

# **Palisair Home Owners Association**

A NON-PROFIT CORPORATION

P.O. Box 901

Pacific Palisades, CA 90272

[www.palisair.org](http://www.palisair.org)

[palisair@gmail.com](mailto:palisair@gmail.com)

The association itself is the "Tract Committee"  
under the Declaration of Restrictions covering  
Tracts 15944, 15948 and 19890, and operates as  
such through its Board of directors and its Officers

## **PHOA BOARD MEETING**

### **AGENDA**

**NOVEMBER 19, 2018**

**6:30 pm at the Faculty Cafeteria  
at Palisades High School, [15777 Bowdoin Street](#)**

**Homeowners attending, please RSVP at least 24 hours prior to meeting  
by emailing [palisair@gmail.com](mailto:palisair@gmail.com).**

#### **I. Open Forum/ General Comments**

#### **II. Approval of October 15, 2018 meeting minutes**

#### **III. Plans Committee**

1124 Las Pulgas Rd – Hankey: Landscape plans

1120 Las Lomas Schultz: New Construction/Presentation of plans

#### **IV. Landscape Committee Report – S. Weisberg**

#### **V. Treasurer's Report - Emerick**

a. Bank balances and expenses for month

b. Dues delinquencies

#### **VI. Membership & Governance**

a. CC&R Rewrite

b. Sales and escrows

c. Project to update member mailing addresses & email permissions

d. Executive Session report

- e. Preparation for Annual Reporting
  - i. Nominations Committee
  - ii. December mailing

**Other Discussion**

**Next meeting:** December 17, 2018 at 7:00 pm

**Executive Session to follow Board meeting.**

**NOTE: Executive session is closed to the membership per Civil Code §4935.**

**MEETING RULES:** This meeting is open to all Palisair Home Owners Association members and their consultants except attorneys. Others, including attorneys representing a homeowner, are not allowed to attend unless approved in advance by the Board. Members should participate in discussions only when called on by the chairman, should observe any time limit given, and may be required to leave if they disrupt the meeting. No audio or video recording, except by the Secretary, is allowed.

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DRAFT

### PHOA BOARD MEETING MINUTES

NOVEMBER 19, 2018

#### I. President Howard Weisberg Called the meeting to order at 6:39 pm at Palisades High School faculty lounge

Board members present: Howard Weisberg, Suzanne Weisberg, Brian Bradford, Roger Brodrick,, Kathy Wedeking, Dawn Hill. Absent: Chuck Emerick

Consultants present: Kim Bantle, Richard Blumenthal (PHOA Consulting Architect)

Guests present: David & Rachel Schultz, Patrick Souza (Architect for the Schultz's), Dr.Simon Simonian, Cameron Brown, Danielle Heyman & Marielle Galam (Representatives for 1124 Las Pulgas Rd./Hankey)

#### II. Open Forum/ General Comments

Dr. Simonian wanted to know about fire prevention and mitigation in our HOA. Howard responded that he hopes to have a speaker at the annual meeting to address this topic.

#### III. Approval of October 15, 2018 meeting minutes

Suzanne moved to approve the minutes as written. Brian Bradford, seconded. Passed unanimously.

#### IV. Plans Committee

##### a. 1124 Las Pulgas Rd – Hankey: Landscape plans

Kim Bantle described new landscape plans to board. Explained that they had changed Strawberry trees to dwarf variety but Kim felt possible view blockage is still an issue, especially in the future after the trees mature. Cameron Brown, the neighbor from the north side of 1132 Las Pulgas, submitted photos of her current view and expressed concern over potential view blockage by both the size and location of even a dwarf strawberry tree. After discussion between Mrs. Brown and Danelle Heyman and viewing of photos, Kathy Wedeking moved to approve the landscape plan subject to conditions as follows:

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The landscape plan shall have planting material that will grow no higher than existing fence of The Brown/Algert property at 1132 Las Pulgas Rd. And existing hedge foliage where no fence ~~exists~~ is to remain at current height per photos, which is same ~~height~~ as fence. Brian Bradford seconded. Passed unanimously. ~~1124 Las Pulgas to submit revised plans.~~

b. 1120 Las Lomas - Schultz: ~~New Construction; Presentation of Plans~~

~~The Plans Committee recommended that story poles be installed at this property due to the request for a variance for a two-story structure. A neighborhood meeting has been scheduled for December 6 at 4 PM for all of the HOA to view the story poles and plans and ask any questions of the homeowner and their Architect. A email blast will be sent.~~

~~Richard Blumenberg, the PHOA consulting Architect reviewed the plans and found that the existing house was non-conforming to the requirement of the CC&Rs that the front entrance must face the street. The proposed project is non-conforming in the same way. The Plans Committee expressed a concern that the Schultz's shouldn't have to erect story poles without some assurance that the story poles would not have to be redone because of a violation regarding the front entrance. No other violations were found.~~

~~Howard asked Consulting Architect Richard Blumenberg if, given the particular nature of this property, having the front entrance not face the front of the property would in any way be detrimental to the tract, the neighbors, or the property. Richard replied that in his opinion it would not. Kathy Wedeking then moved that the board grant a variance to allow the front entrance to face the same way as with the existing residence. Brian Bradford seconded. Passed unanimously.~~

V. ~~Landscape Committee Report – S. Weisberg~~

~~Suzanne Weisberg stated there is nothing new to report.~~

VI. ~~Treasurer's Report - Emerick~~

a. ~~Bank balances and expenses for month~~

~~Chuck Emerick absent.~~

~~Howard Weisberg discussed budget overages: cost of filing back taxes not in budget, and Legal expenses that exceed our budget for this year. Roger wanted to know why we are spending so much on legal expenses this year compared to last. Howard replied that this support, in his opinion, is vital to our success, given the litigious nature of some of our homeowners. The amount budgeted for legal expenses next year (2019) is more than double the amount in the current year (2018) budget.~~

b. ~~Dues delinquencies~~

~~No report~~

VII. ~~Membership & Governance~~

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a. CC&R Rewrite

No report

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b. Sales and escrows

Suzanne Weisberg reported 3 properties that were reported last month still on the market.

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c. Project to update member mailing addresses & email permissions

Howard reported he will ask the new administrative assistant Michele Wahlig to update the email permissions & mailing addresses as December mailing responses come in.

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d. Executive Session report

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The board voted to proceed with filing a notice of default on 2 home owners

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e. Preparation for Annual Reporting

i. Nominations Committee

Howard Weisberg reported that the nominating committee has proposed a slate of Philip Orosco, Brent Armitage & Suzanne Weisberg. Howard moved that we adopt the slate, Brain Bradford seconded. Passed unanimously.

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ii. December mailing

Howard reported that package will be ready by December 1 for it to be taken to printers. Board ballots to be counted on February 4, 2019. Annual meeting to be held on February 11, 2019 at the Palisades Presbyterian Church meeting hall. Next regular PHOA meeting after that on February 19, 2019.

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Other Discussion

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Future PHOA meeting to be held at Caruso Village Swarthmore Room. Howard outlined the benefits of meeting there rather than at Pali Hi, including a large flat-screen computer monitor, a more secure location for nighttime meetings, and more convenient bathroom facilities. A one-time \$1,000 deposit will be required, but there will be no hourly charge and three hours of free parking will be provided. He asked who will handle the small extra task each month of extending our reservation for the room. Dawn proposed that Michele should handle this task.

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Next meeting: December 17, 2018 at 7:00 pm

Adjourned at 8:55pm

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Executive Session to follow Board meeting.

**NOTE: Executive session is closed to the membership per Civil Code §4935.**

**MEETING RULES:** This meeting is open to all Palisair Home Owners Association members and their consultants except attorneys. Others, including attorneys representing a homeowner, are not allowed to attend unless approved in advance by the Board. Members should participate in discussions only when called on by the chairman, should observe any time limit given, and may be required to leave if they disrupt the meeting. No audio or video recording, except by the Secretary, is allowed.

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Palisair Homeowners Association <palisair@gmail.com>

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## test email

2 messages

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**Palisair Homeowners Association** <palisair@gmail.com>

Wed, Nov 14, 2018 at 4:51 PM

To: Howard Weisberg <hlweisberg0@gmail.com>, Dawn Hill <phoasecretary@gmail.com>

Hi there,  
I managed to get into this email. I'm running it by you just because it's my first time. Seems to look right.  
LMK if not.  
Thanks

Dear Palisair Home Owner,

The next monthly PHOA Board meeting will take place on **Monday, November 19 at 6:30 pm** in the **Faculty Cafeteria at Palisades Charter High School, 15777 Bowdoin Ave.** The agenda is attached.

All members of the PHOA are welcome. If you plan to attend, please RSVP at least 24 hours prior to the meeting by email to: [palisair@gmail.com](mailto:palisair@gmail.com).

More information, including the minutes of past meetings, is available on our website, [www.palisair.org](http://www.palisair.org).

**NOTICE TO MEMBERS:** The deadline for self nominations to be a board member in 2019 is imminent. If you want to be included in the upcoming election for board membership in 2019, please fill out a candidate self-nomination form ASAP and submit it to [Palisair@gmail.com](mailto:Palisair@gmail.com) immediately.

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### 2 attachments

 **11-19-2018 Agenda PHOA Executive Sesssion.pdf**  
102K

 **11-19-2018 AGENDA PHOA Regular Session.pdf**  
117K

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**Howard Weisberg** <hlweisberg0@gmail.com>

Wed, Nov 14, 2018 at 5:45 PM

To: Palisair Homeowners Association <palisair@gmail.com>

Cc: Dawn Hill <phoasecretary@gmail.com>

Thanks for running this by us. It looks fine.

There also should be a similar printed version of the letter to be posted at the library along with the agendas..

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Palisair Homeowners Association <palisair@gmail.com>

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## URGENT Response re: the Schultz Proposed Second Story Addition

1 message

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**Jerry Del Colliano** <jerry@hometheaterreview.com>

Thu, Nov 15, 2018 at 8:43 AM

To: Palisair Homeowners Association <palisair@gmail.com>

Cc: Brian Kahn <briankahn@roadrunner.com>, Krista Del Colliano <Kristalou@gmail.com>

Dear Palisair HOA,

We are just learning of our neighbor's plans to try to build a second story on their home. Literally, we learned of their proposed plans just days ago and asked them to delay as we have MAJOR CONCERNS.

