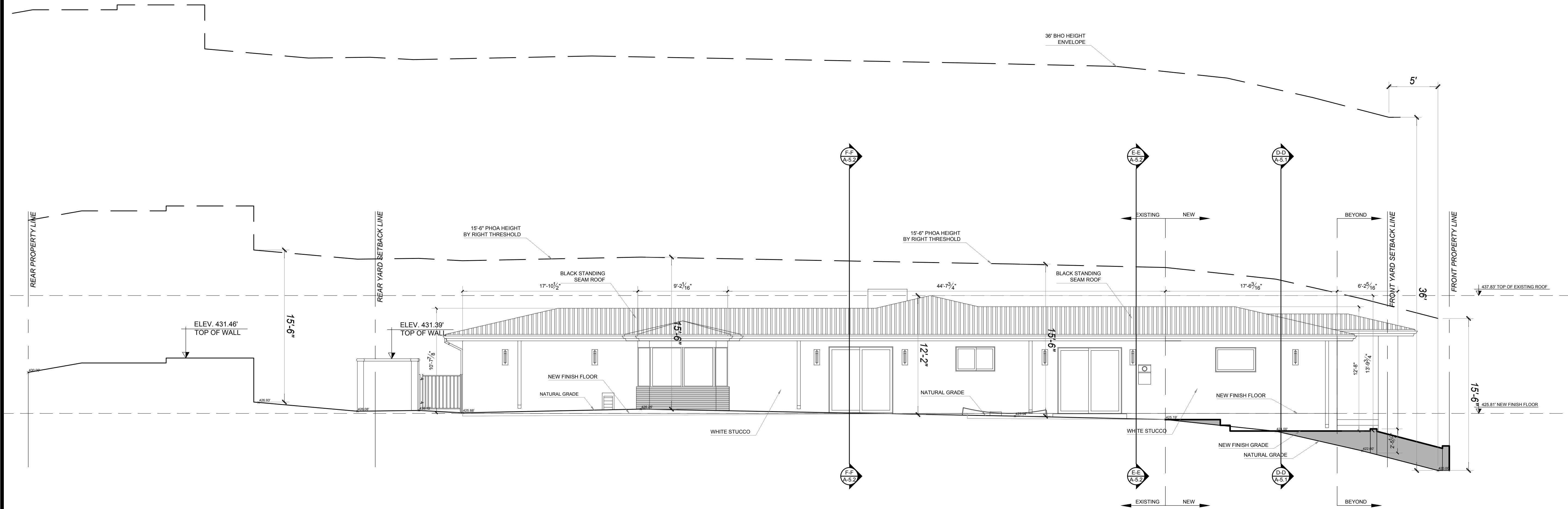
1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.

Title: NEW NORTH & SOUTH ELEVATIONS

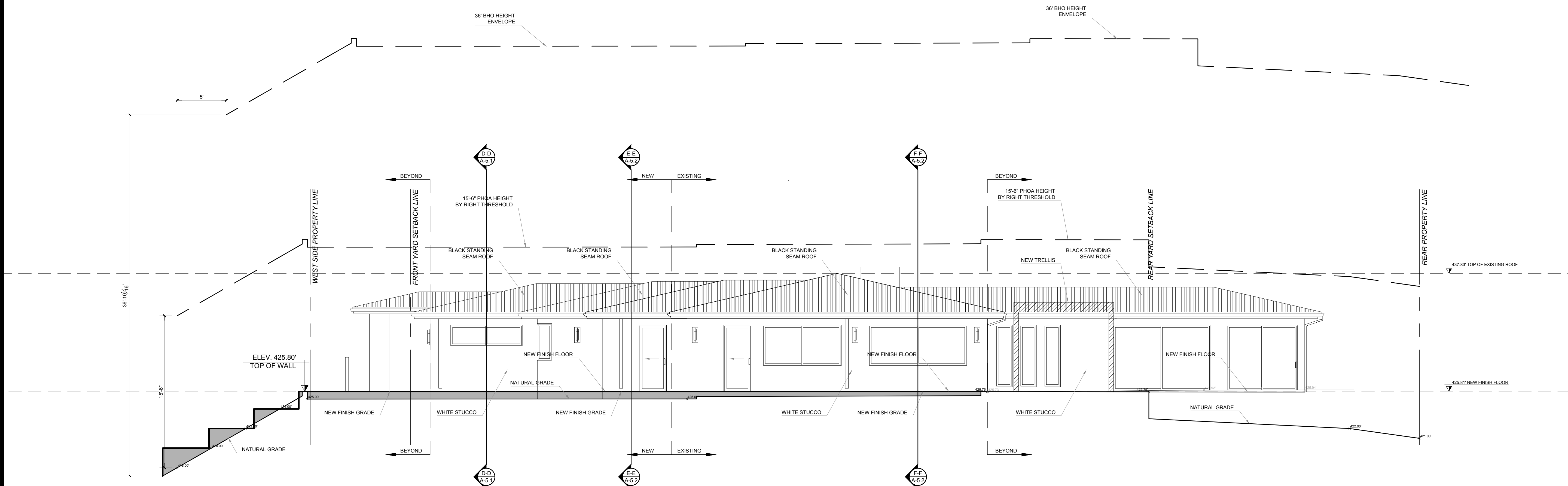
THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY					
PROJECT NUMBER:	SCALE:	ORIG. DWG SIZE: A-D		REV.	
	3/16" = 1'-0"				

