

THESE DRAWINGS AND SPECIFICATIONS ARE OWNED BY AND THE PROPERTY OF VERTOCH DESIGN ARCHITECTS INC. NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED BY OTHERS IN CONNECTION WITH ANY WORK OR PROJECTS OTHER THAN THIS SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT WRITTEN CONSENT OR WRITTEN RELEASE BY VERTOCH DESIGN ARCHITECTS INC. ANY VIOLATION OF THESE RESTRICTIONS CONSTITUTE A VIOLATION OF THE PROFESSIONAL ETHICS OF VERTOCH DESIGN ARCHITECTS INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. SCALE DIMENSIONS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

RESIDENCE @
1061 PALISAIR
LOS ANGELES CA
90272

SAMANTHA AND BEJAN RUFEEH

APN 4420006019
LOT - 20
TRACT - TR15944

SHEET TITLE

SITE PLAN

JAN 11, 2018

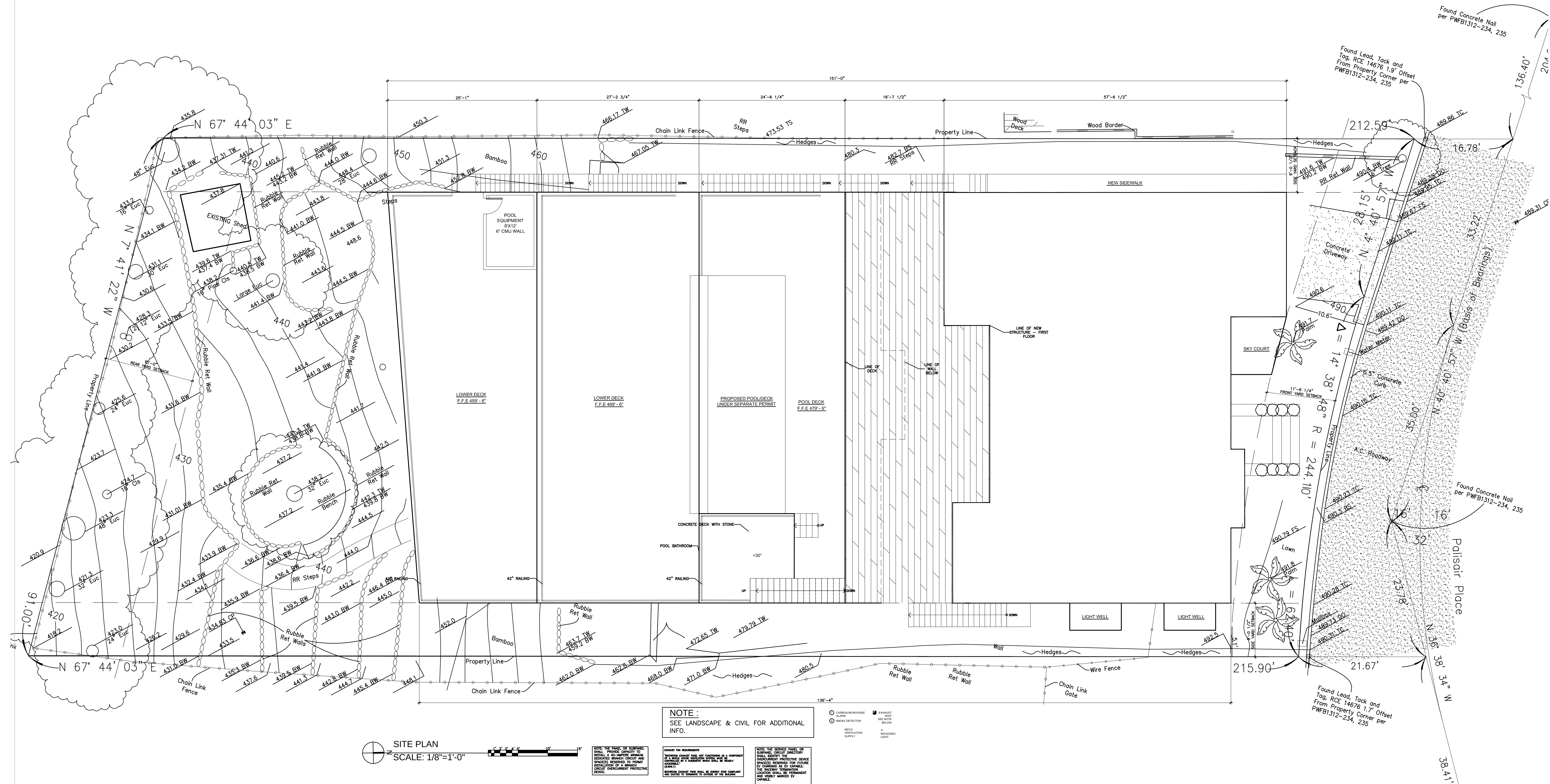
REVISION

PROJECT INFORMATION

SCALE:
DATE:
DRAWN BY:
CHECKED BY:

SHEET NUMBER

A-2.0



GENERAL SITE PLAN NOTES

SEE LANDSCAPE DRAWINGS-IF APPLICABLE

A SEPARATE SET OF LANDSCAPE DRAWINGS WILL COMPLETE THIS ARCHITECTURAL SITE PLAN INCLUDING INFORMATION ON POOL/SPA GRADING, DRAINAGE, RETAINING WALLS, HARDSCAPE, PLANTING MATERIAL, LIGHTING AND IRRIGATION.

CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND LANDSCAPE DRAWINGS.

ALL GRADES SHALL SLOPE 2% MINIMUM AWAY FROM BUILDING AND BE A MINIMUM OF 8" BELOW WOOD SILL PLATE AT PERIMETER OF BUILDING. SEE GRADING PLAN FOR ADDITIONAL INFORMATION.

FOR GRADES SPECIFIED TO BE LESS THAN 8" FROM WOOD SILL PLATES AND FOR AREAS WHERE CONCRETE PAVING IS ADJACENT TO BUILDING, SILL PLATES SHALL BE PROTECTED WITH A CONTINUOUS STRIP OF W.R. GRACE 4000 BITHUTHENE WATERPROOFING MEMBRANE COVERED WITH GALVANIZED SHEET METAL FLASHING, BOTH PROJECTING 6" BELOW WOOD SILL PLATE AND ABOVE GRADE. WIDTH OF WATERPROOFING WILL VARY ACCORDING TO GRADE ELEVATION.

PERMIT

- THIS PERMIT APPLICATION IS FOR BUILDING PERMIT ONLY.
- THIS PERMIT APPLICATION DOES NOT INCLUDE LANDSCAPE ELEMENTS, HARDSCAPE, GRADING, POOL/SPA/FOUNTAINS, TENNIS COURT OR TREE REMOVAL. SEPARATE PERMITS AND APPLICATIONS WILL BE REQUIRED.
- THIS PERMIT APPLICATION DOES NOT INCLUDE MECHANICAL, PLUMBING, AND ELECTRICAL PERMITS.
- ARCHITECT WILL PROCESS PLANS THROUGH PLAN CHECK REVIEW FOR THE BUILDING PERMIT ONLY. CONTRACTOR WILL BE RESPONSIBLE TO SIGN AND OBTAIN THE BUILDING PERMIT ON BEHALF OF THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS INCLUDING ELECTRICAL, MECHANICAL, PLUMBING AND LANDSCAPE PERMITS. ANY APPLICATION FORMS OR DRAWINGS REQUIRED FOR SAID PERMITS WILL BE PREPARED BY THE SUBCONTRACTOR AND REMUNERATION SHALL BE INCLUDED IN BID.

PUBLIC WORKS STANDARD NOTES

- ALL LABOR, EQUIPMENT, AND MATERIAL REQUIRED FOR OFF-SITE IMPROVEMENTS ARE THE RESPONSIBILITY OF THE DEVELOPER.
- THE OFFSITE WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS/ DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION AS AMENDED BY THE CITY OF LOS ANGELES AND THE CITY OF LOS ANGELES STANDARDS.
- ULTRA-LOW FLOW PLUMBING FIXTURES ARE REQUIRED ON ALL NEW DEVELOPMENT AND REMODELING WHERE PLUMBING IS TO BE ADDED. (MAX. 1.6 GALLONS AND 1.0 GAL. URINALS AND LOW FLOW SHOWER HEADS).
- NO WORK SHALL BE DONE WITHIN THE PUBLIC RIGHT-OF-WAY WITHOUT THE PRIOR APPROVAL OF THE ENVIRONMENTAL AND PUBLIC WORKS MANAGEMENT DEPT.
- TREES WITHIN THE PUBLIC RIGHT-OF-WAY CANNOT BE REMOVED BY THE PROPERTY OWNER FOR ANY REASON WITHOUT THE WRITTEN APPROVAL OF THE PARKS AND SPORTS DIVISION OR THE DIRECTOR OF ENVIRONMENTAL AND PUBLIC WORKS MANAGEMENT.

Architectural Survey

Legal Description: Lot 20 of Tract No. 15944, Map Book 481, pages 4-5.