I am even more deeply concerned that the matter of the Schultz Project is on the docket for the HOA meeting as we've barely been given any time to look into the impact of the project which clearly doesn't fit into the CC&R's 15 foot height restriction.

I am worried that with only days notice that I will not be able to make the meeting of the HOA thus I am asking that this matter be formally delayed.

We MUST learn more about this project before we could and ever would sign off. Story poles? Non-biased architectural insights? Geological studies? Light studies? This was only the start of the standard our family was held to when proposing a second story on our home. We expect the same for the Schulz project.

We would like to hear from the HOA on this matter. I am reachable by phone most days at 310.860.9988.

Deeply concerned.

Jerry

CC: Brian Kahn Esq., Krista Del Colliano

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Jerry Del Colliano

Publisher - CEO

[HomeTheaterReview.com](http://HomeTheaterReview.com)

310.860.9988 tel.



Palisair Homeowners Association <palisair@gmail.com>

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## Nobody has responded to my issue about the meeting and Schultz project on Monday

1 message

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**Jerry Del Colliano** <jerry@hometheaterreview.com>  
To: Palisair@gmail.com

Fri, Nov 16, 2018 at 2:03 PM

I need a response from the Palisair here.

Simply delaying any discussion of the project until we can go over my family's concerns will be OK with us.

Note: the HOA has given me only a few days and it is looking as if I might not be able to make the meeting on Monday.

Please get back to me ASAP.

Thank you.

j

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Jerry Del Colliano  
Publisher - CEO  
[HomeTheaterReview.com](http://HomeTheaterReview.com)  
310.860.9988 tel.



Palisair Homeowners Association <palisair@gmail.com>

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## URGENT THIRD REQUEST FOR RESPONSE re: Schultz project

6 messages

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**Jerry Del Colliano** <jerry@hometheaterreview.com>

Mon, Nov 19, 2018 at 8:32 AM

To: Palisair Homeowners Association <palisair@gmail.com>, Palisair@gmail.com

Cc: Brian Kahn <bkahn@iname.com>, Krista Del Colliano <Kristalou@gmail.com>

Dear Palisair,

This is my third email since you gave our family only a few days notice to attend an HOA meeting tonight regarding a massive redevelopment at the Schultz property that we have MEANINGFUL OBJECTIONS TO. It is unlikely that I can make tonight's meeting.

The Palisair HOA has needlessly caused legal conflicts in the past. Our goal is to avoid that however like in the past we will not be ignored or discriminated against. I have brought Brian Kahn, our attorney, into the loop in the event that we must elevate our objections to another level as we are not being given a fair chance to speak.

### To Recap:

- We have concerns about the proposed Schultz home's height. The CC&Rs are clear about 15 foot height limits. As far as I can tell, this proposed additional would be well above that. The current Schultz house already is positioned above our property and to add that much height it will absolutely loom over our property. No story poles have been erected. No architects have been presented. We've gotten nothing but a PDF drawing.
- We live in a geologically sensitive area in the Palisair. We have not had any information provided about the project in terms of how it might effect the properties around us. There is a massive retaining wall from 1982 between the two properties and many issues to explore. Ignoring these issues over at the HOA level is unacceptable.
- We are concerned about light issues as the Schultz were with our project. We hired a professional to do a light study and expect them do to the same.
- I am not sure about the design and features of the house and how it fits into the scope of our community. Our project was rejected because "it was ugly". There still is no design jury in our CC&Rs and we are fearful that this project could be "ugly" also. This could effect our home values and that is a major concern.

### To be clear - we are asking for this matter to be shelved until our objections can be addressed.

We are not looking for conflict here as I told Rachel Schultz on the phone but we will not let this matter go if we are left out of the process. As of right now a) we are being given an unreasonable period of time to plan to attend an HOA meeting b) nowhere near enough information to make an educated decision on the project and c) we are being fully ignored by the HOA in our correspondence.

We insist that we are brought into this conversation and are demanding a response to email after email.

Jerry

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Jerry Del Colliano

Publisher - CEO

[HomeTheaterReview.com](http://HomeTheaterReview.com)

310.860.9988 tel.



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**Palisair Homeowners Association** <palisair@gmail.com>

Mon, Nov 19, 2018 at 10:40 PM

To: Kim Bantle <ksbantle@gmail.com>, Howard Weisberg <hlweisberg0@gmail.com>

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**Palisair Homeowners Association** <palisair@gmail.com>

Tue, Nov 20, 2018 at 2:51 PM

To: Del Colliano <jerry@hometheaterreview.com>

Cc: bkahn@iname.com, Krista Del Colliano <Kristalou@gmail.com>

Hello Jerry,

I apologize for the delay in responding. We are transitioning to a new person responsible for checking e-mail, but she is a quick learner and we should be able to do better in the future.

Please be assured that our consideration last night of the addition is only a small step in the process of considering the Schultz application. The purpose of the meeting was to introduce the board to the project and hear a review by our architect. In addition we considered a basic issue with the plans as constituted, related to Article III Section 6, Residences to Face Front Lines. The board voted to issue a variance to allow the residence to face as proposed (and as the existing house faces). More details of our action will be contained in the minutes of the meeting, which will be posted after approval. We took this action because it would not make sense for the Shultzes to proceed to story poles until and unless we gave this approval.

We also decided to proceed with story poles and a neighborhood meeting. The meeting will be held on December 6 at the Schultz residence. It will be noticed to all the membership in the usual way. In addition, we will notify the possibly affected neighbors, of course including you, by U.S. Mail. All members are welcome to provide comment at that meeting, by mail prior to the next regular meeting which will be held On December 17 at 6:30 PM, or in person at the regular meeting. Depending on the member response received by that time, we may take up ruling on the application at that time.

I can assure you that we are just as interested as you are in providing transparency, following all rules and regulations, enforcing the CC&Rs, and reaching a conclusion in a timely way.

Thanks,

Howard Weisberg

PHOA President

[Quoted text hidden]

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**Jerry Del Colliano** <jerry@hometheaterreview.com>

Tue, Nov 20, 2018 at 2:57 PM

To: Palisair Homeowners Association <palisair@gmail.com>

Cc: Krista Del Colliano <Kristalou@gmail.com>, Brian Kahn <bkahn@iname.com>

Howard,

How do I reach you directly? Phone? Email? We have become very frustrated with the poor communications and were talking with Brian Kahn about filing a TRO (temporary restraining order) as the HOA was basically unresponsive thus we are left with no other option.

The pace of this project is going too fast for us right now. We were given too little time to attend last night - mere days. We need to look at December 6, 2018 as well. I will do my best to be able to attend but I travel a lot as well as care for my son as my wife works late at Amazon Studios.

We are doing our level best to be conflict adverse but our history with the Palisair HOA is not a good one as I know you know. We've been badly discriminated against in the past and expect our interest in the future to be well taken care of by the HOA.

We have many objections to this project that will need to be addressed fully to keep from this being a problem.

Thank you in advance for your help here.

j

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Jerry Del Colliano  
Publisher - CEO  
[HomeTheaterReview.com](http://HomeTheaterReview.com)  
310.860.9988 tel.

Hello Jerry,

I apologize for the delay in responding. We are transitioning to a new person responsible for checking e-mail, but she is a quick learner and we should be able to do better in the future.

Please be assured that our consideration last night of the addition is only a small step in the process of considering the Schultz application. The purpose of the meeting was to introduce the board to the project and hear a review by our architect. In addition we considered a basic issue with the plans as constituted, related to Article III Section 6, Residences to Face Front Lines. The board voted to issue a variance to allow the residence to face as proposed (and as the existing house faces). More details of our action will be contained in the minutes of the meeting, which will be posted after approval. We took this action because it would not make sense for the Shultzes to proceed to story poles until and unless we gave this approval.

We also decided to proceed with story poles and a neighborhood meeting. The meeting will be held on December 6 at the Schultz residence. It will be noticed to all the membership in the usual way. In addition, we will notify the possibly affected neighbors, of course including you, by U.S. Mail. All members are welcome to provide comment at that meeting, by mail prior to the next regular meeting which will be held On December 17 at 6:30 PM, or in person at the regular meeting. Depending on the member response received by that time, we may take up ruling on the application at that time.

I can assure you that we are just as interested as you are in providing transparency, following all rules and regulations, enforcing the CC&Rs, and reaching a conclusion in a timely way.

Thanks,

Howard Weisberg

PHOA President

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**Palisair Homeowners Association** <palisair@gmail.com>  
To: Del Colliano <jerry@hometheaterreview.com>  
Cc: Krista Del Colliano <Kristalou@gmail.com>, bkahn@iname.com

Tue, Nov 20, 2018 at 3:16 PM

Jerry, please continue to communicate by e-mail using this address. I will ask our assistant to check the e-mail more often and I will get back to you as quickly as I can.

[Quoted text hidden]

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**Jerry Del Colliano** <jerry@hometheaterreview.com>

Tue, Nov 20, 2018 at 3:19 PM

To: Palisair Homeowners Association <palisair@gmail.com>

Cc: Krista Del Colliano <Kristalou@gmail.com>, Brian Kahn <bkahn@iname.com>

So far - this has been a poor way for us to communicate with the HOA.

If I file for a restraining order - you will likely have to check in with your Lloyd's of London policy which isn't good thus why I asked for the courtesy of a phone number and direct email. As I said before, we are trying to be as "conflict adverse" as possible but we will not just be ignored here.

Literally, we were working on the TRO today because we have been so badly ignored by the HOA on this matter.

j

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Jerry Del Colliano

Publisher - CEO

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310.860.9988 tel.

Jerry, please continue to communicate by e-mail using this address. I will ask our assistant to check the e-mail more often and I will get back to you as quickly as I can.



Palisair Homeowners Association <palisair@gmail.com>

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## HOW COULD THE HOA IGNORE the neighbors re: Schultz project?

1 message

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**Jerry Del Colliano** <jerry@hometheaterreview.com>

Tue, Nov 20, 2018 at 4:45 PM

To: Brian Kahn <bkahn@iname.com>

Cc: Palisair Homeowners Association <palisair@gmail.com>, Krista Del Colliano <Kristalou@gmail.com>, Essey Gharib <eskandargharib@gmail.com>

Howard,

I just spoke with Essey Gharib (our neighbor to both the north and east) and he knows NOTHING about the Schultz project. He wasn't invited specifically to attend the meeting last night when he shares a hill with the Schultz project.