Sht.	A-4.0
------	-------



NEW EAST ELEVATION

Scale 3/16" = 1'-0"



NEW WEST ELEVATION

Scale 3/16" = 1'-0"

DRAWING HISTORY

NO.	DATE	TITLE
1	8/2017	PHOA SUBMITTAL SET

Owner:	Stamp:
1124 Las Pulgas, LLC 4751 Wilshire Blvd. #207 Los Angeles, CA 90010	

Job Address:
1124 Las Pulgas Place Pacific Palisades, CA 90272

REV.	DESCRIPTION	DATE	DWN	CHKD	APPD
------	-------------	------	-----	------	------

Designer:

DBG:LA

DESIGN BUILD GROUP LOS ANGELES

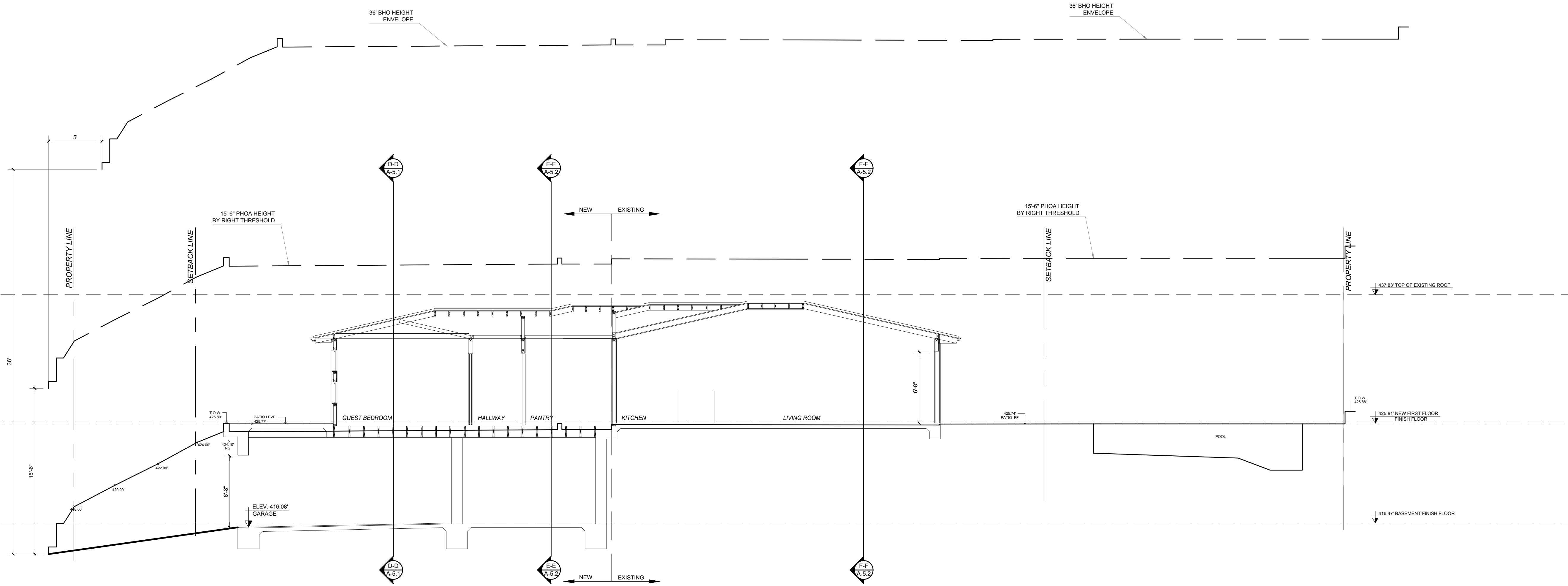
1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.