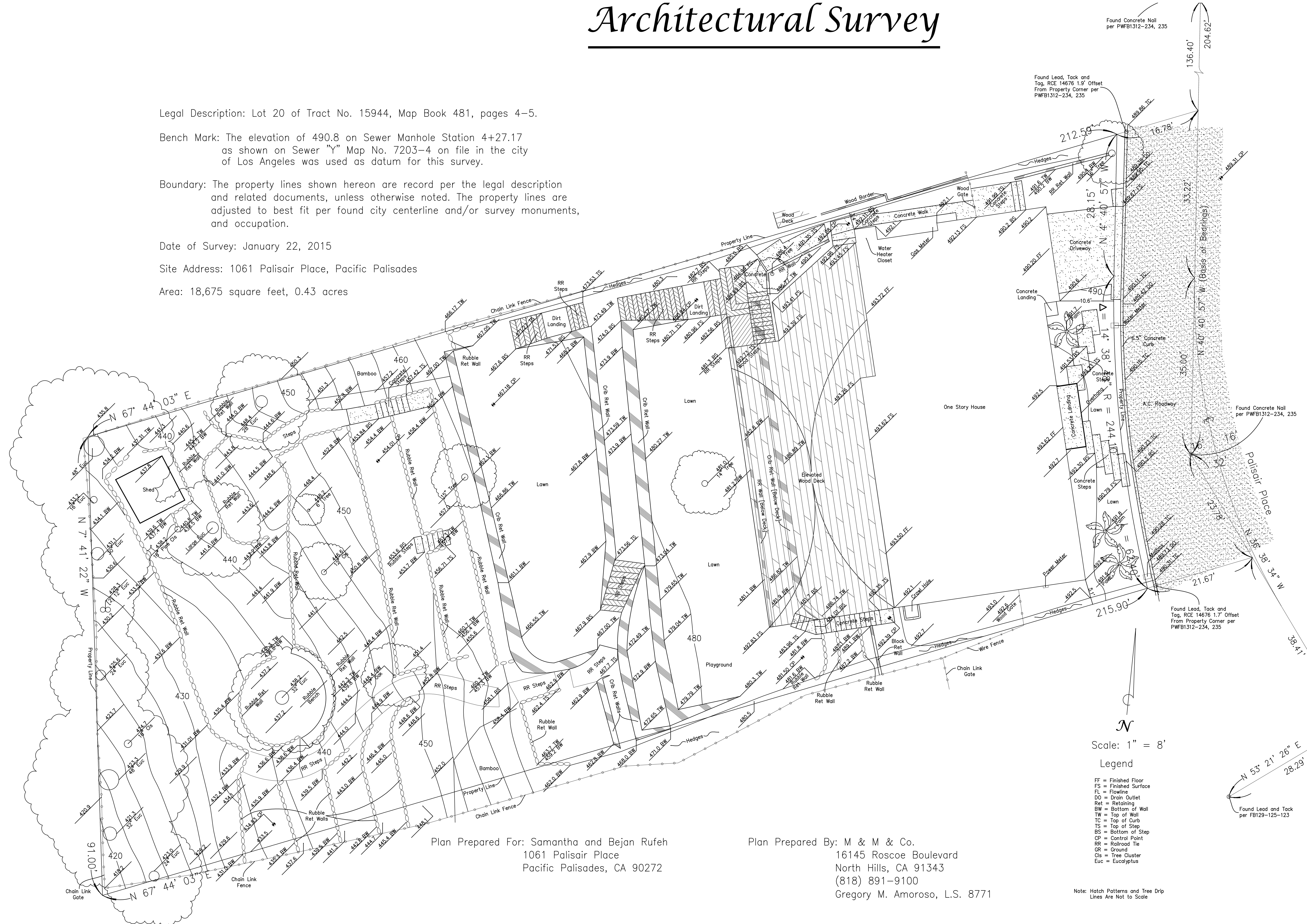
Bench Mark: The elevation of 490.8 on Sewer Manhole Station 4+27.17 as shown on Sewer "Y" Map No. 7203-4 on file in the city of Los Angeles was used as datum for this survey.

Boundary: The property lines shown hereon are record per the legal description and related documents, unless otherwise noted. The property lines are adjusted to best fit per found city centerline and/or survey monuments, and occupation.

Date of Survey: January 22, 2015

Site Address: 1061 Palisair Place, Pacific Palisades

Area: 18,675 square feet, 0.43 acres



VERTOCH DESIGN
ARCHITECTS INC.

1423 CLOVERFIELD BLVD. UNIT A
SANTA MONICA, CA 90404

TEL: 310 829-6051 FAX: 310 829-2812
vertoch@aol.com

THESE DRAWINGS AND SPECIFICATIONS ARE OWNED BY AND THE PROPERTY OF VERTOCH DESIGN ARCHITECTS INC. NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED BY OTHERS IN CONNECTION WITH ANY WORK OR PROJECTS OTHER THAN THIS SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT WRITTEN CONSENT OR WRITTEN RELEASE BY VERTOCH DESIGN ARCHITECTS INC. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS COPYRIGHT © VERTOCH DESIGN ARCHITECTS INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

RESIDENCE @
1061 PALISAIR
LOS ANGELES CA
90272

SAMANTHA AND BEJAN RUFEEH

APN 4420006019
LOT - 20
TRACT - TR15944

SHEET TITLE

EXISTING
SURVEY

JAN 11, 2018

REVISION

REVISION

PROJECT INFORMATION

SCALE:
DATE:
DRAWN BY:
CHECKED BY:

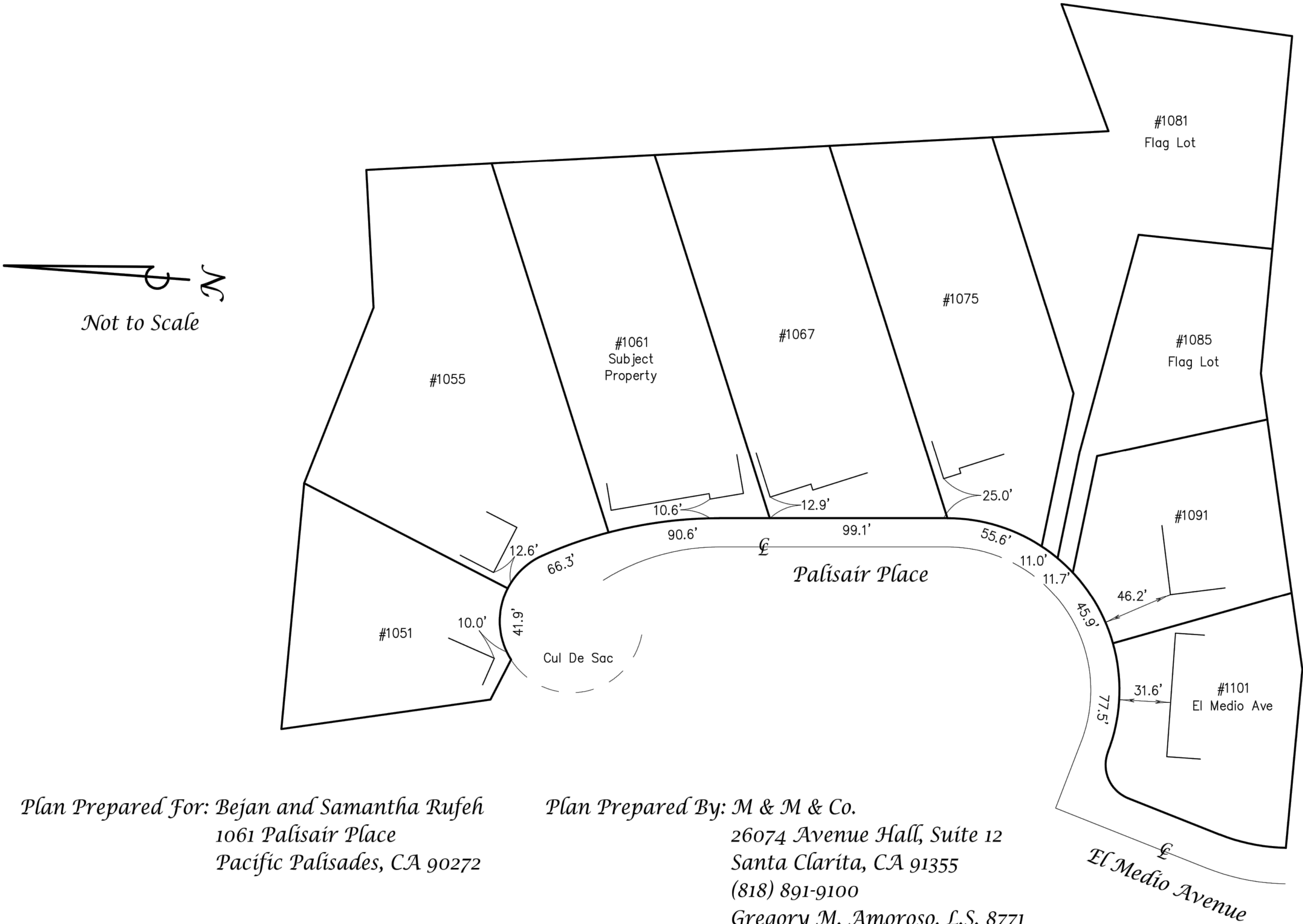
SHEET NUMBER

A-2.1

Setback Plan

Address: 1061 Palisair Place, Pacific Palisades

Date: July 20, 2018



Prevailing Setback Calc Sheet

per City Of Los Angeles, Department of Building and Safety

Lot	Frontage	Setback
1051	41.9'	10.0'
1055	66.3'	12.6'
1061	90.6'	10.6'
1067	99.1'	12.9'
1075	55.6'	25.0'
1081	11.0'	—
1085	11.7'	—
1091	45.9'	46.2'
1101	77.5'	31.6'

Prevailing Setback = 11.53'

Total number of lots entered = 9
Total frontage entered = 449.6'
40% of Total frontage = 199.8'

Number of lots used in the calculations = 4
Setback range used = 10.0'–12.9'
Total frontage used in the calculations = 297.9'

Lots Used: 1051, 1055, 1061, 1067

RESIDENCE @
1061 PALISAIR
LOS ANGELES CA
90272

SAMANTHA AND BEJAN RUFEB

APN 4420006019
LOT - 20
TRACT - TR15944

SHEET TITLE

SETBACK PLAN

JAN 11, 2018
REVISION

REVISION

PROJECT INFORMATION

SCALE:
DATE:
DRAWN BY:
CHECKED BY:

SHEET NUMBER

A-2.2

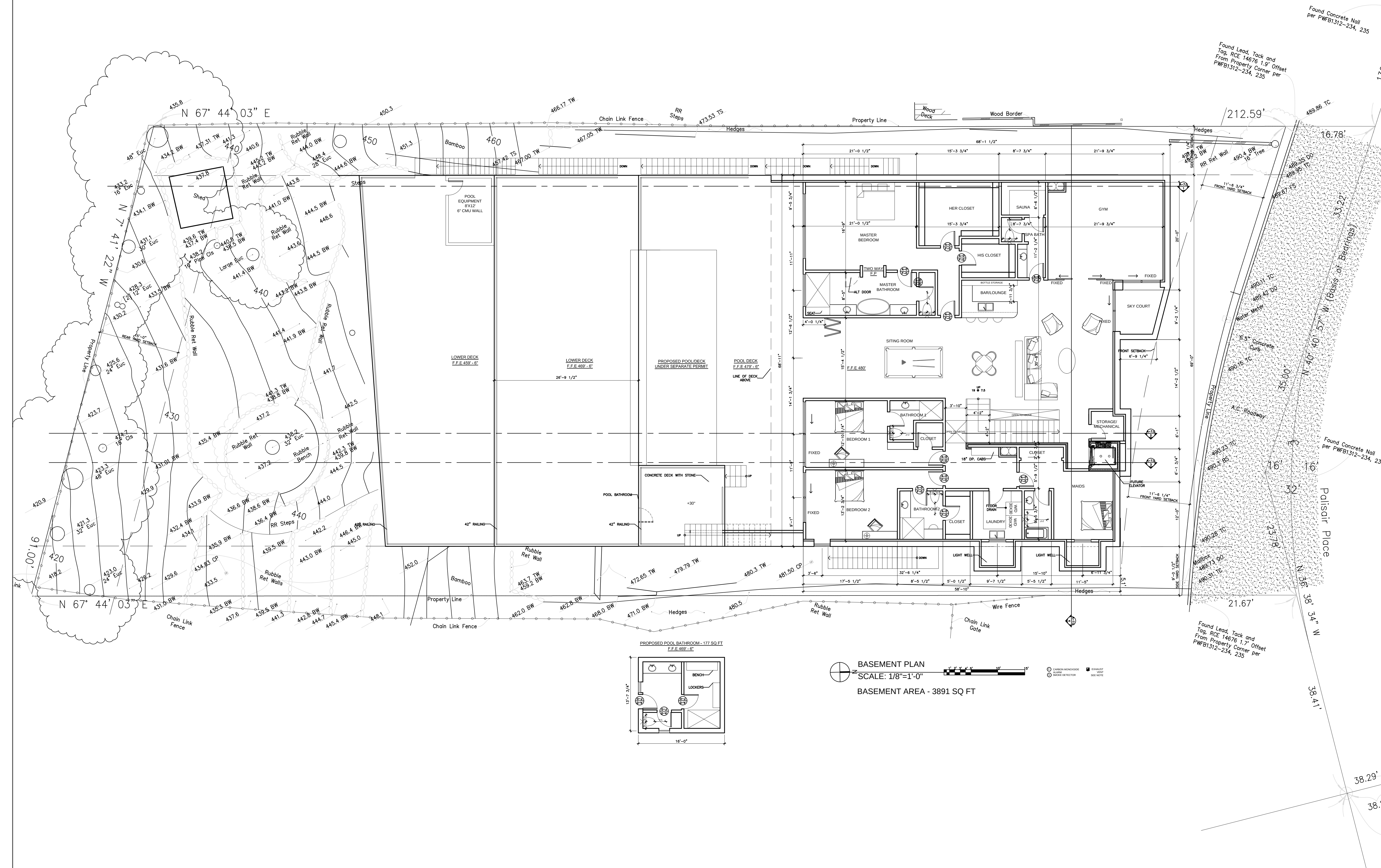
Plan Prepared For: Bejan and Samantha Rufeñ
1061 Palisair Place
Pacific Palisades, CA 90272