We demand that you rescind your decision from last night so that the HOA can do the exact same specific due diligence on the Schultz project that was demanded of me. Light studies. Geological studies. Architectural studies. More, if needed.

We are VERY, VERY unhappy with the HOA's actions and will not lay back and allow this to proceed.

Once again - we demand that any approval of the Schultz project be pulled ASAP and confirmed with all parties involved ASAP.

Please confirm.

j

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Jerry Del Colliano

Publisher - CEO

[HomeTheaterReview.com](http://HomeTheaterReview.com)

310.860.9988 tel.



Palisair Homeowners Association <palisair@gmail.com>

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## No neighbor's knew about Schultz?

1 message

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**Jerry Del Colliano** <jerry@hometheaterreview.com>

Tue, Nov 20, 2018 at 5:14 PM

To: Palisair Homeowners Association <palisair@gmail.com>

Cc: Brian Kahn <bkahn@iname.com>, Krista Del Colliano <Kristalou@gmail.com>

Howard,

I just spoke with Dennis Mendell and he had ZERO CONCEPT of the project. This effects him and others in meaningful ways.

Basically, none of the effected neighbors knew about this proposed second story project as far as I can tell.

We DEMAND that any approvals are reversed at once.

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Jerry Del Colliano  
Publisher - CEO  
[HomeTheaterReview.com](http://HomeTheaterReview.com)  
310.860.9988 tel.



Palisair Homeowners Association <palisair@gmail.com>

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## I am asking the Palisair HOA to reverse ANY decisions made about the Schultz second story project before seeking additional legal action...

2 messages

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**Jerry Del Colliano** <jerry@hometheaterreview.com>

Wed, Nov 21, 2018 at 4:25 PM

To: Palisair Homeowners Association <palisair@gmail.com>

Cc: "Kahn, Brian" <bkahn@cgdrblaw.com>, Krista Del Colliano <Kristalou@gmail.com>, Margye Baumgartner <margye.sb@verizon.net>, Dennis Mendel <ddmendel@aol.com>, Essey Gharib <eskandargharib@gmail.com>

Dear Howard and Palisair HOA,

I wanted to reach out to you one more time in hopes of the HOA reversing its actions from Monday regarding the Schultz second story addition. As you know, in the past the Del Colliano family has been ignored when trying to work with the HOA to settle matters thus resulting in a pretty major law suit. With different people running the HOA now, I wanted to give the board yet another chance to avoid a legal matter that could be easily settled with an open and fair dialog.

Last night, I called each of my neighbors and its come to my attention that each and every one of them knows little to nothing about the proposed Schultz project. They are all concerned as are we. Article 3 Section 1 of the CC&Rs states that the board can approve a project that has a height above 15.5 feet however not without consulting the effected neighbors. It is clear that none of the neighbors have been consulted and that in our case we were given mere days to attend a meeting and when we informed the board of a) our objections and b) our inability to attend - we were fully ignored. We are asking for the Palisair Board to follow the stated rules in the CC&Rs.

What I would like to see happen is the HOA immediately, in writing, reverse any decision made on Monday and open up a dialog with the effected neighbors as there are potentially many millions of dollars of damages being discussed here. There are meaningful architectural issues. There are major issues of light and privacy. There are potentially catastrophic geological issues and much more to discuss. With my proposed addition the HOA took into consideration everyone's opinion and I additionally spent tens upon tens upon tens of thousands of dollars on geological studies, light studies, outside and unbiased architectural opinions and beyond. We demand the same consideration be given to this matter. We expect no rush to a decision but we expect the HOA to act if a fair way and to communicate professionally.

Please respond by 12:00 PM PST Monday or we will take your non-response as a "no" and move forward.

Jerry Del Colliano

—

Jerry Del Colliano

Publisher - CEO

[HomeTheaterReview.com](http://HomeTheaterReview.com)

310.860.9988 tel.

---

**Palisair Homeowners Association** <palisair@gmail.com>  
To: Del Colliano <jerry@hometheaterreview.com>

Wed, Nov 21, 2018 at 5:13 PM

Cc: bkahn@cgdrblaw.com, Krista Del Colliano <Kristalou@gmail.com>, Margye Baumgardner <margye.sb@verizon.net>, ddmendel@aol.com, Eskandar Gharib <eskandargharib@gmail.com>

This is to confirm that I have received and reviewed your e-mails.

As I outlined in my response yesterday, we are near the beginning of a multi-step process. There will be opportunity for all interested neighbors to learn about and comment on the proposed project.

[Quoted text hidden]



Howard 39 <hlweisberg0@gmail.com>

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## Fwd: Schultz's proposed construction

2 messages

---

**Valerie Henderson** <vrhenderson@gmail.com>  
To: hlweisberg0@gmail.com

Mon, Nov 26, 2018 at 7:26 PM

Hi Howard: For some reason, your email bounced back. Below is a note I sent to you, Kim and Brain.

Valerie

----- Forwarded message -----

From: **Valerie Henderson** <vrhenderson@gmail.com>

Date: Mon, Nov 26, 2018 at 6:59 PM

Subject: Schultz's proposed construction

To: Kim Bantle <ksbantle@gmail.com>, <hlweisbergO@gmail.com>, Brian Bradford  
<bwbbradford@aol.com>

Hello all: I am Rachel and David's neighbor at 1126 Las Lomas. I can not make it to the meeting next week as I will be out of town. I thought I would send an email to let you know that based on what we have seen so far, my husband and I are in support of the proposed plan put forth by the Schultz's. It seems to us that the plans have thoughtfully taken into account the neighbors all around them.

Please let me know if you would like to discuss further.

Valerie Henderson  
1126 Las Lomas Ave.

---

**Howard Weisberg** <hlweisberg0@gmail.com>  
To: vrhenderson@gmail.com

Mon, Nov 26, 2018 at 9:48 PM

Thanks you Valerie. I will report this at the neighborhood meeting.

--Howard Weisberg  
[Quoted text hidden]





Howard 39 <hlweisberg0@gmail.com>

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## Fwd: I am asking the Palisair HOA to reverse ANY decisions made about the Schultz second story project before seeking additional legal action...

2 messages

---

**Palisair Homeowners Association** <palisair@gmail.com>  
To: Howard Weisberg <hlweisberg0@gmail.com>

Tue, Nov 27, 2018 at 9:28 PM

----- Forwarded message -----

From: **Jerry Del Colliano** <jerry@hometheaterreview.com>

Date: Tue, Nov 27, 2018 at 3:35 PM

Subject: Re: I am asking the Palisair HOA to reverse ANY decisions made about the Schultz second story project before seeking additional legal action...

To: Palisair Homeowners Association <palisair@gmail.com>

Cc: Kahn, Brian <bkahn@cgdrblaw.com>, Krista Del Colliano <Kristalou@gmail.com>, Margye Baumgartner <margye.sb@verizon.net>, Dennis Mendel <ddmendel@aol.com>, Essey Gharib <eskandargharib@gmail.com>

Howard,

Thank you for getting back to me.

My attorney is going to respond to the HOA's attorney later today. My main issue is that I can't make a 12/6 meeting as I have prior commitments. I am suggesting that we look at dates after the holidays and past the CES show (early January) to look into the project. Respectfully, my schedule is too much in the air to be able to easily book evening meetings with a week's notice in many cases. I wish that wasn't the case but it is.

Thank you for your consideration.

j

—

Jerry Del Colliano

Publisher - CEO

[HomeTheaterReview.com](http://HomeTheaterReview.com)

310.860.9988 tel.

Dear Jerry,

I am sorry for the delay in getting back to you about this, however the combination of the Thanksgiving holiday and the fact that Palisair's attorney just returned this morning after being out of town for the past several weeks made it impossible to meet your noon deadline today. In any event, I want to make it clear that the approval given at the last meeting was only designed to allow the board and the Schultzes to move forward with the architectural review process. It has nothing to do with the height of the Schultz's proposed project nor does it involve any geological issues, interfere with light, or impact privacy. The approval was

also only preliminary in nature so the board is more than willing to re-evaluate our decision if you (or anybody else) has an issue related to that approval in the future.

Another thing I want to make clear is that the board fully intends on thoroughly evaluating the Schultz project. The board also plans on giving everyone affected by the project a fair opportunity to review it and express their concerns before it makes any final decisions. As part of that, there will be an open meeting on December 6<sup>th</sup> at the Schultz residence where everyone will have a chance to view the story poles and discuss the project. As I mentioned to you in my November 20<sup>th</sup> email, we will also notify everyone that we believe may be affected by this project personally of this meeting and continue to keep them informed of any developments.

Rest assured that the board completely understands your concerns here and is committed to having an open dialogue with everyone affected by the Schultz's project. To that end, if you or any of the other affected owners have questions or concerns about anything related to the Schultz's project, please do not hesitate to email the board at [palisair@gmail.com](mailto:palisair@gmail.com). As I mentioned earlier, the board is taking steps to ensure it is as responsive as it can be to any emails it receives. Please also rest assured that the board is committed to complying with Palisair's CC&Rs throughout every step of this project and will be working closely with Palisair's attorney to make sure it does just that. Thank you.

Howard Weisberg

PHOA President

---

**Howard Weisberg** <hlweisberg0@gmail.com>  
To: Aaron Schwarzkopf <aschwarzkopf@adamsstirling.com>

Wed, Nov 28, 2018 at 9:40 AM

This came in today.

[Quoted text hidden]



Howard 39 <hlweisberg0@gmail.com>

---

## Fwd: PHOA Board Neighborhood Meeting - Dec 6th at 6:30pm

3 messages

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**Palisair Homeowners Association** <palisair@gmail.com>

Tue, Dec 4, 2018 at 5:10 PM

To: Howard Weisberg <hlweisberg0@gmail.com>, Kim Bantle <ksbantle@gmail.com>, Brian Bradford <bwbbradford@aol.com>

----- Forwarded message -----

From: **Doug Baron** <doug.baron@verizon.net>

Date: Wed, Nov 28, 2018 at 8:29 PM

Subject: RE: PHOA Board Neighborhood Meeting - Dec 6th at 6:30pm

To: Palisair Homeowners Association <palisair@gmail.com>

So looking at the lot.

They can do a 2 story by going down like I did.

I will try to be there but on 1<sup>st</sup> look I say NO.

Why should we let anyone do 2 story when the rest of us did what is allowed and went down to get more sqr feet.