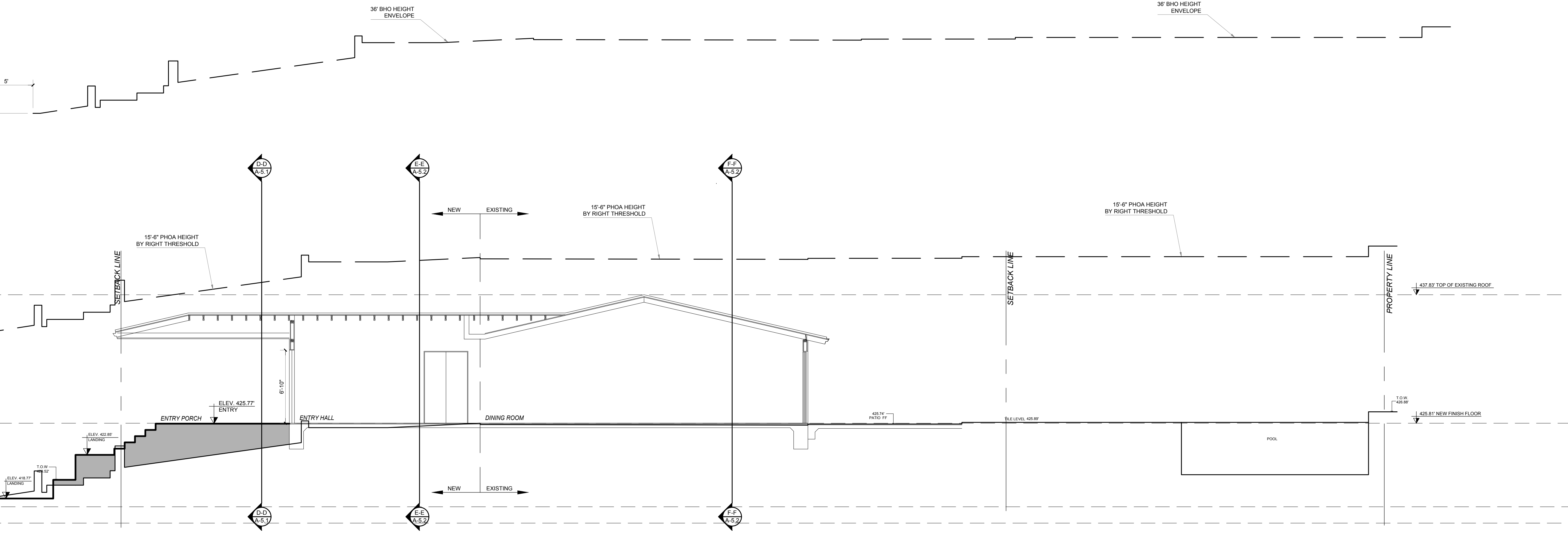
Title:
NEW EAST & WEST ELEVATIONS

THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY					
PROJECT NUMBER:	SCALE:	ORIG. DWG SIZE:	A-D	REV:	
	3/16" = 1'-0"				

Sht.	A-4.1
------	-------



SECTION A-A Scale 3/16" = 1'-0"



SECTION B-B Scale 3/16" = 1'-0"

DRAWING HISTORY

NO.	DATE	TITLE
1	8/2017	PHOA SUBMITTAL SET

Owner:

1124 Las Pulgas, LLC
4751 Wilshire Blvd. #207
Los Angeles, CA 90010

Stamp:

Job Address:
1124 Las Pulgas Place
Pacific Palisades, CA 90272

REV.	DESCRIPTION	DATE	DWN	CHKD	APPD

Designer:

DBG:LA

DESIGN BUILD GROUP LOS ANGELES

1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.