Plan Prepared By: M & M & Co.
26074 Avenue Hall, Suite 12
Santa Clarita, CA 91355
(818) 891-9100
Gregory M. Amoroso, L.S. 8771



1061 Palisair Place 07_18

A-4.0



THESE DRAWINGS AND SPECIFICATIONS ARE OWNED BY AND THE PROPERTY OF VERTOCH DESIGN ARCHITECTS INC. NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED BY OTHERS IN CONNECTION WITH ANY WORK OR PROJECTS OTHER THAN THIS SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT WRITTEN CONSENT OR WRITTEN RELEASE BY VERTOCH DESIGN ARCHITECTS INC. ANY VIOLATION OF THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS COPYRIGHT © VERTOCH DESIGN ARCHITECTS INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. SCALE DIMENSIONS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTICED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

RESIDENCE @
1061 PALISAIR
LOS ANGELES CA
90272

SAMANTHA AND BEJAN RUFEEH

APN 4420006019
LOT - 20
TRACT - TR15944

SHEET TITLE

FIRST
FLOOR PLAN

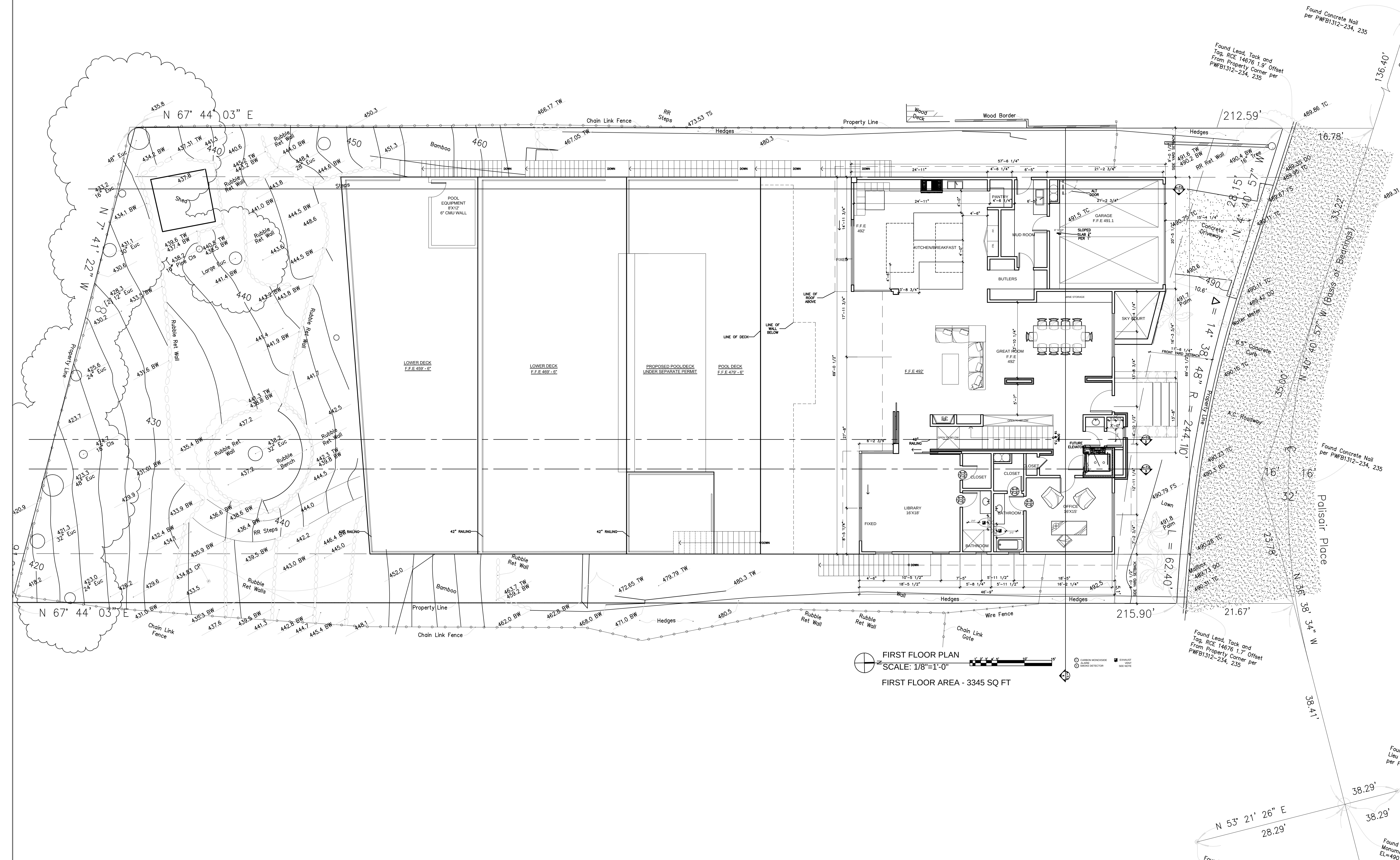
JAN 11, 2018

REVISION

PROJECT INFORMATION

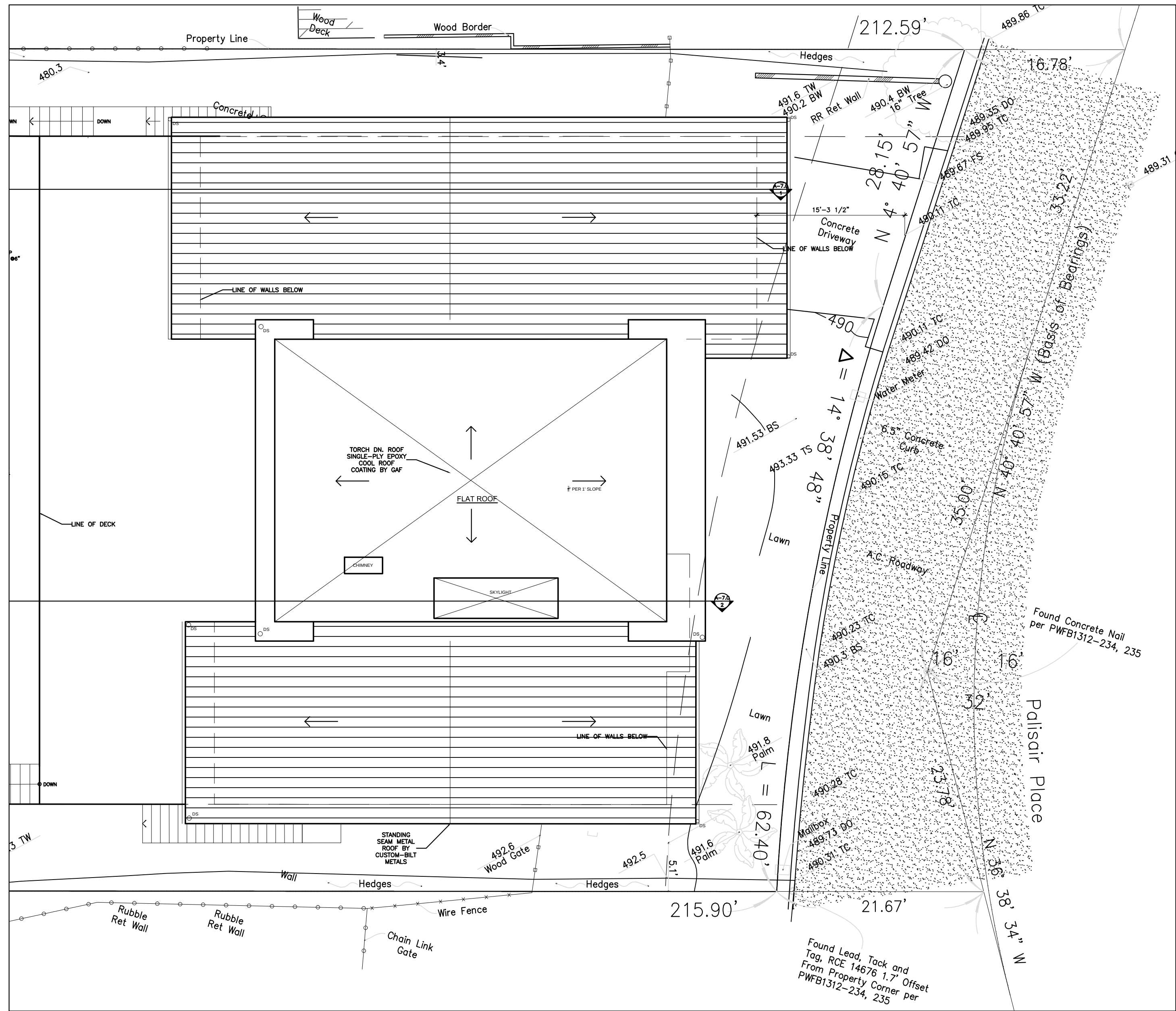
SCALE:
DATE:
DRAWN BY:
CHECKED BY:

SHEET NUMBER
A-4.1



THESE DRAWINGS AND SPECIFICATIONS ARE OWNED BY AND THE PROPERTY OF VERTOCH DESIGN ARCHITECTS INC. THIS PART OF THE DRAWINGS SHALL NOT BE REPRODUCED OR USED BY OTHERS IN CONNECTION WITH ANY WORK OR PROJECTS OTHER THAN THIS SPECIFIED PROJECT FOR WHICH THE DRAWINGS WERE SPECIFICALLY WRITTEN. NO WRITTEN OR WRITTEN RELEASE BY VERTOCH DESIGN ARCHITECTS INC. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. COPYRIGHT © VERTOCH DESIGN ARCHITECTS INC.