Doug Baron 1120 & 1122 El Medio Ave 1-213-709-8957

**From:** Palisair Homeowners Association <palisair@gmail.com>

**Sent:** Wednesday, November 28, 2018 4:10 PM

**To:** halerdley <palisair@gmail.com>

**Subject:** PHOA Board Neighborhood Meeting - Dec 6th at 6:30pm

## ANNOUNCEMENT – NEIGHBORHOOD MEETING RE 1120 LAS LOMAS

On Thursday, December 6, at 4:00 PM the Board of the PHOA will hold a neighborhood meeting to review the plans for proposed construction at 1120 Las Lomas Avenue, owned by David and Rachel Schultz. The meeting will be held at the Schultz residence at 1120 Las Lomas Avenue.

The Schultz family is requesting a variance for a two-story home. Story poles for the proposed construction will be installed shortly after Thanksgiving.

The Schultzes and their Architect will be present to explain the plans and answer questions at this meeting. The plans and renderings will also be available for neighbors to see. The PHOA consulting Architect reviewed the plans and presented his findings to the Board at the monthly meeting on November 19. No decision will be made on the requested height variance until the neighbors have had a chance to view the story poles and provide feedback, and until or after the regular monthly board meeting scheduled for 6:30 PM on December 17.

Please RSVP if you plan to attend the neighborhood meeting by emailing [palisair@gmail.com](mailto:palisair@gmail.com).

Copies of agendas for the meeting are enclosed.

All members of the PHOA are welcome to attend.

Sincerely,

Your PHOA Board of Directors

---

**Kim Bantle** <[ksbantle@gmail.com](mailto:ksbantle@gmail.com)>

Tue, Dec 4, 2018 at 6:41 PM

To: Palisair Homeowners Association <[palisair@gmail.com](mailto:palisair@gmail.com)>

Cc: Brian Bradford <[bwbbbradford@aol.com](mailto:bwbbbradford@aol.com)>, Howard Weisberg <[hlweisberg0@gmail.com](mailto:hlweisberg0@gmail.com)>

Why does it say the meeting is at 6:30p in the subject line?

[Quoted text hidden]

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**Howard Weisberg** <[hlweisberg0@gmail.com](mailto:hlweisberg0@gmail.com)>

Tue, Dec 4, 2018 at 7:12 PM

To: Kim Bantle <[ksbantle@gmail.com](mailto:ksbantle@gmail.com)>

Cc: Palisair Homeowners Association <[palisair@gmail.com](mailto:palisair@gmail.com)>, Brian Bradford <[bwbbbradford@aol.com](mailto:bwbbbradford@aol.com)>

I can't figure out why.

I hate G-mail. I cant find the e-mail blast itself.

I am sending a note to Michele to include the correct time in big print in the new e-mail she is sending out:


[Quoted text hidden]



SHEET INDEX									
SEQUENCE NUMBER	SHEET NUMBER	SHEET DESCRIPTION	DATE / DESCRIPTION	2018/10/15	HOA SUBMITTAL	2018/11/08	HOA SUBMITTAL		
ARCHITECTURAL									
1	A001	COVER SHEET		●	●				
2	A002	PROPOSED 3D RENDERING ILLUSTRATIONS		●	●				
3	A081	AREA PLANS AND RESIDENTIAL FLOOR AREA CALCULATIONS		●	●				
4	A091	SITE SURVEY		●	●				
5	A111	PROPOSED SITE PLAN		●	●				
6	A201	EXISTING FLOOR PLAN		●	●				
7	A211	PROPOSED FIRST LEVEL FLOOR PLAN		●	●				
8	A221	PROPOSED SECOND LEVEL FLOOR PLAN		●	●				
9	A231	PROPOSED ROOF PLAN		●	●				
10	A311	PROPOSED EXTERIOR ELEVATIONS		●	●				
11	A312	PROPOSED EXTERIOR ELEVATIONS		●	●				
12	A411	PROPOSED BUILDING SECTIONS			●				
13	A412	PROPOSED BUILDING SECTIONS			●				
14	A413	PROPOSED BUILDING SECTIONS			●				
15	A414	PROPOSED BUILDING SECTIONS			●				
STRUCTURAL									

<h1 style="margin: 0;">SEPARATE PERMITS</h1>	
<p><b>A SEPARATE APPLICATION AND PERMIT IS REQUIRED FOR:</b></p> <ol style="list-style-type: none"> <li>A. GRADING/EXCAVATION/BACKFILL/REMOVAL AND RECOMPACTION</li> <li>B. WALLS AND PAVING LOCATED WITHIN THE REQUIRED FRONT SETBACK</li> <li>C. RETAINING WALLS OVER 3 FEET IN HEIGHT</li> <li>D. GARDEN WALLS OVER 6 FEET IN HEIGHT</li> <li>E. SWIMMING POOLS/SPA</li> <li>F. ACCESSORY BUILDINGS</li> <li>G. GAME COURTS</li> <li>H. FIRE SPRINKLER SYSTEM</li> <li>I. DEMOLITION OF ANY EXISTING STRUCTURE WHICH REQUIRED A BUILDING PERMIT TO BE CONSTRUCTED. BUILDINGS OR STRUCTURES SHALL BE CERTIFIED AS BEING FREE FROM ASBESTOS BY A CERTIFIED PERSON OR FIRM PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT.</li> </ol> <p style="padding-left: 40px;">A SEPARATE PERMIT IS REQUIRED FOR ASBESTOS REMOVAL.</p> <ol style="list-style-type: none"> <li>J. TREE REMOVAL</li> <li>K. ELECTRICAL WORK</li> <li>L. MECHANICAL WORK</li> <li>M. PLUMBING WORK</li> </ol>	
<h1 style="margin: 0;">BEST MANAGEMENT PRACTICES</h1>	
<p><b>BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES</b></p> <p>STORM WATER POLLUTION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES / MINIMUM WATER QUALITY PROTECTION REQUIREMENTS FOR ALL DEVELOPMENT CONSTRUCTION PROJECTS / CERTIFICATION STATEMENT:</p> <ol style="list-style-type: none"> <li>1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.</li> <li>2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.</li> <li>3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.</li> <li>4. NON-STORM WASHING RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.</li> <li>5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.</li> <li>6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.</li> <li>7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENT FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.</li> <li>8. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.</li> </ol> <p><b>EROSION AND SEDIMENT CONTROLS:</b></p> <ol style="list-style-type: none"> <li>1. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES.</li> <li>2. EROSION CONTROL MEASURES SHALL BE INSTALLED AS PER THE APPROVED GRADING &amp; EROSION CONTROL PLANS.</li> <li>3. ALL OPERATIONAL STORM DRAIN INLETS SHALL BE PROTECTED FROM SEDIMENT INFLOW.</li> <li>4. SEDIMENT CONTROL MEASURES (TRAPS, FILTERS, BARRIER, ETC.) SHALL BE MAINTAINED AT ALL TIMES.</li> <li>5. TEMPORARY SOIL STOCK AND OTHER STOCK PILED GRANULAR MATERIALS SHALL BE KEPT COVERED, CONTAINED OR BERMED.</li> <li>6. SEDIMENT-LADEN RUNOFF SHALL NOT FLOW UNDER, AROUND OR THROUGH DIVERSION STRUCTURES.</li> <li>7. SEDIMENT, SEDIMENT-LADEN RUNOFF OR DEWATERING EFFLUENT SHALL NOT FLOW OFF THE SITE.</li> <li>8. SEDIMENT, DEBRIS OR MUD SHALL NOT BE DEPOSITED OR TRACKED ONTO PUBLIC ROADS OR RIGHTS-OF-WAY.</li> <li>9. SEEDING OR LANDSCAPED AREAS SHALL BE MAINTAINED TO PROVIDE EFFECTIVE GROUND COVER.</li> </ol> <p><b>CHEMICAL AND WASTE CONTROLS:</b></p> <ol style="list-style-type: none"> <li>1. ALL CHEMICALS (PAINT, FUELS, CONCRETE MIX, FERTILIZER, ETC.) SHALL BE PROPERLY STORED TO PREVENT STORM WATER CONTAMINATION.</li> <li>2. ALL WASTE PRODUCTS (BUILDING MATERIALS, WOOD, SHEET METAL, BROKEN CONCRETE OR PAVING, PAINTS, ETC.) SHALL BE DISPOSED OF OR RECYCLED PROPERLY.</li> <li>3. ALL CONTAMINATED MATERIALS GENERATED DURING CONSTRUCTION SHALL BE PROPERLY CONTAINED, TREATED OR DISPOSED OF.</li> <li>4. ALL STORM DRAIN INLETS IN THE VICINITY OF THE SITE SHALL BE PROTECTED FROM INFLOW DURING SAW-CUTTING, SEALING, PAVING, AND BUILDING WASHING OPERATIONS.</li> <li>5. ALL HEAVY EQUIPMENT SHALL BE PARKED IN A DESIGNATED AREA, WELL AWAY FROM STORM DRAIN INLETS.</li> <li>6. ALL EQUIPMENT REPAIRED OR MAINTAINED ON SITE, SHALL HAVE DRIP PANS, ABSORBENT PADS, BERMS OR OTHER METHODS USED TO PREVENT CONTAMINATION OF SOIL RUNOFF.</li> <li>7. A SPILL RESPONSE PLAN SHALL BE IN PLACE AND ALL SPILLS SHALL BE CLEANED UP PROPERLY AND PROMPTLY USING DRY CLEANING METHODS.</li> <li>8. TRASH RECEPTACLES SHALL BE PROVIDED FOR CONTAINING SOLID WASTES GENERATED ON SITE, AND SHALL BE COVERED DURING THE RAINY SEASON.</li> <li>9. ALL CHEMICAL SPILLS OR LEAKS (STAINS, SLUDGES, ETC.) ON SITE SHALL BE TAKEN CARE OF IMMEDIATELY.</li> <li>10. CHEMICALS, CONTAMINATED RUNOFF, LITTER, BLOWING DEBRIS OR DUST SHALL BE PROPERLY MAINTAINED ON SITE AND REMOVED APPROPRIATELY.</li> <li>11. CHEMICAL WASTES, SLURRIES, WASH WATERS, VEHICLE FLUIDS, OR OTHER DISCHARGES SHALL BE HANDLED APPROPRIATELY AND NOT ALLOWED TO ENTER STORM DRAIN INLETS.</li> <li>12. LAWN CLIPPINGS, PRUNING WASTE OR YARD WASTE SHALL NOT BE DISPOSED OF IN THE STREET, GUTTERS OR STORM DRAIN INLETS.</li> </ol> <p>AS OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.</p>	
Print Name: _____ <div style="border: 1px solid black; width: 100%; height: 1.2em; margin-top: 2px;"></div>	(Owner or authorized agent of the owner)
Signature: _____ <div style="border: 1px solid black; width: 100%; height: 1.2em; margin-top: 2px;"></div>	Date: _____
(Owner or authorized agent of the owner)	