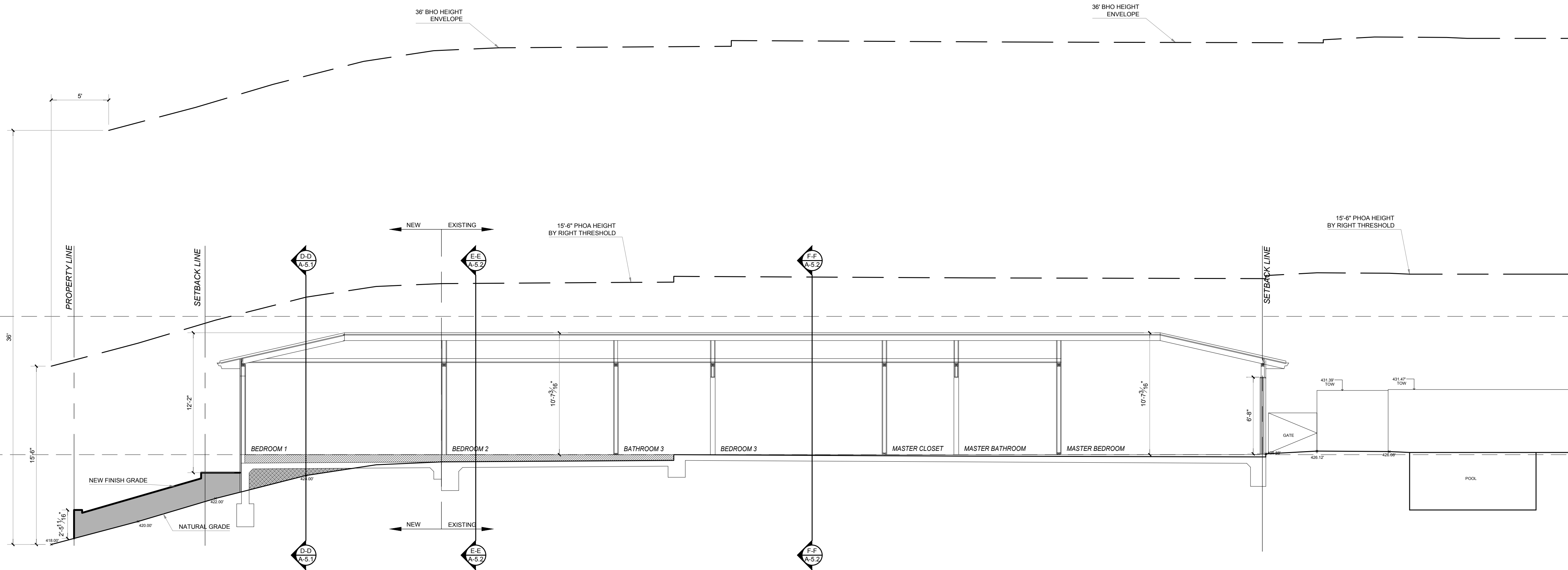
Title:

SECION A-A & B-B

THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY

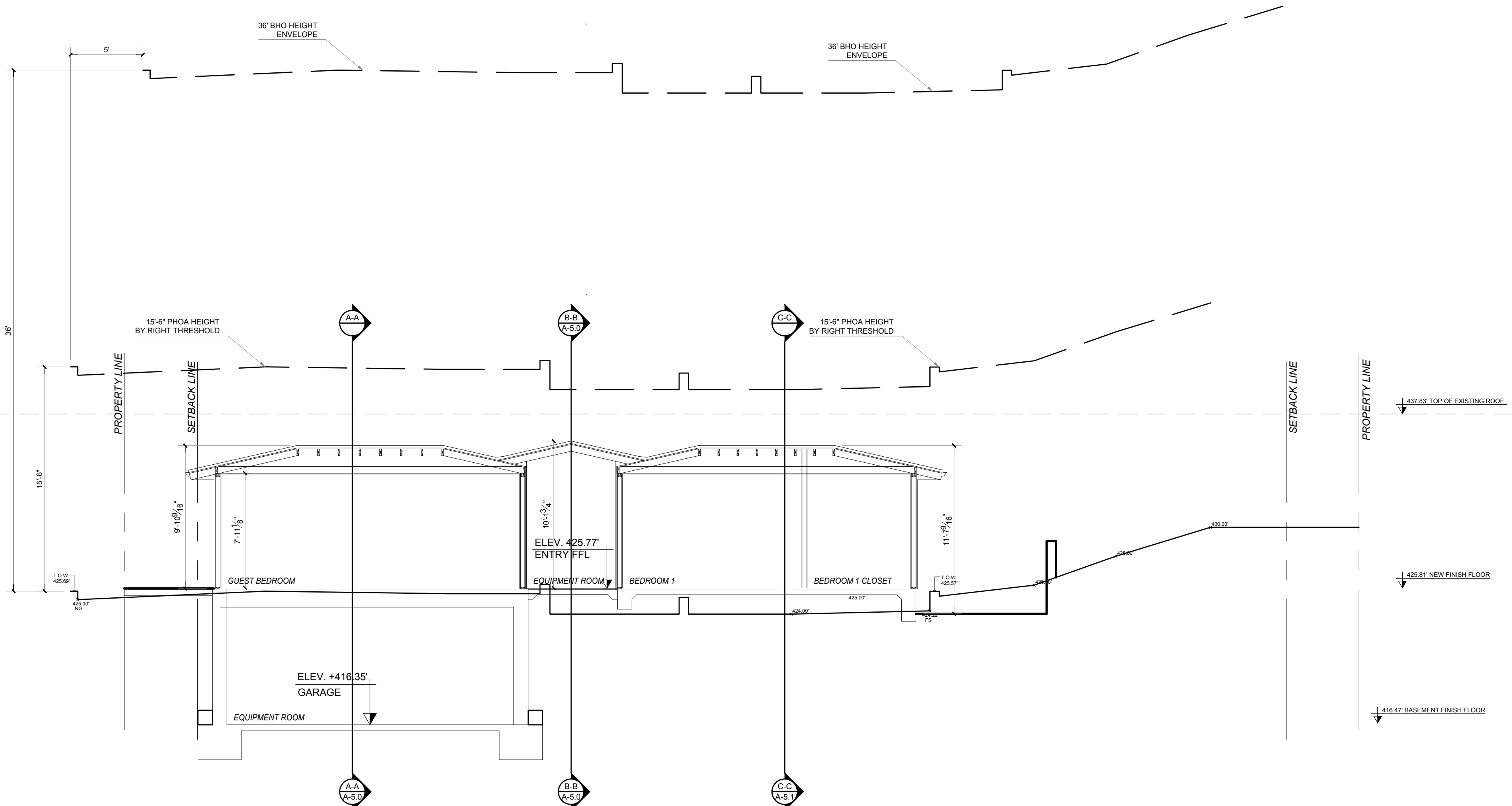
PROJECT NUMBER:SCALE:3/16" = 1'-0"ORIG. DWG SIZE: A-DREV

Sht. A-5.0



SECTION C-C

Scale 3/16" = 1'-0"



SECTION D-D

Scale 3/16" = 1'-0"

DRAWING HISTORY

NO.	DATE	TITLE
1	8/2017	PHOA SUBMITTAL SET

Owner:	Stamp:
1124 Las Pulgas, LLC 4751 Wilshire Blvd. #207 Los Angeles, CA 90010	

Job Address:
1124 Las Pulgas Place Pacific Palisades, CA 90272

REV.	DESCRIPTION	DATE	DWN	CHKD	APPD
------	-------------	------	-----	------	------

Designer:

DBG:LA

DESIGN BUILD GROUP LOS ANGELES

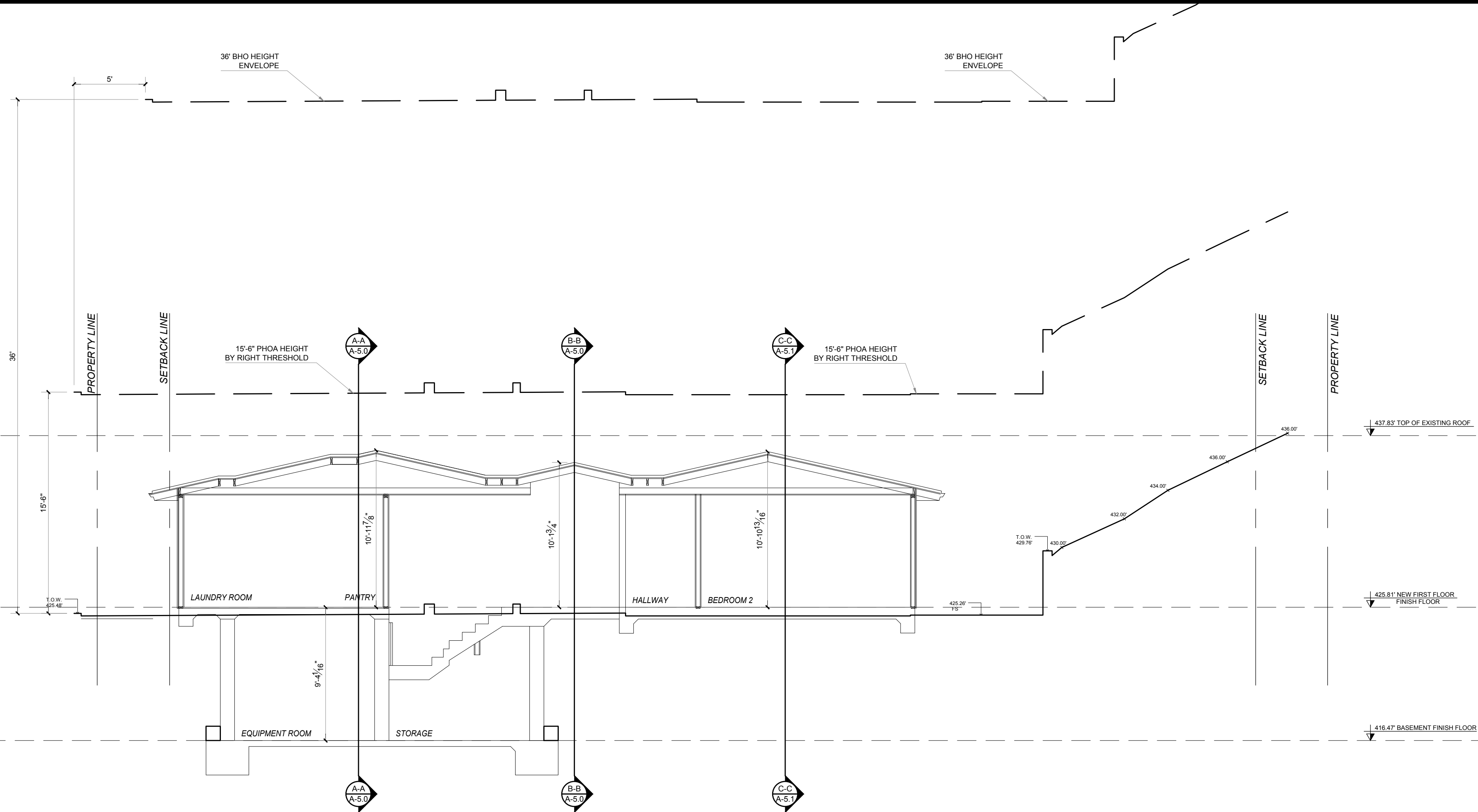
1736 Westwood Blvd Suite #201
Los Angeles, CA 90024
Tel: 310-441-1450 Fax: 310-441-1487

Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.