ALL WRITTEN DIMENSIONS AND DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. THE DRAWINGS ARE NOT TO BE VARYED FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.



1. ROOF SLOPES ARE SHOWN DIRECTLY ON ROOF PLAN DRAWING.
2. ALL FLAT ROOFS AND BALCONIES SHALL SLOPE A MINIMUM OF 2% TOWARD DRAINS.
3. IN THE ABSENCE OF SLOPES SHOWN ON STRUCTURAL DRAWINGS OR ARCHITECTURAL DRAWINGS, ROUGH CARPENTER SHALL PROVIDE REQUIRED SHIMMING BELOW ROOF SHEATING TO ALLOW FOR PROPER SLOPE TO DRAIN.
4. NO OBSTACLE SHALL PREVENT WATER FLOW TOWARD DRAINS.

1. GUTTERS SHALL BE CONSTRUCTED OF 24 GA. GALVANIZED METAL WITH 5/8" EXPANSION JOINTS EVERY 30 FEET MAXIMUM. IF SLATE OR COPPER ROOFS ARE SPECIFIED, GUTTER SHALL BE COPPER.
2. GUTTERS SHALL SLOPE 1/16" PER FOOT TOWARD RAIN WATER LEADERS.
3. UNLESS SPECIFIED OTHERWISE, RAIN WATER LEADERS ARE EXPOSED AND LOCATION IS SHOWN ON ROOF PLAN.
4. DOWNSPOUTS AT FLAT ROOFS SHALL BE A MINIMUM OF 4" DIAMETER WITH OVERFLOW DRAINS. OVERFLOW DRAIN CAN BE OMITTED IF A 6" x 1 1/2" H SCUPPER IS SHOWN ADJACENT TO DRAIN.
5. PROVIDE DOME WIRE BASKET AT EACH RAIN WATER LEADER AND ROOF DRAIN.
6. CONTRACTOR SHALL TEST ALL CONCEALED DOWNSPOUTS FOR WATER LEAKAGE PRIOR TO CLOSING UP BUILDING AND SHALL PROVIDE A 10 YEAR WARRANTY AGAINST LEAKAGE.
7. CONNECT ALL DOWNSPOUTS TO THE STORM DRAIN SYSTEM PER CIVIL PLANS

1. ALL FLAT ROOFS TO BE MODIFIED TORCHED DOWN BITUMEN CLASS "A" GAF MATERIALS CORPORATION RUBEROID ESR-1274 OR APPROVED EQUAL/ EVERGLAD FREEDOM TPO (GREY)
2. PITCHED ROOF TO BE CLASS "A" STANDING SEAM METAL ROOF.
3. WHEN A SLATE ROOF FINISH IS SPECIFIED, ALL METALS IN CONTACT WITH SLATE, SHALL BE COPPER AND SLATE SHALL BE FASTENED WITH COPPER NAILS.
4. A MOCK-UP OF PITCHED ROOF INSTALLATION SHALL BE APPROVED BY ARCHITECT PRIOR TO PROCEEDING WITH WORK.
5. SLOPED ROOF TO BE CUSTOM-BILT METAL ROOF G-89 FLUORINATED STEEL PREFINISHED IN A FULL 70% PVDF (POLYVINYLIDENE FLUORIDE)

1. VENTS AT FLAT ROOF AND ROOF STACKS SHALL PROJECT ABOVE ROOF BY THE MINIMUM DISTANCE REQUIRED BY APPLICABLE CODES AND SHALL BE LOCATED IN AREAS NOT VISIBLE FROM STREET. EXACT LOCATION TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
2. ALL NEW AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS.
3. CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATION SHALL BE PROVIDED WITH W.R. GRACE 4000 BITUTHENE WRAPPING AND 24 GA. GALVANIZED METAL FLASHING AND COUNTERFLASHING. ALL JOINTS AT SHEETMETAL SHALL BE CAULKED.
4. COLOR OF ALL EXPOSED VENTS AND ROOF STACKS TO MATCH ADJACENT ROOF MATERIAL, UNLESS SPECIFIED OTHERWISE BY ARCHITECT.

COORDINATE WITH MECHANICAL & OWNER REQ.

1. ALL CONDENSING UNITS SHALL BE MOUNTED ON SOUND ISOLATORS AT FLAT ROOF AND SHALL BE SCREENED FROM STREET AND REAR YARD WITH PARAPET WALLS CONSTRUCTED OF STUCCO OVER WOOD FRAMING. THE SOUND ISOLATOR SHALL BE INSTALLED OVER A SHEET OF EQUIPMENT TO BE COORDINATED ON SITE BY ARCHITECT.
2. FOR ROOFS WITH NO FLAT AREAS, CONDENSING UNITS WILL BE LOCATED ON CONCRETE PADS IN YARD. EXTRACT LOCATION OF EQUIPMENT TO BE COORDINATED ON SITE BY ARCHITECT. SEE BUILDING SECTIONS AND CEILING DETAILS.

1. TOTAL ATTIC VENTILATION SHALL BE A MINIMUM OF 1/150 OF THE AREA TO BE VENTILATED.
2. ATTIC DRAFT STOPS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES.
3. ALL VENT OPENINGS SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH OPENINGS NO LARGER THAN 1/4" IN ANY DIRECTION.