[illegible]




# SCHULTZ R

## ADDITION and

### 1120 N. LAS LOMAS AVENUE,

PROJECT SUMMARY	
<b>PROJECT ADDRESS:</b>	1120 N. LAS LOMAS AVENUE LOS ANGELES, CA – 90272
<b>SCOPE OF WORK:</b>	MAJOR RESIDENCE REMODEL CONSISTING OF REMOVING 1,885.25 SQ.FT. OF EXISTING ONE STORY SINGLE FAMILY DWELLING AND DEMOLISHING THE EXISTING 376.45 SQ.FT. 2-CAR GARAGE, AND THE ADDITION OF 3,902.40 SQ.FT. TWO STORY S.F.D. TO THE REMAINING 18'-7 1/2" LN.FT. (APPROX. 6.50 SQ.FT.) ONE STORY REMAINING WALLS. NEW 110.25 SQ.FT. COVERED PATIO, 170.25 SQ.FT. MASTER SUITE BALCONY, AND 47.30 SQ.FT. BEDROOM #4 BALCONY. <b>* POOL AND SPA UNDER SEPARATE PERMIT *</b>
<b>BUILDING TYPE:</b>	TWO STORY SINGLE FAMILY BUILDING WITH DETACHED 2-CAR GARAGE.
<b>OCCUPANCY GROUP:</b>	R-3/U
<b>CONSTRUCTION TYPE:</b>	V-B
<b>NUMBER OF STORIES:</b>	TWO STORY (2)
<b>ASSESSOR PARCEL No.:</b>	4420-007-020
<b>TRACT:</b>	TR 15948
<b>BLOCK:</b>	-
<b>LOT:</b>	37
<b>MAP REFERENCE:</b>	M B 589-36/38
<b>MAP SHEET:</b>	129B125 / 132B125
<b>LEGAL DESCRIPTION:</b>	LOT 37 of TRACT No. 15948 MAP BOOK 589 Pages 36-38
ZONING INFORMATION	
<b>ZONING:</b>	RE11-1
<b>GENERAL PLAN LAND USE:</b>	VERY LOW II RESIDENTIAL
<b>COASTAL ZONE:</b>	NONE
<b>HILLSIDE AREA (ZONING):</b>	YES
<b>V.H.F.H.S.Z.:</b>	YES
<b>METHANE HAZARD ZONE:</b>	NONE
<b>SPECIAL GRADING AREA (BOE):</b>	YES
CODES AND REGULATIONS	
2017 CITY OF LOS ANGELES MUNICIPAL AND ZONING CODES, 2017 CITY OF LOS ANGELES RESIDENTIAL CODE (LARC), 2016 CALIFORNIA RESIDENTIAL CODE (CRC), 2016 CALIFORNIA BUILDING CODE (CBC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA ELECTRICAL CODE (CEC), 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2016 TITLE 24 ENERGY CONSERVATION, 2016 NEC WITH STATE OF CALIFORNIA, 2016 NFPA 13: STANDARD FOR INSTALL. OF SPRINKLER SYSTEMS	



# RESIDENCE

## and REMODEL

LOS ANGELES, CA - 90272

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### PROJECT DIRECTORY

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OWNER:

DAVID AND RACHEL SCHULTZ  
1120 N. LAS LOMAS AVENUE  
LOS ANGELES, CA 90272

SURVEYOR

M & M & Co.  
8647 ENCINO AVENUE  
NORTHBRIDGE, CA 91325  
CONTACT: MICHAEL J. AMOROSO, L.S. 5392  
PHONE: (818) 885-1100

BUILDING DESIGNER

JULIE HART DESIGN  
3200 AIRPORT AVENUE, SUITE #18  
SANTA MONICA, CA 90405  
CONTACT: JULIE HART  
PHONE: (310) 450-5443  
EMAIL: JAHDESIGN310@AOL.COM

STRUCTURAL ENGINEERING

T.T.B.D.  
T.D.B.  
LOS ANGELES, CA 90000  
CONTACT: T.B.D.  
PHONE: (000) 000-0000  
EMAIL: 000@000.COM

TITLE 24 ENERGY CALCULATIONS

TITLE 24 DATA CORP.  
633 MONTEREY TRAIL  
POB 2199  
FRAZIER PARK, CA 93225-2199  
CONTACT: JONATHAN WIGG  
PHONE: (800) 237-8824  
EMAIL: TITLE24@FRAZMTN.COM

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### DESIGN/BUILD COMPONENTS

EACH DESIGN/BUILD SYSTEM/COMPONENT MUST BE FULLY COORDINATED AND INTEGRATED WITH THE PROJECT WORK THAT HAS PRECEDED IT AND SHALL NOT HINDER OR IMPEDE THE PROJECT WORK THAT COMES AFTER IT. DESIGN/BUILD WORK SHALL BE TIMELY AND SHALL BE FULLY COORDINATED WITH THE CONTRACT DOCUMENTS. PERMITS SHALL BE OBTAINED WELL ENOUGH IN ADVANCE OF CONSTRUCTION SO AS TO NOT NEGATIVELY INFLUENCE THE CONSTRUCTION SCHEDULE OR THE WORK OF OTHERS. ANY WORK RELATED TO A GIVEN DESIGN/BUILD COMPONENT OR SYSTEM THAT INTERFERES WITH THE INTENDED FUNCTION OF THE PROJECT, OR THE PROJECT'S PARTS OR THE WORK OF OTHERS, MUST BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

[illegible]





PROPOSED SOUTHWESTERN VIEW



PROPOSED NORTHEASTERN VIEW



PROPOSED NORTHERN VIEW

Julie Hart Design

310-450-5443

planning • design • development, Santa Monica

THE SPECIFIC SYMBOLS, KEYNOTES AND GENERAL NOTES RELATED TO THIS SHEET (AND SIMILAR FOLLOWING OR PRECEDING SHEETS IN SEQUENCE) ARE GENERALLY OCCURRED AND SHOWN HERE AS AN AID AND CONSIDERED TO BE PART OF THE WORK. THESE SPECIFIC SYMBOLS, KEYNOTES AND GENERAL NOTES ARE EXTRACTED FROM THE MASTER LISTS IN THE FOOT OF THE ARCHITECTURAL DRAWINGS.

THE INFORMATION PROVIDED ON THE MASTER LISTS APPLIES TO THE WORK AT LARGE AND IS APPLICABLE TO ALL PARTS OF THE WORK DESCRIBED WHETHER EXTRACTED HERE OR NOT.

ISSUE	DATE	DESCRIPTION

SCHULTZ  
RESIDENCE

ADDITION and REMODEL

David and Rachel  
Schultz

1120 N. LAS LOMAS AVENUE  
PACIFIC PALISADES, CA 90272

DESCRIPTION:  
  
PROPOSED  
RENDERINGS

PROJECT:	2018-05	DATE:	2018.11.08
DRAWN:	PSouza	CHECKED:	
SCALE:	1/4" = 1'-0"		
<div><div>0</div><div>1</div><div>2</div><div>4</div><div>8</div></div>			

SHEET NO.  

A002



# Architectural Survey

Legal Description: Lot 37 of Tract No. 15948, Map Book 589, pages 36-38.

Bench Mark: The elevation of 447.8 on Sewer Manhole Station 11+35.85 as shown on Sewer 'Y' Map No. 7204-4 on file in the city of Los Angeles was used as datum for this survey.

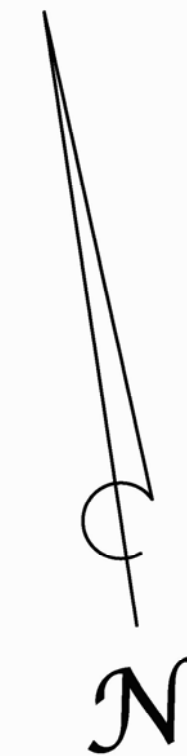
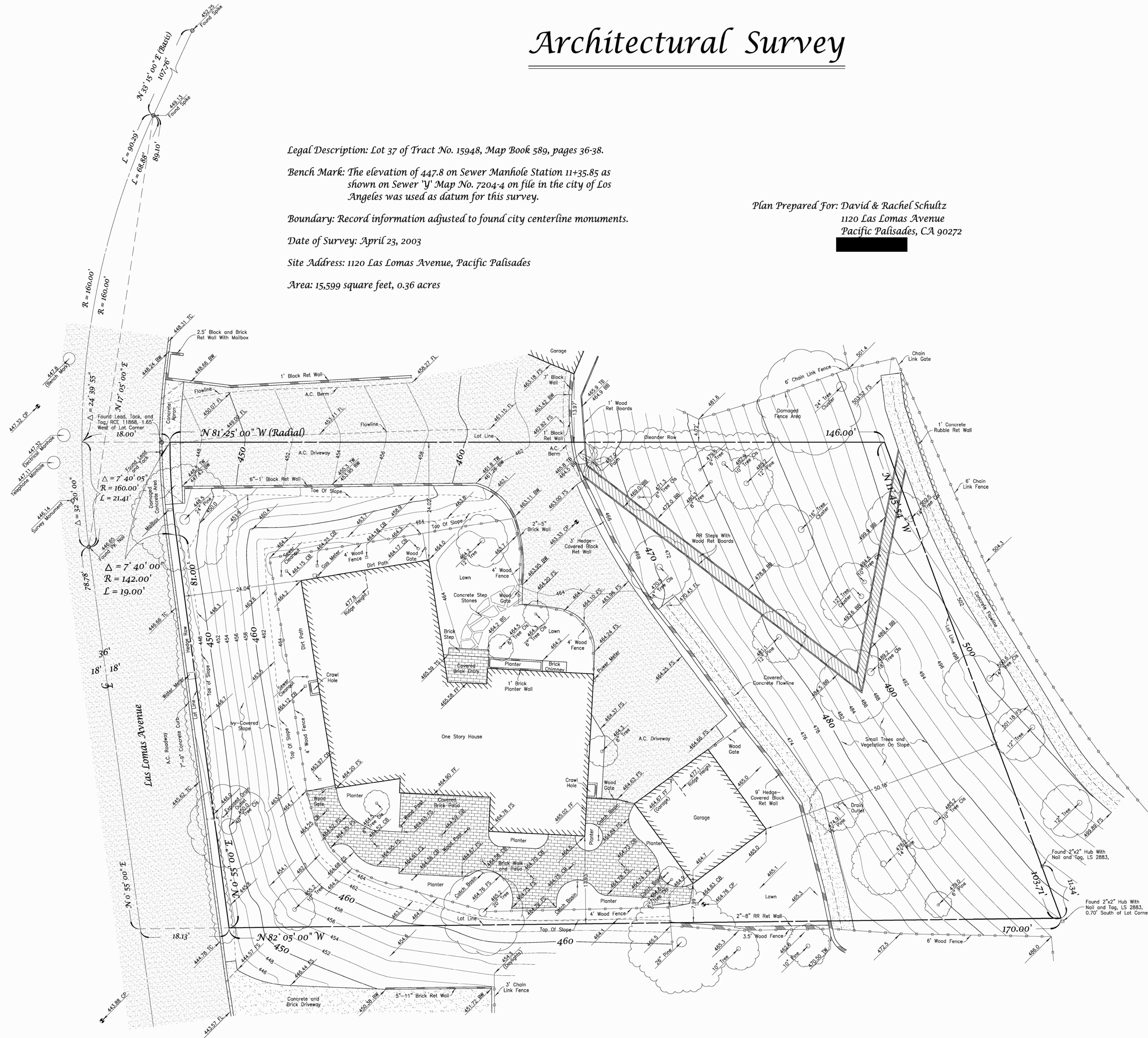
Boundary: Record information adjusted to found city centerline monuments.