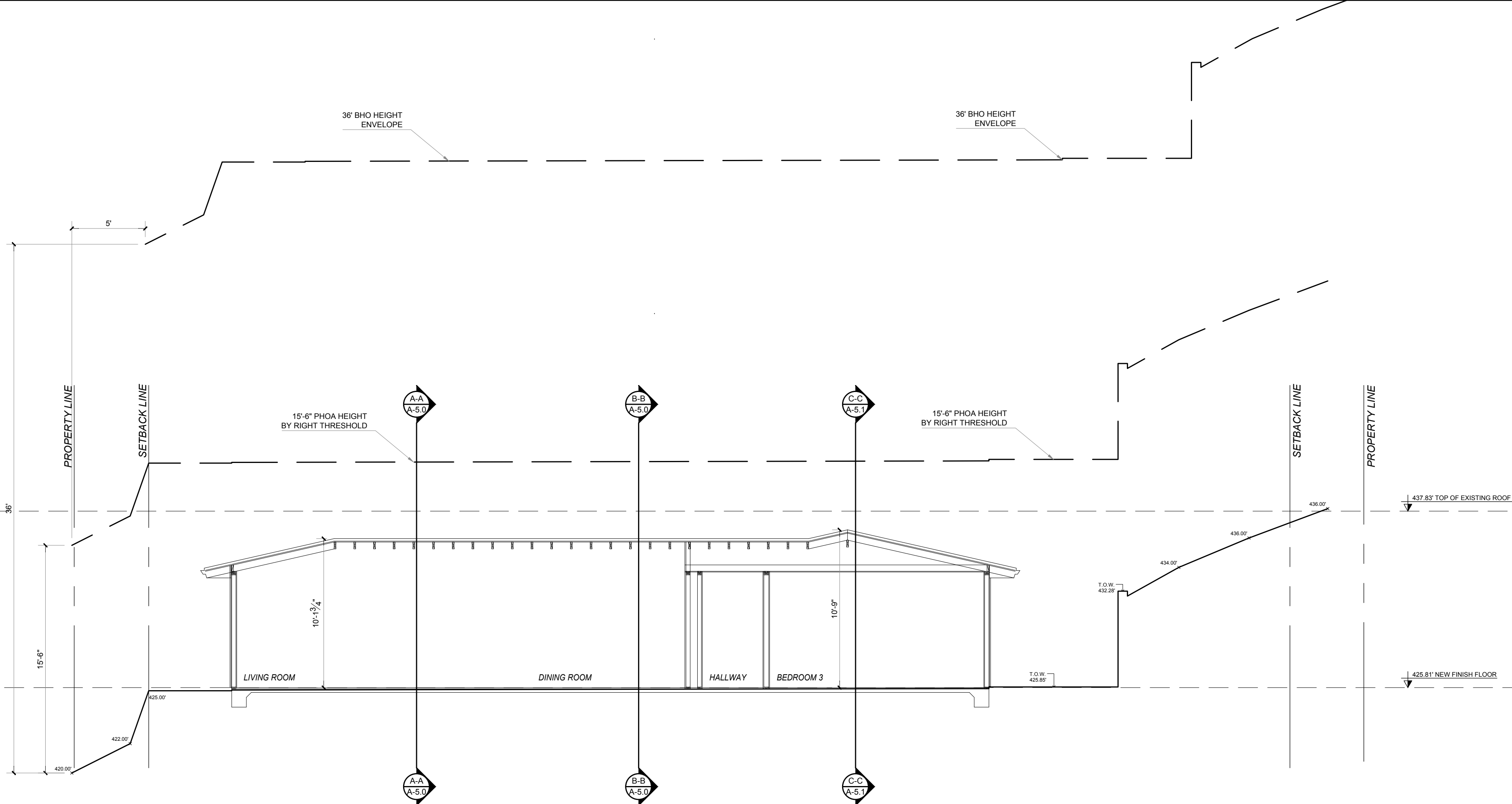
Title:	SECTION C-C & D-D
--------	-------------------

THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY			
PROJECT NUMBER:	SCALE: $\frac{3}{16}" = 1'-0"$	ORIG. DWG SIZE: A-D	REV.

Sht.	A-5.1
------	-------



SECTION E-E Scale 3/16" = 1'-0"



SECTION F-F Scale 3/16" = 1'-0"

DRAWING HISTORY						
NO.	DATE	TITLE				
1	8/2017	PHOA SUBMITTAL SET				
Owner:		Stamp:				
1124 Las Pulgas, LLC 4751 Wilshire Blvd, #207 Los Angeles, CA 90010						
Job Address:						
1124 Las Pulgas Place Pacific Palisades, CA 90272						
REV.	DESCRIPTION	DATE	DWN	CHKD	APPD	
Designer:						
DBG:LA						
DESIGN BUILD GROUP LOS ANGELES						
1736 Westwood Blvd Suite #201 Los Angeles, CA 90024 Tel: 310-441-1450 Fax: 310-441-1487						
Copyright by Design Build Group Los Angeles. All rights reserved. No part of this document may be reproduced, used, or disclosed to any person or company for any purpose without the written permission of Design Build Group Los Angeles.						
Title:						
SECION E-E & F-F						
THIS IS A CAD DRAWING AND MUST NOT BE ALTERED MANUALLY						
PROJECT NUMBER:		SCALE:		ORIG. DWG SIZE: A-D		REV
		3/16" = 1'-0"				
Sht.	A-5.2					