SAMANTHA AND BEJAN RUFEB

N 11, 2018

REVISION

1

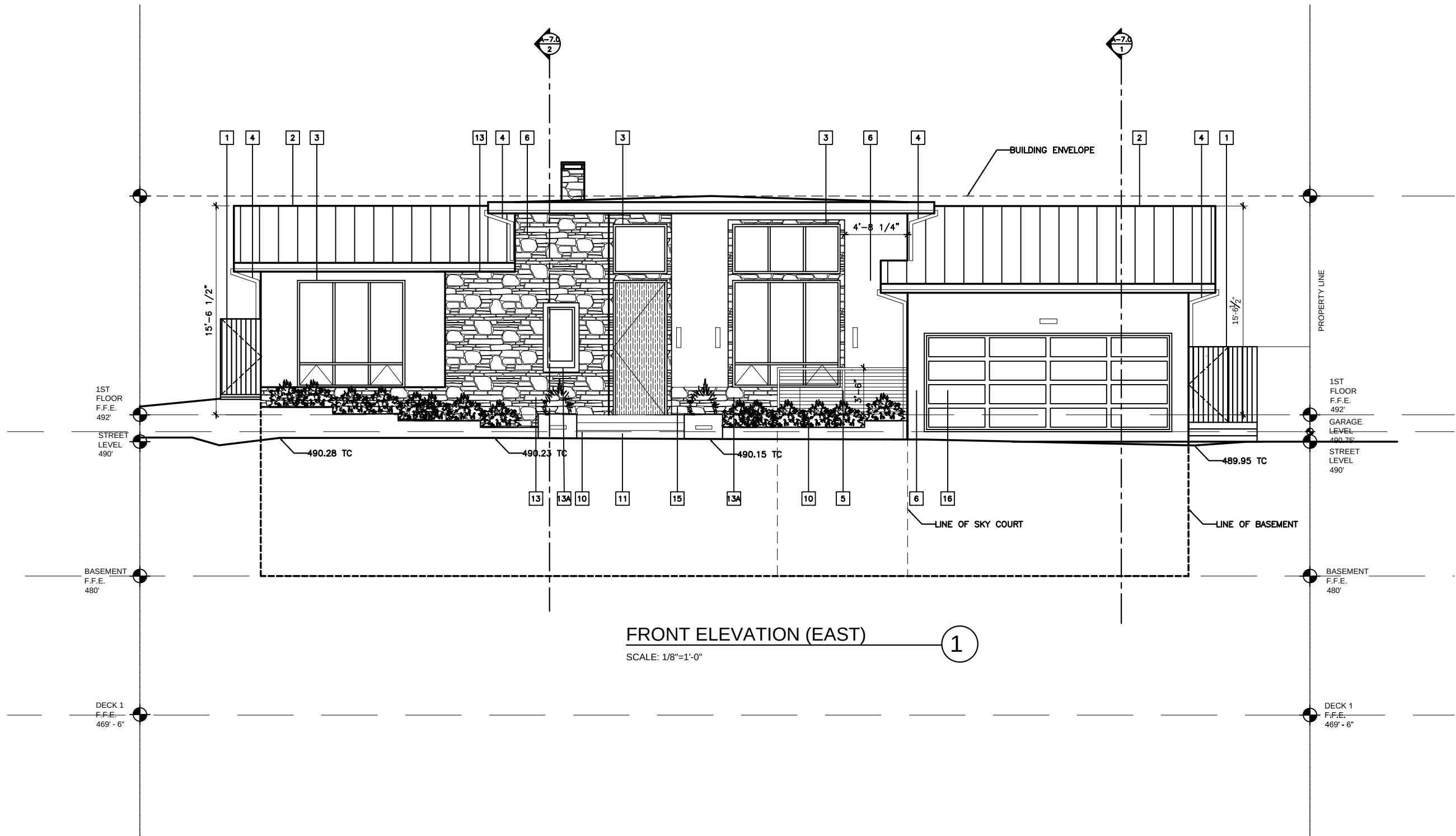
PROJECT INFORMATION

SCALE:
DATE:
DRAWN BY:
CHECKED B

SHEET NUMBER

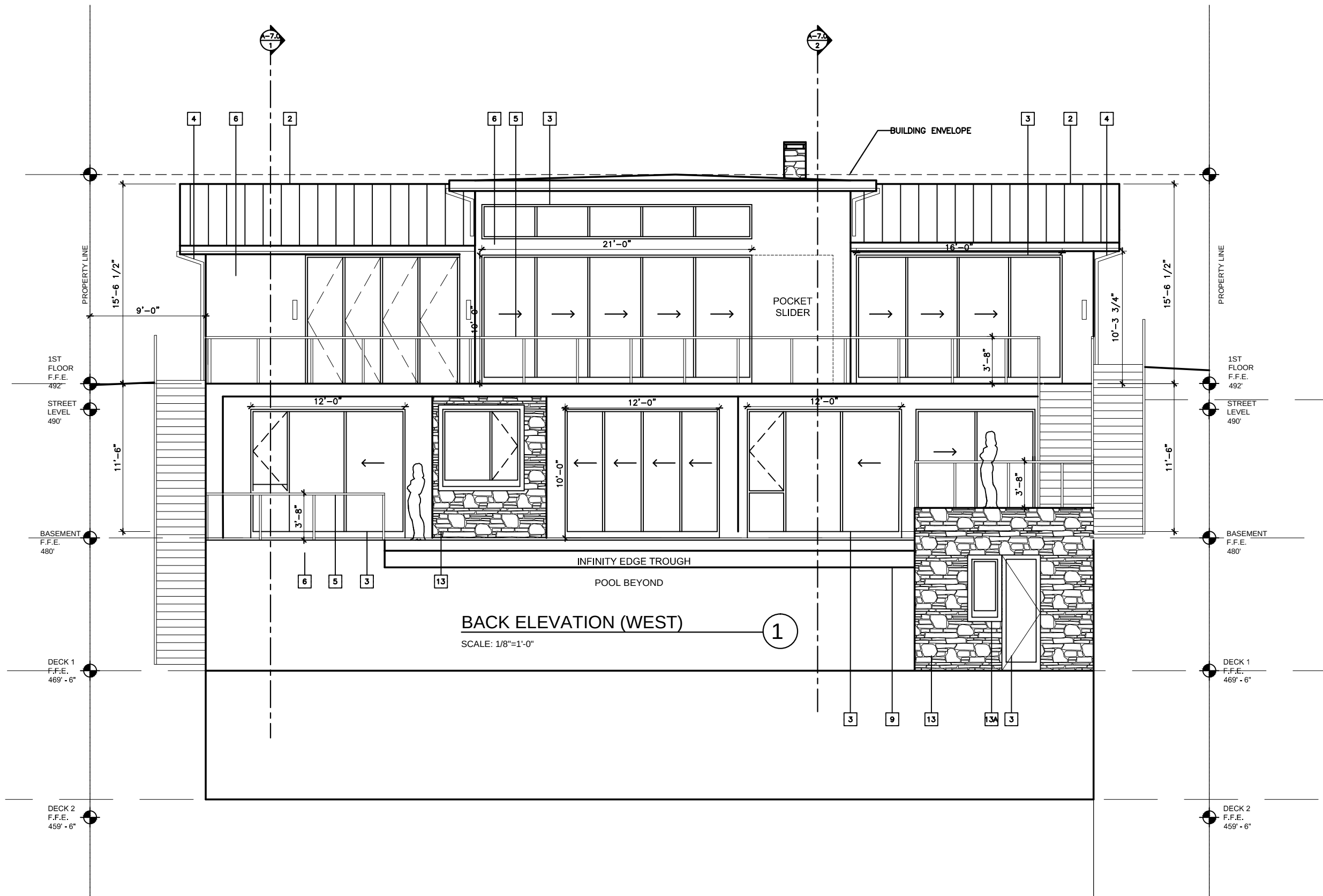
A-5.0

THESE DRAWINGS AND SPECIFICATIONS ARE OWNED BY AND THE PROPERTY OF VERTOCH DESIGN ARCHITECTS INC. NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED BY OTHERS IN CONNECTION WITH ANY WORK OR PROJECTS OTHER THAN THIS SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT WRITTEN CONSENT OR WRITTEN RELEASE BY VERTOCH DESIGN ARCHITECTS INC. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS COPYRIGHT © VERTOCH DESIGN ARCHITECTS INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTICED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.



EXTRIOR ELEVATION NOTES

1. NEW WOOD GATES
2. METAL ROOF/ ()
3. DARK BROWN ANODIZED FLEETWOOD/ALT. SILVER WINDOWS /DOORS
4. GUTTERS & DOWNSPOUTS ANODIZED
5. CABLE RAILINGS WITH FLAT BAR SUPPORTS @ 4' O.C
6. SMOOTH TROWEL PLASTER - PAINTED
7. R.R TIES ON GRADE - SEE LANDSCAPE PLAN
8. NEW RETAINING WALL
9. NEW POOL CABANA WITH DECK
10. NEW LANDSCAPE - SEE LANDSCAPE PLAN
11. NEW CONCRETE PLANTER WITH LIGHT
12. NEW CONCRETE STEPS ON GRADE
13. NEW STONE VENEER DRY STACKED ASHLAR
- 13.A SMOOTH CUT STONE SURROUNDING ALL OPENINGS
14. ROOF MOUNT DRAFT VENT
15. NEW 4' WOOD DOOR
16. ALUMINUM/TRANSLUCENT GLASS GARAGE DOOR
17. ROOF VENT



RESIDENCE @
1061 PALISAIR
LOS ANGELES CA
90272

SAMANTHA AND BEJAN RUFEB

APN 4420006019
LOT - 20
TRACT - TR15944

SHEET TITLE

FRONT & REAR
ELEVATIONS

JAN 11, 2018

REVISION

△	
△	

PROJECT INFORMATION

SCALE:
DATE:
DRAWN BY:
CHECKED BY:

SHEET NUMBER

A-6.0

THESE DRAWINGS AND SPECIFICATIONS ARE OWNED BY AND THE PROPERTY OF VERTOCH DESIGN ARCHITECTS INC. NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED BY OTHERS IN CONNECTION WITH ANY WORK OR PROJECTS OTHER THAN THIS SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT WRITTEN CONSENT OR WRITTEN RELEASE BY VERTOCH DESIGN ARCHITECTS INC. THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS COPYRIGHT © VERTOCH DESIGN ARCHITECTS INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTICED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

EXTRIOR ELEVATION NOTES

1. NEW WOOD GATES
2. METAL ROOF/ ()
3. DARK BROWN ANODIZED FLEETWOOD/ALT. SILVER WINDOWS /DOORS
4. GUTTERS & DOWNSPOUTS ANODIZED
5. CABLE RAILINGS WITH FLAT BAR SUPPORTS @ 4" O.C
6. SMOOTH TROWEL PLASTER – PAINTED
7. R.R TIES ON GRADE – SEE LANDSCAPE PLAN
8. NEW RETAINING WALL
9. NEW POOL CABANA WITH DECK
10. NEW LANDSCAPE – SEE LANDSCAPE PLAN
11. NEW CONCRETE PLANTER WITH LIGHT
12. NEW CONCRETE STEPS ON GRADE
13. NEW STONE VENEER DRY STACKED ASHLAR
- 13.A SMOOTH CUT STONE SURROUNDING ALL OPENINGS
14. ROOF MOUNT DRAFT VENT
15. NEW 4' WOOD DOOR
16. ALUMINUM/TRANSLUCENT GLASS GARAGE DOOR
17. ROOF VENT

SAMANTHA AND BEJAN RUFEH

APN 4420006019
LOT - 20
TRACT - TR15944

SHEET TITLE

SIDE ELEVATIONS

JAN 11, 2018

REVISION

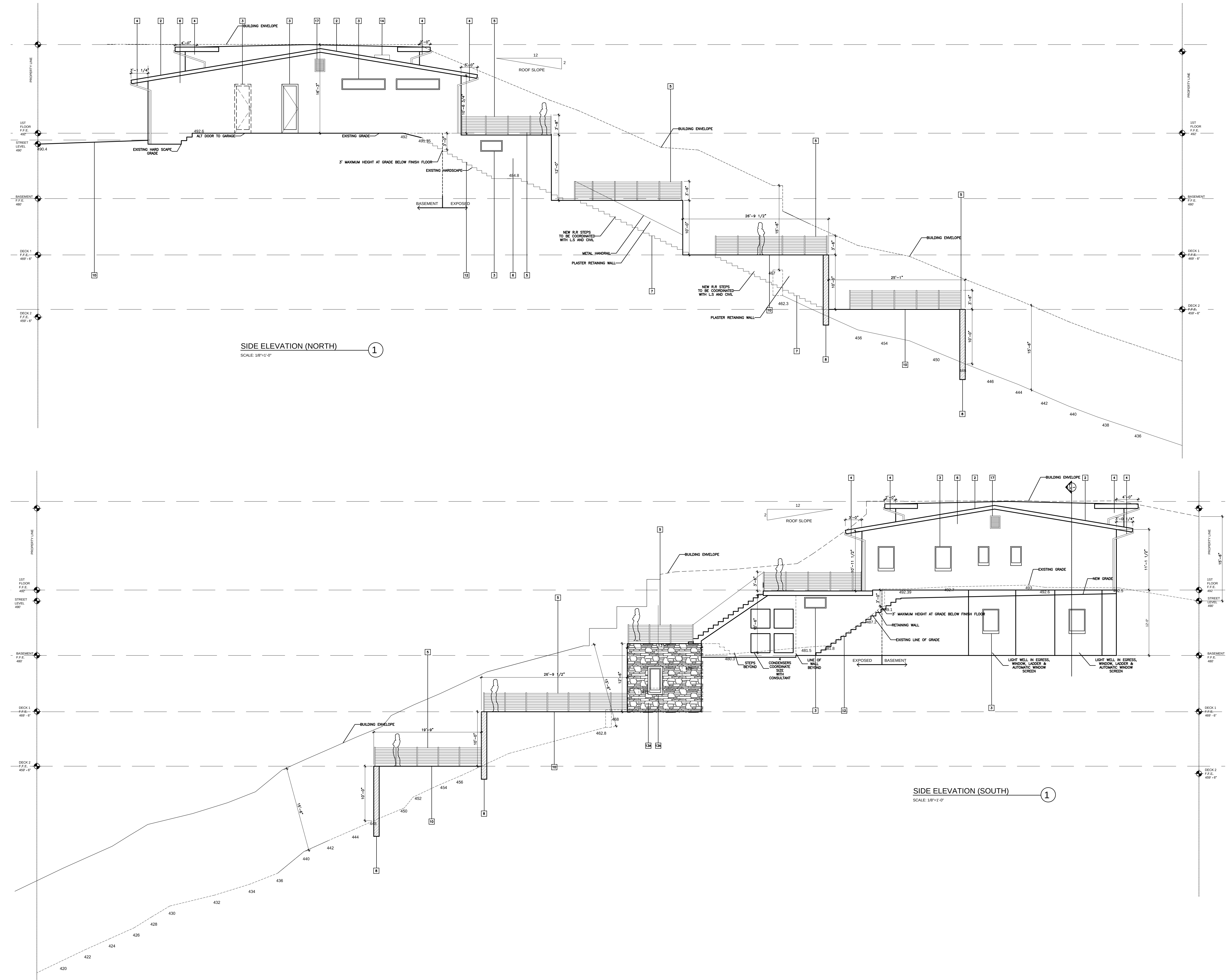
△	
△	

PROJECT INFORMATION

SCALE:
DATE:
DRAWN BY:
CHECKED BY:

SHEET NUMBER

A-6.1





VERTOCH DESIGN
ARCHITECTS INC.