Date of Survey: April 23, 2003

Site Address: 1120 Las Lomas Avenue, Pacific Palisades

Area: 15,599 square feet, 0.36 acres

Plan Prepared For: David & Rachel Schultz  
1120 Las Lomas Avenue  
Pacific Palisades, CA 90272



Scale: 1" = 8'

### Legend

FF = Finished Floor  
FS = Finished Surface  
FL = Flowline  
CB = Catch Basin  
CP = Control Point  
BW = Bottom of Wall  
TW = Top of Wall  
TS = Top of Step  
BS = Bottom of Step  
CS = Cluster  
Ret = Retaining  
RR = Railroad Tie

Note: All Hatch Patterns Shown Hereon Are Not To Scale

THE SPECIFIC SYMBOLS, NOTATIONS AND GENERAL NOTES RELATED TO THIS SHEET (AND SIMILAR FOLLOWING OR PRECEDING SHEETS IN SEQUENCE) ARE GENERALLY OCCURRED AND SHOWN HERE AS AN AID AND CONSIDERED TO APPLY TO ANY AND ALL SHEETS IN THE SET. THESE SYMBOLS, NOTATIONS AND GENERAL NOTES ARE EXTRACTED FROM THE MASTER LISTS IN THE FRONT OF THE ARCHITECTURAL DRAWING.

ISSUE	DATE	DESCRIPTION

## SCHULTZ RESIDENCE

ADDITION and REMODEL

David and Rachel Schultz  
1120 N. LAS LOMAS AVENUE  
PACIFIC PALISADES, CA 90272

DESCRIPTION:

SITE SURVEY

PROJECT: 2018-05 DATE: 2018.11.08  
DRAWN: PSouza CHECKED:

SCALE:

SHEET NO.

A091

Julie Hart Design  
planning • design • development, Santa Monica  
310-450-5443

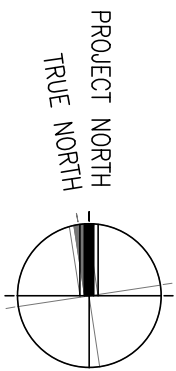
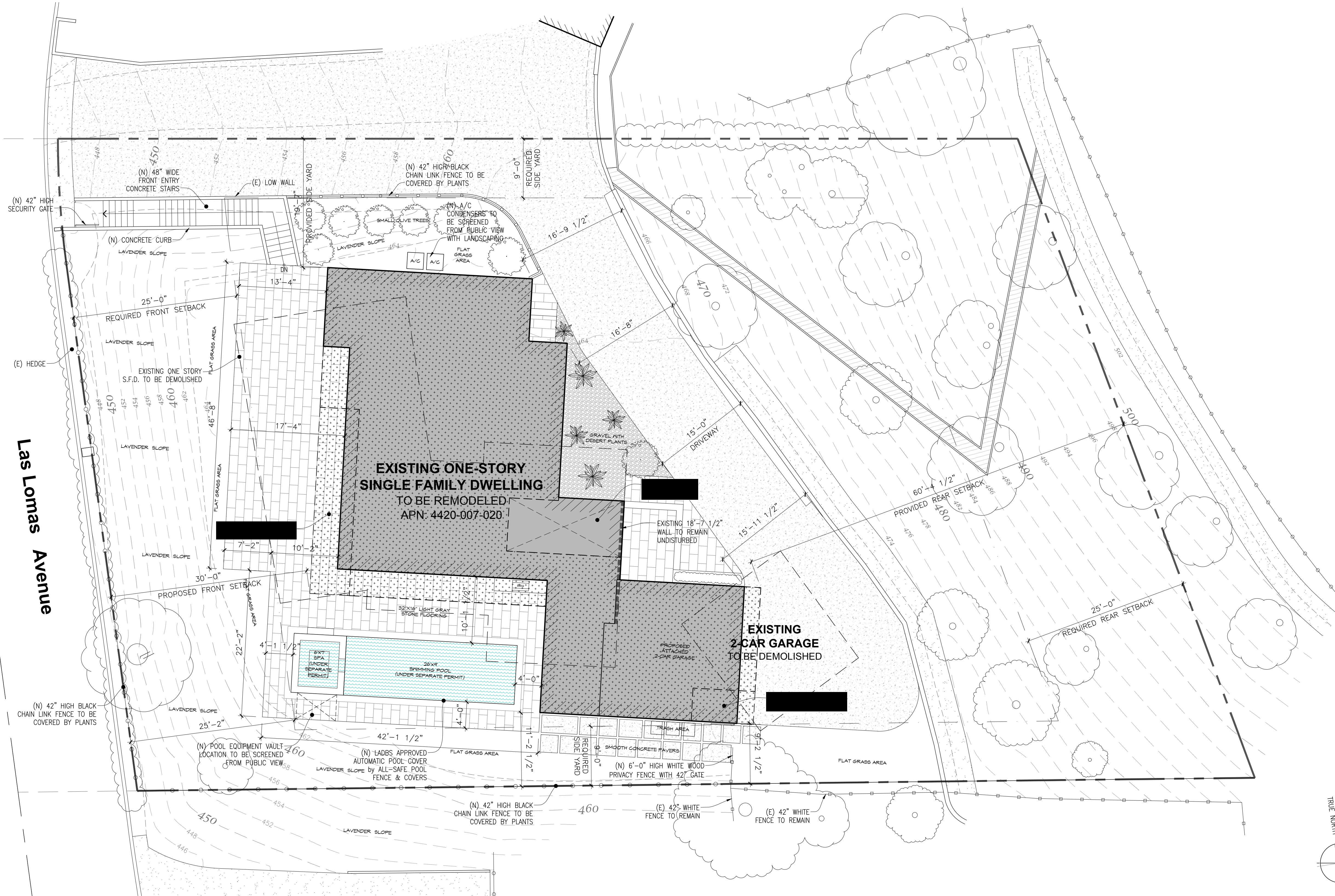
SITE SURVEY

SCALE  
AS NOTED

2



Las Lomas Avenue



PROPOSED SITE PLAN SCALE 1/8"=1'-0"

1

SITE PLAN KEYNOTES

- 02E1 - STRUCTURE DEMOLITION
- 02E2 - SELECTIVE DEMOLITION
- 03E2 - PRECAST CONCRETE TREAD & RISER
- 09G11 - STONE FLOORING
- 10F3 - MAILBOXES
- 11J2 - SOLID WASTE BINS
- 11J3 - RECYCLING BINS / EQUIPMENT
- 22B3 - AREA DRAINS
- 22B6 - RAINWATER STORAGE BARRELS/TANKS
- 31B3 - SELECTIVE TREE and SHRUB REMOVAL
- 31B4 - SELECTIVE TREE and SHRUB TRIMMING
- 32B1 - CONCRETE PAVING
- 32B2 - DECORATIVE CONCRETE PAVING (TYPICAL GRAY COLOR SRI:0.35)
- 32B3 - PERVIOUS CONCRETE PAVING (TYPICAL GRAY COLOR SRI:0.35)
- 32D3A - 6'-0" HIGH WOOD FENCE PAINTED WHITE
- 32D3B - 6'-0" HIGH WOOD FENCE GATE PAINTED WHITE
- 32J1 - IRRIGATION CONTROLLERS
- 32K1 - TURF / GRASS AREA
- 32K2 - PLANTS / PLANTER AREA
- 33B2 - WATER METER
- 33F2 - NATURAL-GAS METER
- 33H1 - ELECTRICAL UTILITY POLES
- 33H2 - ELECTRIC METER

SITE PLAN NOTES

10. THE SITE SHALL BE PROTECTED BY THE CONTRACTOR DURING INCLEMENT WEATHER TO INSURE THAT SILT FLOW DOES NOT OCCUR.
11. PIPES SHALL BE PLACED PROPERLY TO INSURE THAT THEY ARE NOT DAMAGED BY SUBSEQUENT WORK SHALL BE WRAPPED AND BRACED AS NECESSARY IN TRENCHES AND EXCAVATIONS.
12. CONTRACTORS TO VERIFY ALL SITE DIMENSIONS BEFORE COMMENCING WORK, AND SHALL NOTIFY THE DESIGNER/ENGINEER IF ANY DISCREPANCIES ARE FOUND.
13. ALL SITE PLAN DIMENSIONS ARE TO THE FINISHED FACE OF THE STRUCTURES.
01. RESIDENCE DEMOLITION UNDER SEPARATE PERMIT.
02. SURVEYOR TO STAKE PROPERTY BEFORE COMMENCEMENT OF WORK.
03. CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS AND CONSTRUCTION MATERIALS.
04. ALL SURFACE DRAINAGE SHALL SLOPE AWAY FROM RESIDENCE A MINIMUM 2% FOR 5'-0" DISTANCE (MIN.).
05. ALL CONCENTRATE DRAINAGE, INCLUDING ROOF WATER SHALL BE CONDUCTED, VIA GRAVITY, TO THE STREET OR AN APPROVED LOCATION UNDER SIDEWALK AT 2% SLOPE MINIMUM.
06. ALL SUBSURFACE PIPES OR CONDUITS SHALL SLOPE 1% TO DAY-LIGHT (MIN.). SECURE PERMISSION FROM CITY ENGINEER FOR CONSTRUCTION, GRADING AND/OR DISCHARGE OF DRAINAGE WITHIN STREET RIGHT-OF-WAY.
07. MAINTAIN 30" CLEAR ACCESS AROUND BUILDING.
08. NO STANDING WATER OR DEBRIS SHALL BE PERMITTED IN EXCAVATIONS DURING THE PLACING OF CONCRETE.
09. CONTRACTOR SHALL PROVIDE DUST CONTROL BY DAMPENING GROUND DURING GRADING AND EXCAVATION. REASONABLE CONTROL OF DUST SHALL BE PROVIDED DURING CONSTRUCTION.

LEGEND

- BUILDING FOOTPRINT (1st LEVEL)
- PROPOSED BUILDING ADDITION (1st LEVEL)
- PROPOSED BUILDING ADDITION (2nd LEVEL)
- EXISTING AREA TO BE DEMOLISHED / REMOVED

SCHULTZ RESIDENCE ADDITION and REMODEL

David and Rachel Schultz  
1120 N. LAS LOMAS AVENUE  
PACIFIC PALISADES, CA 90272

PROPOSED SITE PLAN

PROJECT: 2018-05 DATE: 2018.11.08  
DRAWN: Psouza CHECKED:

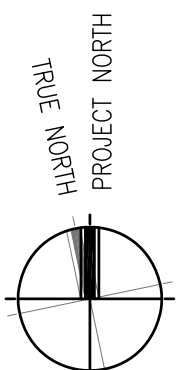
SCALE:

SHEET NO.

A111

Julie Hart Design  
planning • design • development, Santa Monica  
310-450-5443







ELEVATION NOTES

1. WHERE NOTED ON ELEVATIONS, CEMENT PLASTER SHALL BE:  
A. 1" TO 7/8" THICK ASSEMBLY CONSISTING OF SCRATCH, BROWN, AND FINISH COATS.  
B. FINISH COAT SHALL BE INTEGRALLY COLORED TO MEET DESIGNER'S SPECS./SAMPLE.  
C. FINISH COAT SHALL BE SMOOTH FINISHED.  
D. PLASTER INSTALLATION SHALL BE OVER METAL LATH AND BUILDING PAPER/WRAP AND MEET ALL APPLICABLE BUILDING CODES AND INDUSTRY STANDARDS.  
E. AT A MINIMUM, BUILDING PAPER SHALL BE TWO-LAYERS OF GRADE D PAPER, OR EQUAL PRODUCT APPROVED.
2. JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. [4.406.1 C6B5C]
3. ADDRESSEES SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE 4-INCHES IN HEIGHT, 1/2" MINIMUM STROKE WIDTH AND OF CONTRASTING COLOR TO THEIR BACKGROUND.
4. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)

310-450-5443  
Julie Hart Design  
planning • design • development, Santa Monica

THE SPECIFIC SYMBOLS, KEYNOTES AND GENERAL NOTES RELATED TO THIS SHEET (AND OTHER FOLLOWING OR PRECEDING SHEETS) IN REGARDS ARE GENERALLY STANDARD AND SHOWN HERE AS AN AID AND REFERENCE TO THE WORK. HOWEVER, THE DRAWING THESE SPECIFIC SYMBOLS, KEYNOTES AND GENERAL NOTES ARE EXTRACTED FROM THE MASTER LISTS IN THE FRONT OF THE ARCHITECTURAL DRAWING. THE INFORMATION DESCRIBED ON THE MASTER LISTS APPLIES TO THE WORK AS SHOWN AND IS APPLICABLE TO ALL PARTS OF THE WORK DESCRIBED WHETHER EXTRACTED HERE OR NOT.

ISSUE	DATE	DESCRIPTION

SCHULTZ  
RESIDENCE  
ADDITION and REMODEL

David and Rachel  
Schultz  
1120 N. LAS LOMAS AVENUE  
PACIFIC PALISADES, CA 90272

DESCRIPTION:

PROPOSED  
EXTERIOR  
ELEVATIONS

PROJECT:	2018-05	DATE:	2018.11.08
DRAWN:	PSouza	CHECKED:	
SCALE:	<div><div></div><div>01248</div></div>		

SHEET NO.

A311



PROPOSED ELEVATION – NORTH (FRONT)

SCALE  
1/4"=1'-0"

1

ELEVATIONS KEYNOTES

- 02A6 – EXISTING GRADE (REFER TO CIVIL DOCUMENTS)  
02A7 – PROPOSED FINISH GRADE (REFER TO CIVIL DOCUMENTS)  
06C1A – 1X4 REDWOOD TRIM PAINTED TO MATCH LAP SIDING  
06C1B – 2X2 REDWOOD TRIM PAINTED TO MATCH LAP SIDING  
06C1C – 2X4 REDWOOD TRIM PAINTED TO MATCH LAP SIDING  
06C1D – 2X6 REDWOOD BAND PAINTED TO MATCH LAP SIDING  
06E11 – 2X WOOD FASCIA PAINTED TO MATCH LAP SIDING  
07D1 – COOLROOF CLASS "A" ASSEMBLY (UL790)  
DURATION PREMIUM COOL SHINGLES by OWENS CORNING  
(COLOR: HARBOR FOG) (CRRC PROD. ID: 0890-0004)  
07E5A – HARDIEPLANK LAP SIDING by JAMES HARDIE (ESR-2290)  
WIDTH: 7.25" COLOR: NIGHT GRAY FINISH: SMOOTH  
07E5B – HARDIETRIM 2X FIBER CEMENT TRIM by JAMES HARDIE  
WIDTH: 3.5" COLOR: NIGHT GRAY FINISH: SMOOTH  
07E5C – HARDIETRIM 2X FIBER CEMENT TRIM by JAMES HARDIE  
WIDTH: 5.5" COLOR: NIGHT GRAY FINISH: SMOOTH  
07E5D – HARDIEPANEL by JAMES HARDIE (ESR-1844)  
COLOR: PAINTED WHITE TO MATCH LAP SIDING FINISH: SMOOTH  
07H5 – MANUFACTURED COPPER GUTTERS  
07H6 – MANUFACTURED COPPER DOWNSPOUTS  
07H9 – MANUFACTURED COPPER SCUPPERS  
07H11A – RELIEF VENTS: DORMER VENTS  
08B9 – EXTERIOR ALUM-CLAD FRAMED GLASS DOORS  
08D3 – SLIDING ALUMINUM FRAMED GLASS DOOR  
08D9 – SECTIONAL GARAGE DOORS  
08F6 – ALUMINUM-CLAD WINDOWS by WEATHERSHIELD WINDOWS  
08H1 – DOOR HARDWARE  
08J2 – 3/8" TEMPERED GLASS GLAZING  
10B1 – SIGNAGE  
10F3 – MAILBOXES  
11J2 – SOLID WASTE BINS  
11J3 – RECYCLING BINS / EQUIPMENT  
26F13 – EXTERIOR LIGHTING: WALL SURFACE MOUNTED FIXTURES  
32D3A – WOOD FENCE  
32D3B – WOOD FENCE GATE



PROPOSED ELEVATION – EAST (SIDE)

SCALE  
1/4"=1'-0"

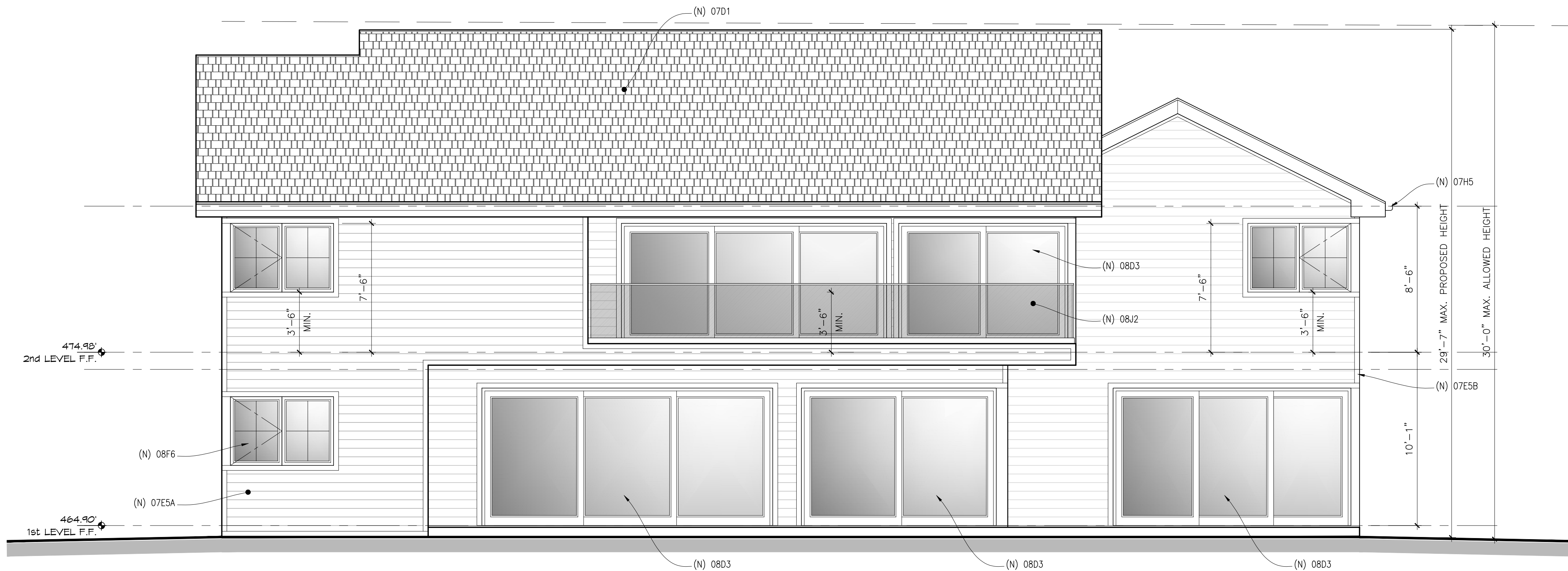
2



PROPOSED ELEVATION – SOUTH (REAR)