○

1423 CLOVERFIELD BLVD. UNIT A
SANTA MONICA, CA 90404

TEL: 310 829-6051 FAX: 310 829-2812
vertoch@aol.com

THESE DRAWINGS AND SPECIFICATIONS ARE OWNED BY AND THE PROPERTY OF VERTOCH DESIGN ARCHITECTS INC. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED BY OTHERS IN CONNECTION WITH ANY WORK OR PROJECTS OTHER THAN THIS SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT WRITTEN CONSENT OR WRITTEN RELEASE BY VERTOCH DESIGN ARCHITECTS INC. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS COPYRIGHT © VERTOCH DESIGN ARCHITECTS INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

RESIDENCE @
1061 PALISAIR
LOS ANGELES CA
90272

APN 4406019004

SHEET TITLE

RENDERS

MAY 9, 2018

REVISION

△	
△	

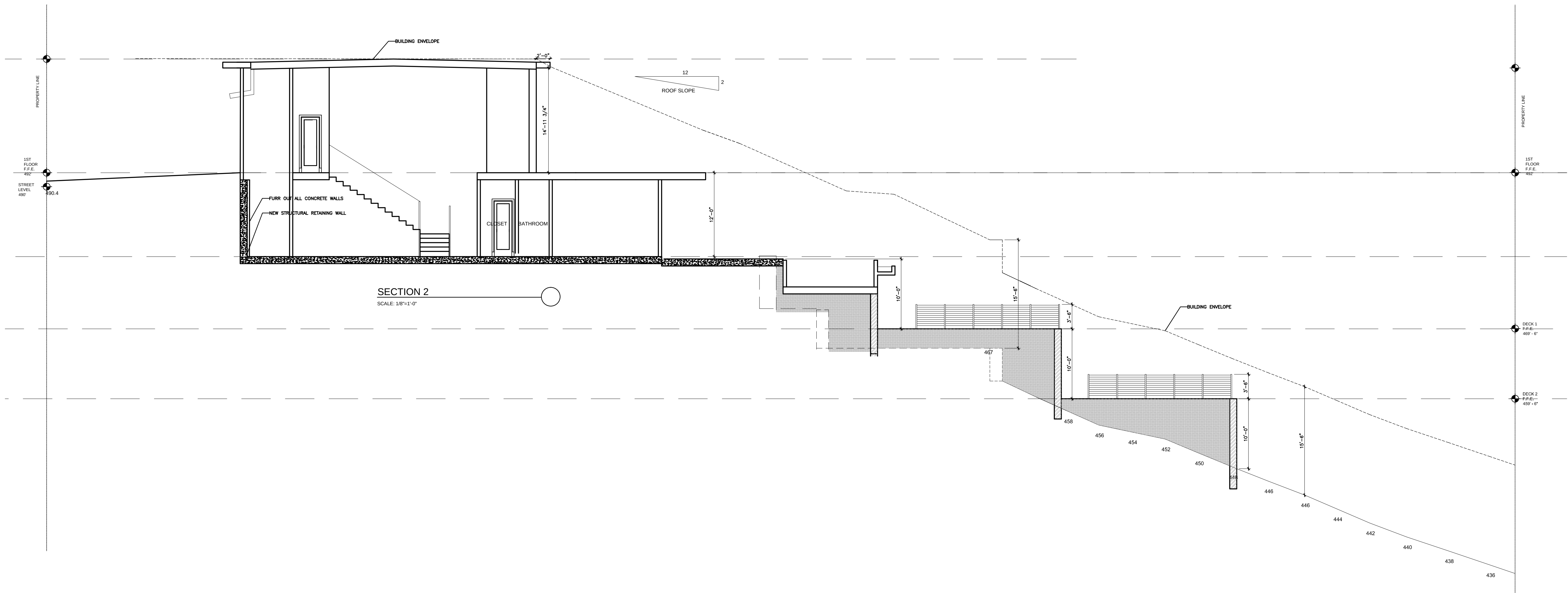
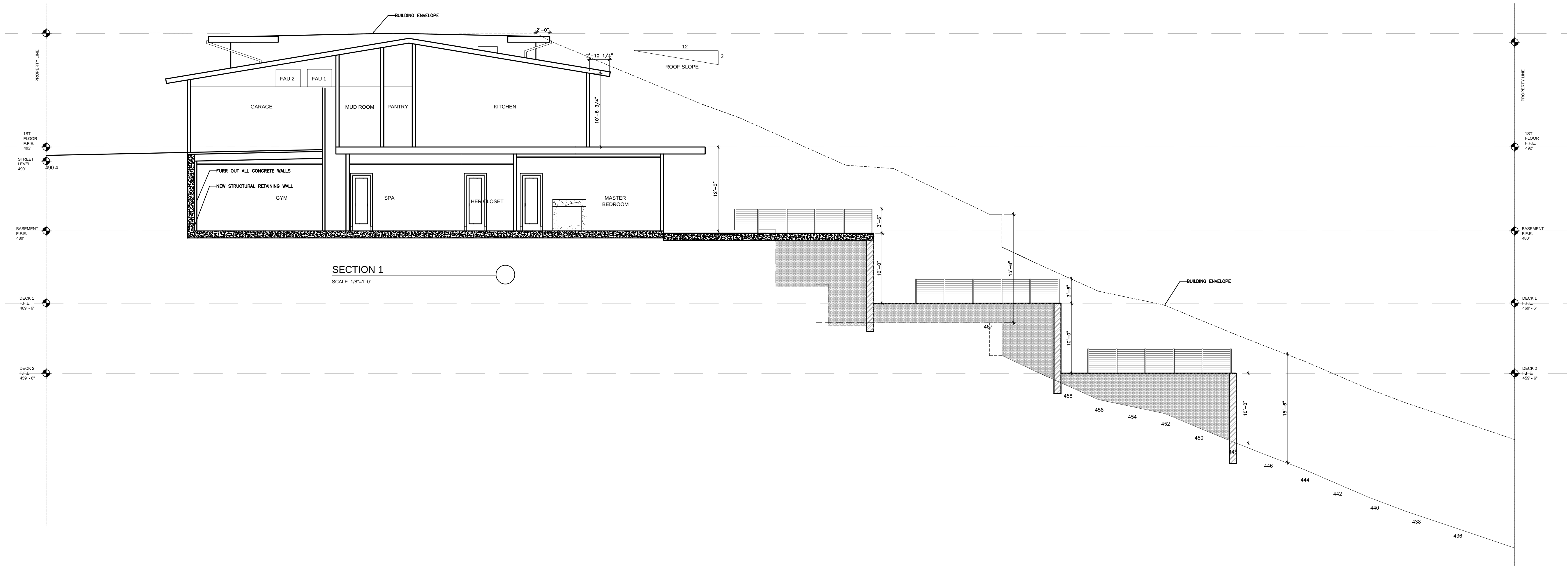
PROJECT INFORMATION

SCALE:
DATE:
DRAWN BY:
CHECKED BY:

SHEET NUMBER

A-6.2

THESE DRAWINGS AND SPECIFICATIONS ARE OWNED BY AND THE PROPERTY OF VERTOCH DESIGN ARCHITECTS INC. NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED BY OTHERS IN CONNECTION WITH ANY WORK OR PROJECTS OTHER THAN THIS SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT WRITTEN CONSENT OR WRITTEN RELEASE BY VERTOCH DESIGN ARCHITECTS INC. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS COPYRIGHT © VERTOCH DESIGN ARCHITECTS INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTICED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.



RESIDENCE @
1061 PALISAIR
LOS ANGELES CA
90272

SAMANTHA AND BEJAN RUFEEH

APN 4420006019
LOT - 20
TRACT - TR15944

SHEET TITLE

SECTIONS

JAN 11, 2018

REVISION

△	
△	

PROJECT INFORMATION

SCALE:
DATE:
DRAWN BY:
CHECKED BY:

SHEET NUMBER

A-7.0

THESE DRAWINGS AND SPECIFICATIONS ARE OWNED BY AND THE PROPERTY OF VERTOCH DESIGN ARCHITECTS INC. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED BY OTHERS IN CONNECTION WITH ANY WORK OR PROJECTS OTHER THAN THE SPECIFIED PROJECT. FOR WHICH THEY HAVE BEEN PREPARED. WITHOUT WRITTEN CONSENT OR WRITTEN RELEASE BY VERTOCH DESIGN ARCHITECTS INC. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. COPYRIGHT © VERTOCH DESIGN ARCHITECTS INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. SCALE DIMENSIONS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.