SCALE  
1/4"=1'-0"

3



PROPOSED ELEVATION – WEST (SIDE)

SCALE  
1/4"=1'-0"

4

## ELEVATION NOTES

- WHERE NOTED ON ELEVATIONS, CEMENT PLASTER SHALL BE:
  - 1" TO 7/8" THICK ASSEMBLY CONSISTING OF SCRATCH, BROWN, AND FINISH COATS.
  - FINISH COAT SHALL BE INTEGRALLY COLORED TO MEET DESIGNER'S SPECS./SAMPLE.
  - FINISH COAT SHALL BE SMOOTH FINISHED.
  - PLASTER INSTALLATION SHALL BE OVER METAL LATH AND BUILDING PAPER/WRAP AND MEET ALL APPLICABLE BUILDING CODES AND INDUSTRY STANDARDS.
  - AT A MINIMUM, BUILDING PAPER SHALL BE TWO-LAYERS OF GRADE D PAPER, OR EQUAL PRODUCT APPROVED.
- JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. [4.406.1 CGBSC]
- ADDRESSEES SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE 4-INCHES IN HEIGHT, 1/2" MINIMUM STROKE WIDTH AND OF CONTRASTING COLOR TO THEIR BACKGROUND.
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)

THE SPECIFIC SYMBOLS, KEYNOTES AND GENERAL NOTES RELATED TO THIS SHEET (AND OTHERS) FOLLOWING ON PREVIOUS SHEETS IN SEQUENCE ARE CONSIDERED AND SHOWN HERE AS AN AID AND SUPPLEMENT TO THE WORKMANSHIP AND DESIGN OF THE DRAWING. THESE SPECIFIC SYMBOLS, KEYNOTES AND GENERAL NOTES ARE EXTRACTED FROM THE MASTER LISTS IN THE FRONT OF THE ARCHITECTURAL DRAWING. REFER TO THE MASTER LISTS FOR ANY SYMBOLS OR KEYNOTES USED BUT NOT LISTED ON THIS SHEET. THE INFORMATION PROVIDED ON THE MASTER LISTS APPLIES TO THE WORK AS SHOWN AND IS APPLICABLE TO ALL PARTS OF THE WORK DESCRIBED WHETHER EXTRACTED HERE OR NOT.

ISSUE	DATE	DESCRIPTION

## SCHULTZ RESIDENCE ADDITION and REMODEL

David and Rachel  
Schultz  
1120 N. LAS LOMAS AVENUE  
PACIFIC PALISADES, CA 90272

DESCRIPTION:

PROPOSED  
EXTERIOR  
ELEVATIONS

PROJECT:	2018-05	DATE:	2018.11.08
DRAWN:	PSouza	CHECKED:	
SCALE:	1/4" = 1'-0"		

SHEET NO.

A312

Julie Hart Design  
planning • design • development, Santa Monica  
310-450-5443



Palisair Homeowners Association <palisair@gmail.com>

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**Re: Update: Dec 6 1120 Las Lomas Ave will start at 4pm**

1 message

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**Hal Erdley** <halerdley@gmail.com>

Wed, Dec 5, 2018 at 5:19 PM

Reply-To: erdley@ieee.org

To: Palisair Homeowners Association <palisair@gmail.com>

Hi Diana,

Since I will not be able to attend either meeting I did a preliminary examination of this address with Google Maps, and it appears that there may be a view obstruction from the house(s) immediately to the north of [1120 Las Lomas Avenue](#) and possibly from the houses across Las Lomas Avenue. Any such possible view obstructions would have to be confirmed by the erection of story poles by the 1120 Las Lomas owner.

Hal Erdley

On 12/5/2018 4:49 PM, Palisair Homeowners Association wrote:

**IMPORTANT NOTE: The Neighborhood Meeting on December 6 at 1120 Las Lomas Ave will start at 4:00 PM.** An incorrect time was mistakenly given in a past communication.

**Please see attachment!**

Board of Directors

Palisair Home Owners Association



Palisair Homeowners Association <palisair@gmail.com>

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**Re: Update: Dec 6 1120 Las Lomas Ave will start at 4pm**

1 message

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**Ron Gonen** <ron@nltventures.com>

Wed, Dec 5, 2018 at 8:38 PM

To: Palisair Homeowners Association <palisair@gmail.com>

I give my approval for the project.

Ron Gonen

[16058 Anoka Drive.](#)

On Dec 5, 2018, at 4:49 PM, Palisair Homeowners Association <[palisair@gmail.com](mailto:palisair@gmail.com)> wrote:

**IMPORTANT NOTE: The Neighborhood Meeting on December 6 at 1120 Las Lomas Ave will start at **4:00 PM**.** An incorrect time was mistakenly given in a past communication.

**Please see attachment!**

Board of Directors

Palisair Home Owners Association

<2018-12-05r Letter to Homeowners.pdf>

# CCR Excerpts Re Second Story Additions

## ARTICLE III

### BUILDING AND PLANTING RESTRICTIONS

#### Section 1. Single Family Residences

On each lot or building site in said tract not more than one detached single-family residence shall be erected, constructed or maintained, together with the customary accessory outbuildings appurtenant thereto.<sup>1</sup> Garages may be attached to, or detached from, the residence.

No structure of any kind shall exceed 15 ½ feet above the finished ground from the front of the building pad to the top of its ridge pole, nor more than 14 feet above the finished floor, except that the Tract Committee in its sole discretion and after consultation with the possibly affected neighbors may permit the erection of a structure higher than 15 ½ feet above the finished ground measured from the front of the building pad, **provided it will not unreasonably obstruct or unreasonably diminish the quality and nature of the view from any other land of this or an adjoining tract.**

As provided for in Article IV, Sec 2, subsection (a), if cutting, filling, or grading creates a new building pad at a lower elevation than, and separate from, the original pad, then the above referenced ground level at the front of this new pad shall be used for measuring the allowable height of the new building portion. If the elevation is greater than the original pad the allowable building height shall be measured from the elevation of the original pad.

The 'sole discretion' of the Tract Committee must be exercised in good faith, non-arbitrarily and consistent with the Restrictions and applicable governing laws. In exercising this discretion, **the Tract Committee shall consider factors, including but not limited to, how the structure may impact property values,** statements from members of the Association, the precedential effect of the decision on the Association and how said structure would affect the character of the neighborhood.

## ARTICLE IV

### TRACT COMMITTEE AND ITS POWERS

#### Section 1. *Enforcement Agency, How Constituted, Objectives*

However, no plans for a residence or other structure shall be approved by the Tract Committee:

- (1) which show an exterior appearance and design that lacks conformity to widely or commonly accepted appearances and designs; or

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<sup>1</sup> Added, for tract 15944 only: "except ... that one detached single-family residence ... may be erected ... or maintained on lots 16,17A and 17 as redivided on or about November 15, 1954, from original lots 16 and 17" (amendment recorded February 24, 1955).

- (2) which provide for a residence or other structure substantially identical or, similar in exterior appearance and design ("carbon copy houses") with other buildings erected, or approved but still to be erected, within a radius of 500 yards; or
- (3) which provide for service yards, clothes line poles, refuse containers, pool equipment, or other like appurtenances not reasonably shielded against view from the street or adjacent homes, or for a pool pump located near enough to an adjacent home to annoy its occupants by noise, if not soundproofed or at least prevented from operating at night; or
- (4) which provides for a residence addition, garage or other outbuilding that is not of construction and architectural type in harmony with the main residence; or
- (5) which provide for a garage or other structure or a wall or fence, which has a gate or door, so constructed that it may swing into a public road or right of way.

The erection, alteration, maintenance, location or relocation of any clothes line pole, fence, hedge, mast, aerial or antenna for radio or television, or other structure of a similar or dissimilar nature, whether separate or an integral part of the dwelling, such as a residence addition, shall be disapproved or desisted from whenever such structure, because of its kind, shape, color, height, material, or location, in the opinion of the Tract Committee would be unsightly, or detrimental to, or unreasonably obstruct or unreasonably diminish the nature or quality of the view from any other land in this or an adjoining tract, or otherwise tend to lower the value of any land of the tract.

## ARTICLE V

### DURATION, REVERSIONARY RIGHTS, ENFORCEMENT VALIDITY, ASSIGNMENT

#### *Section 8 View*

Whenever in these restrictions the phrase 'the view from any other land of this or an adjoining tract' is used, 'adjoining tract' shall exclusively mean tracts 15944 or 15948 or 19890, as the case may be. The 'view' shall include, but is not limited to, the sight of the ocean, mountains, city, valleys, canyons, sunrises and sunsets or any other sight deemed by the Tract Committee as being an important part of the property's value that is entitled to protection.





Palisair Homeowners Association <palisair@gmail.com>

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**Re: Update: Dec 6 1120 Las Lomas Ave will start at 4pm**

1 message

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**Clay Mitchel** <claymitchel@hotmail.com>  
To: Palisair Homeowners Association <palisair@gmail.com>

Thu, Dec 6, 2018 at 9:17 AM

Could you email me a copy of the plans?

If they're adding the 2nd story by going down (excavating for the new 1st floor) and the height of the new structure from the "existing" building pad to the highest point does not exceed the max allowed building height (15'0" I think), then I will have no problem with the project (the plans should show this). These are the rules we had to live by and I had to modify our plans to accomplish this.

I cannot make today's meeting, but I will give my comments after I review the plans.

Thanks,

**Clay & Staci Mitchel**

HOME: 310-459-7803

CELL: 310-804-9902

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**From:** Palisair Homeowners Association <palisair@gmail.com>

**Sent:** Wednesday, December 5, 2018 4:49 PM

**To:** halerdley

**Subject:** Update: Dec 6 1120 Las Lomas Ave will start at 4pm

**IMPORTANT NOTE: The Neighborhood Meeting on December 6 at 1120**

**Las Lomas Ave will start at 4:00 PM.** An incorrect time was mistakenly given in a past communication.

**Please see attachment!**

Board of Directors

Palisair Home Owners Association