1061 PALISAIR
LOS ANGELES CA
90272

SAMANTHA AND BEJAN RUFEEH

APN 4420006019
LOT - 20
TRACT - TR15944

SHEET TITLE

EXISTING
AS-BUILDS

MAY 9, 2018

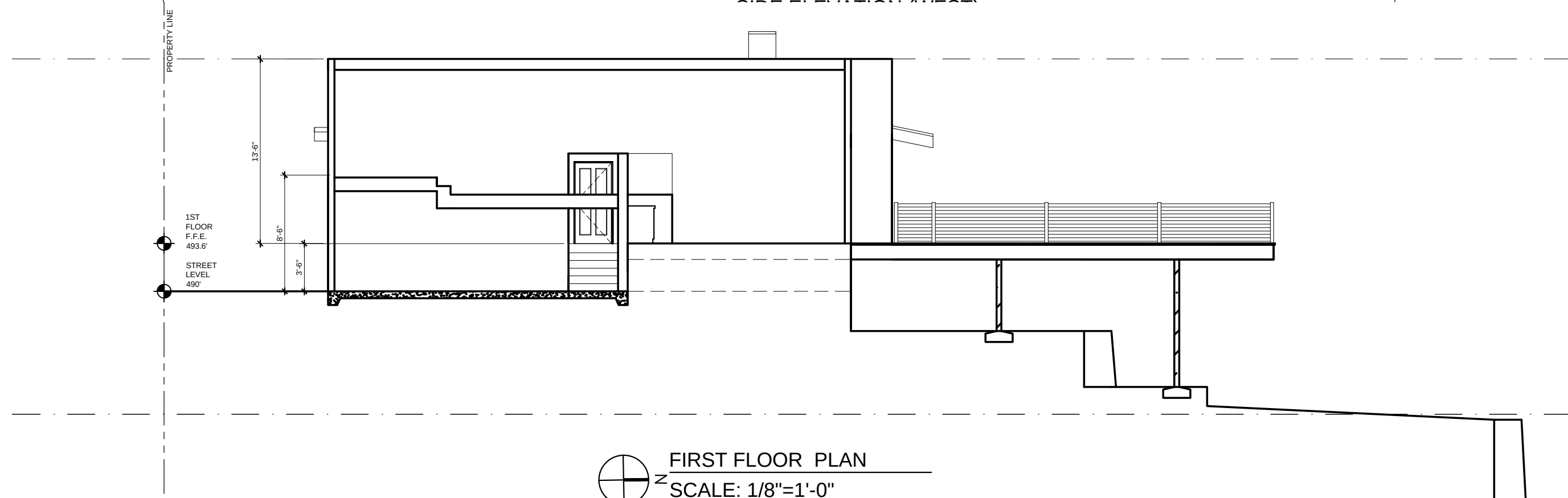
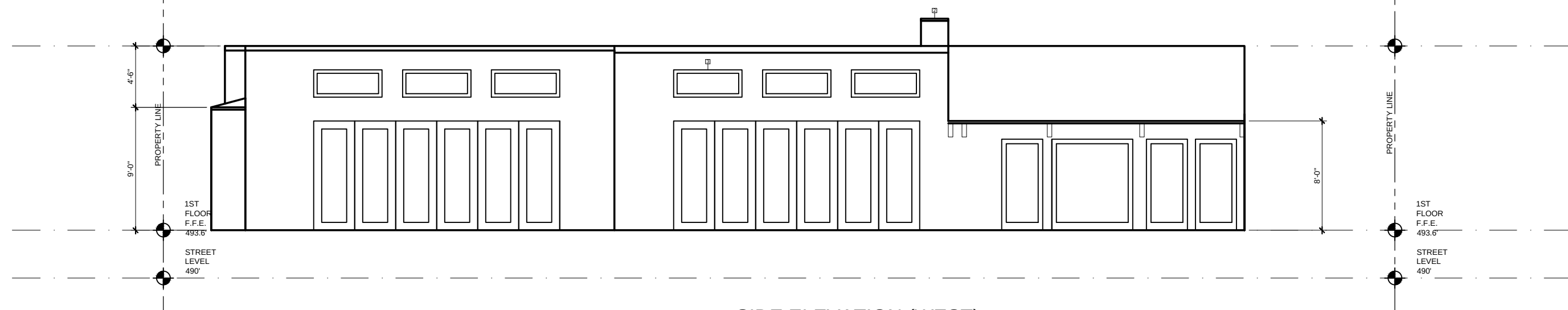
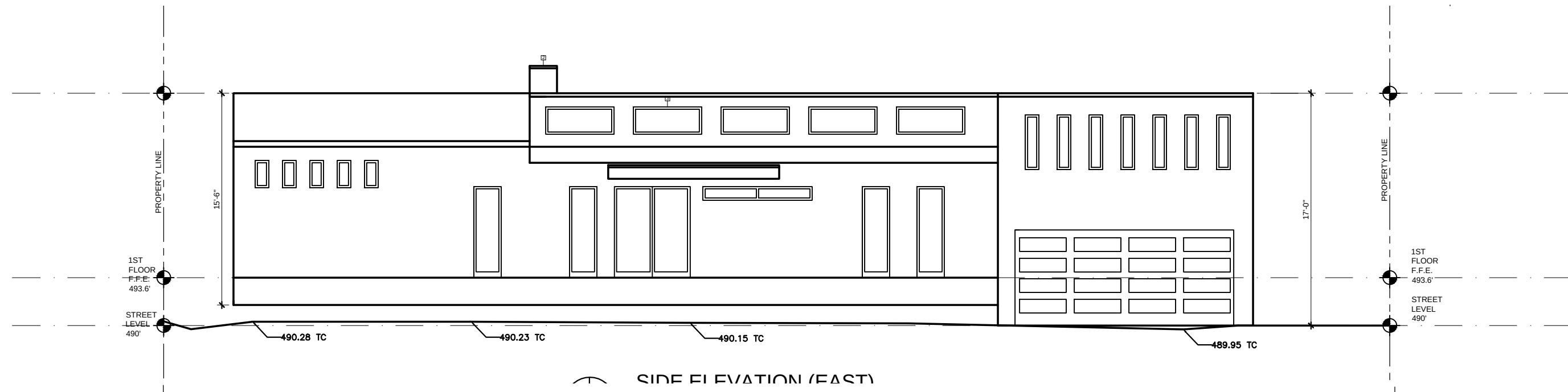
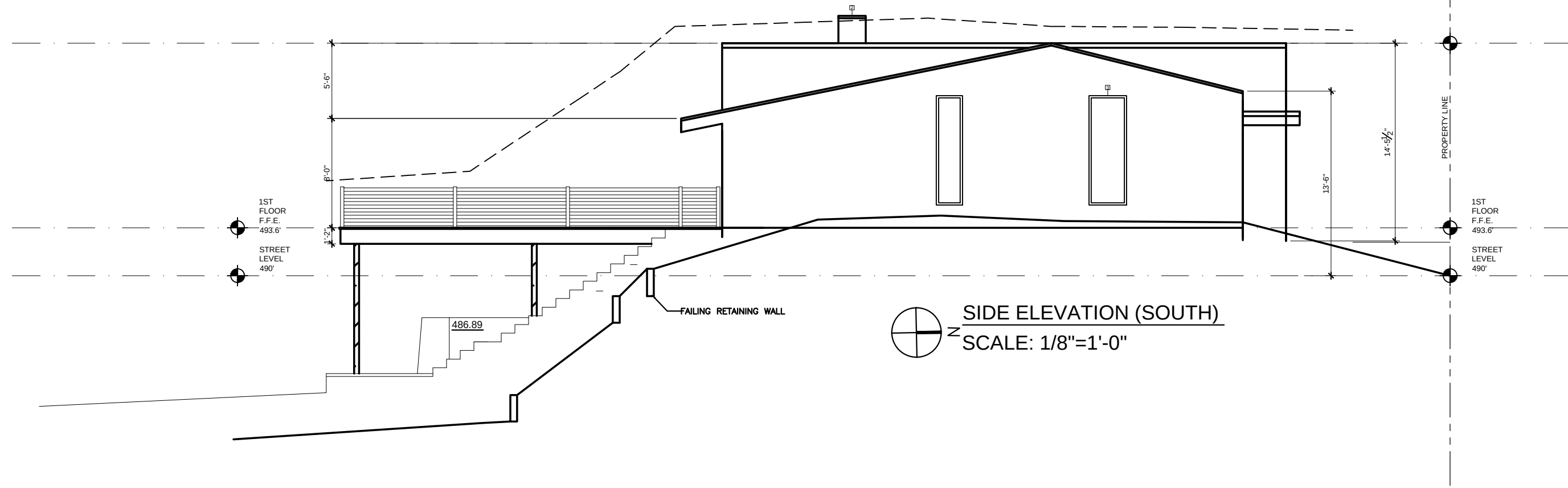
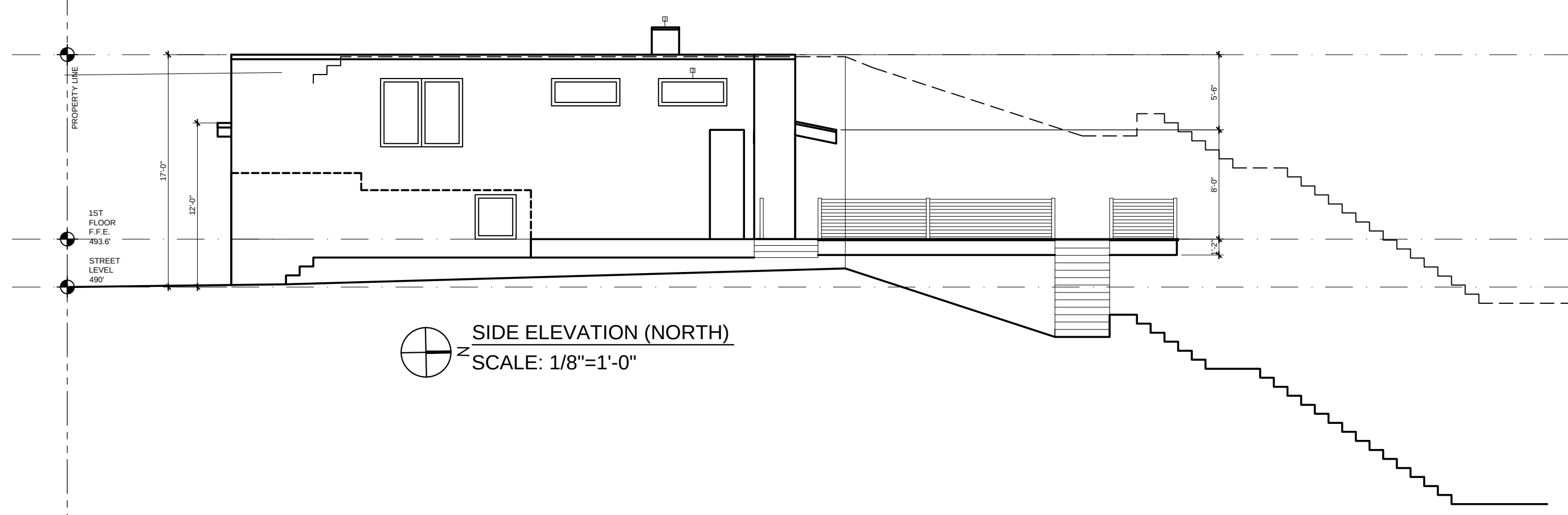
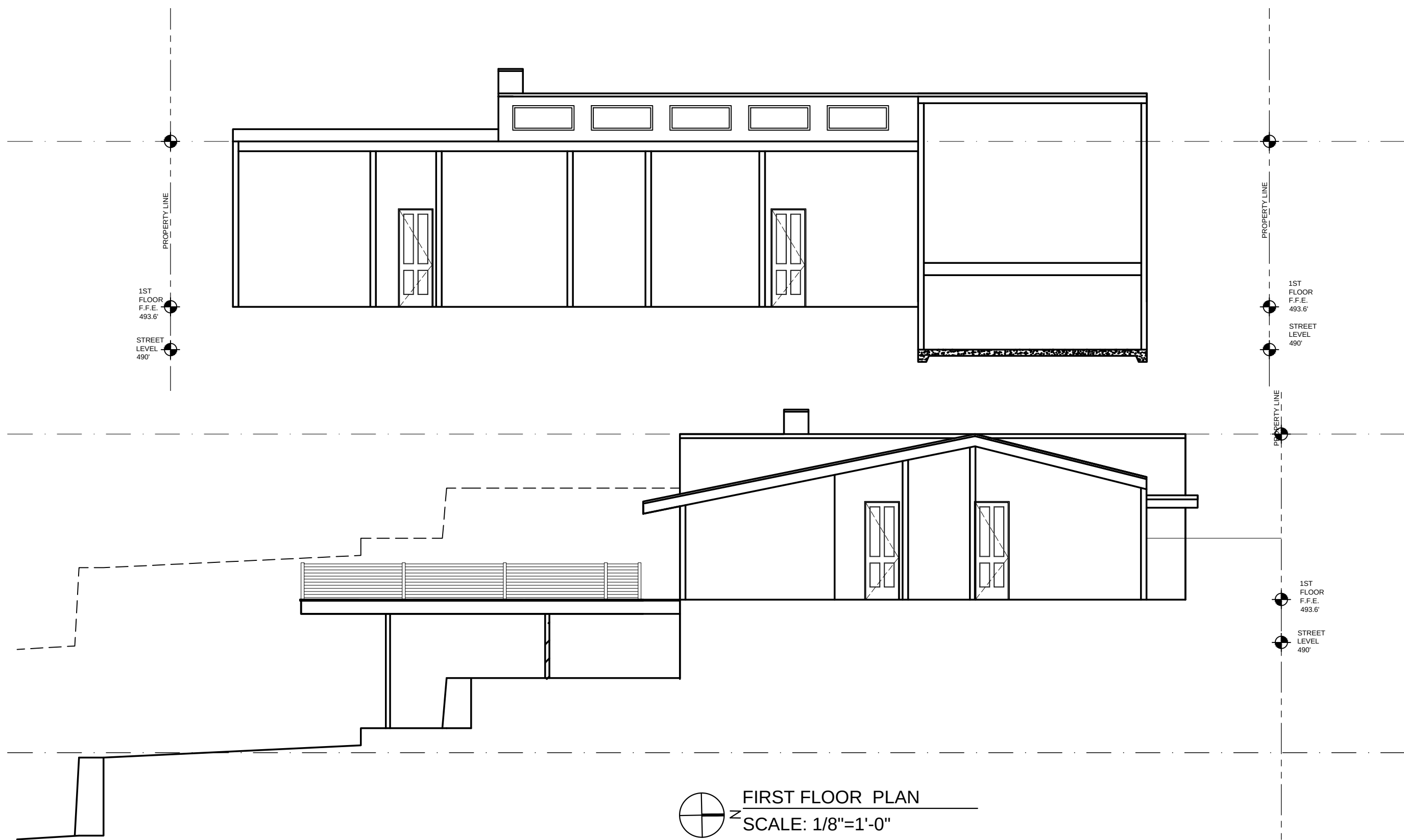
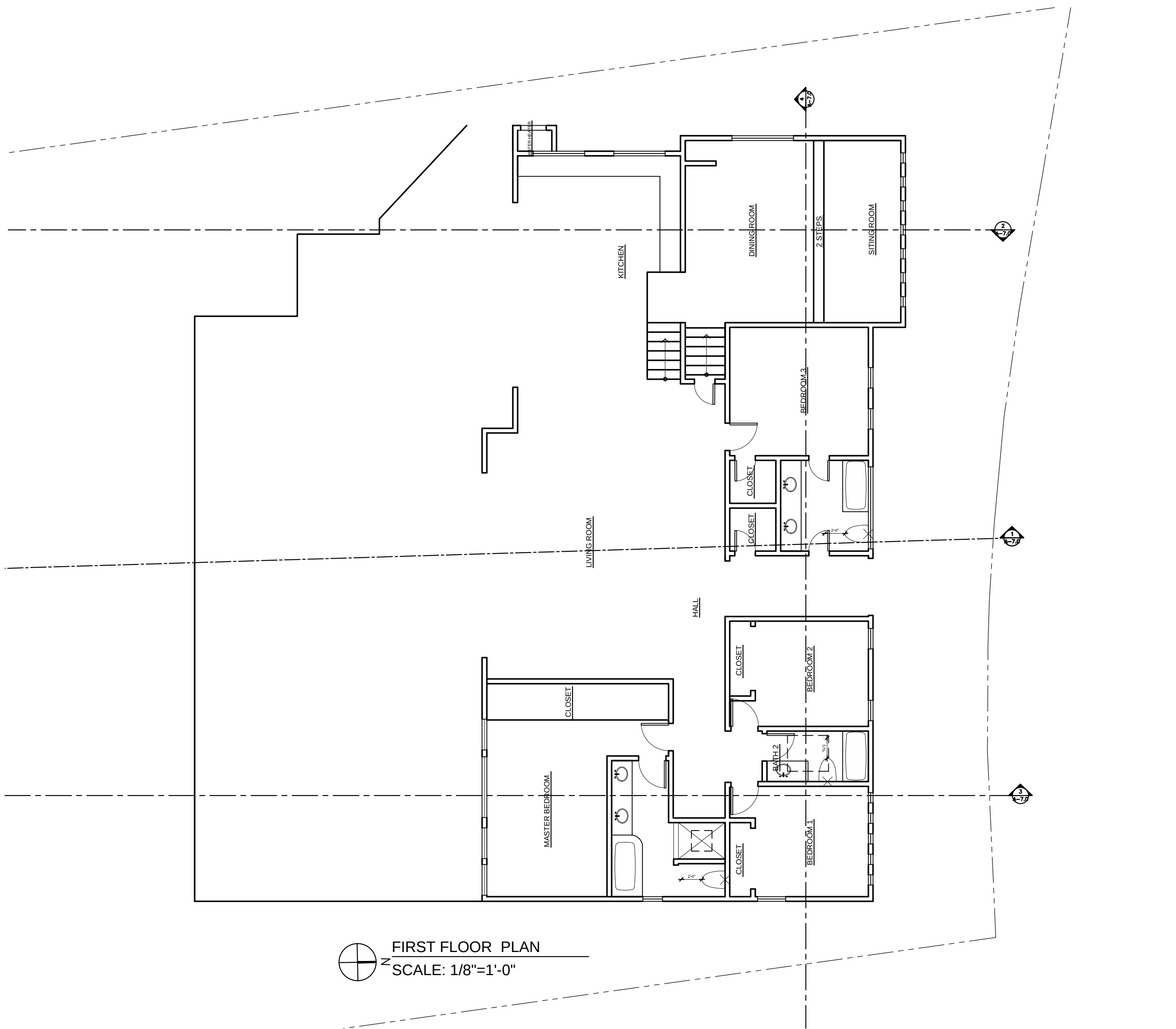
REVISION

1	
2	
3	
4	
5	

PROJECT INFORMATION

SCALE:
DATE:
DRAWN BY:
CHECKED BY:

SHEET NUMBER

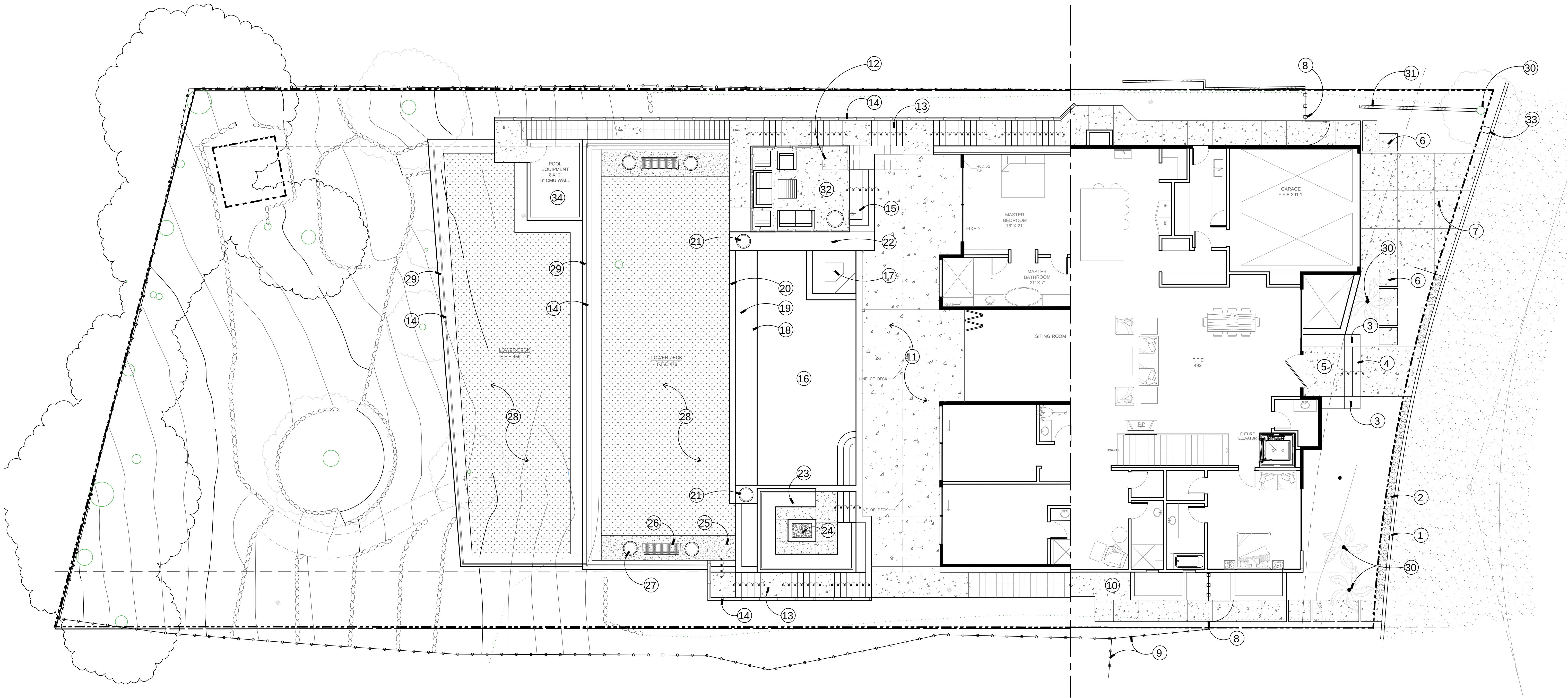


EXISTING AS-BUILDS

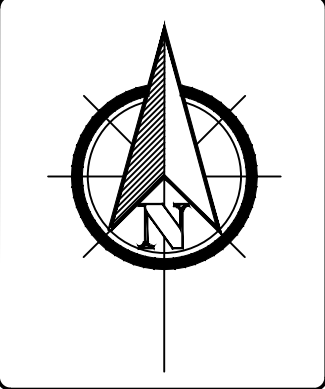
KEY TO PLAN NOTES

- 1. EXISTING CURB AT STREET
- 2. 2' WIDE BAND OF DECOMPOSED GRANITE TO PROVIDE STEPPING ACCESS NEXT TO CURB
- 3. PLANTERS - SEE ARCHITECTURAL PLANS
- 4. CONCRETE STEPS UP TO ENTRY
- 5. CONCRETE PORCH
- 6. CONCRETE PADS WITH PLANTED JOINTS
- 7. CONCRETE DRIVEWAY - COLOR TO BLEND WITH COLORS OF HOUSE AND MED SAND FINISH
- 8. IRON FENCING AND GATES
- 9. EXISTING FENCING
- 10. CONCRETE WALKWAY WITH COLOR TO BLEND WITH HOUSE AND MED. SAND FINISH
- 11. CONCRETE PATIO WITH COLOR TO BLEND WITH HOUSE AND MED. SAND FINISH
- 12. STAIRWAY ACCESS FROM UPPER TERRACE
- 13. CONCRETE STEPS TO LOWER TERRACE
- 14. RAILING - TO MATCH RAILINGS ON HOUSE
- 15. CONCRETE STEPS TO UPPER TERRACE ABOVE POOL BATH

- 16. POOL - 16' x 38', AUTOMATIC UNDERTRACK POOL COVER
- 17. SPA INSIDE POOL - 7'x 7'
- 18. INFINITY EFFECT ACROSS BACKSIDE OF POOL
- 19. INFINITY RESERVOIR BELOW
- 20. RAISED WALL OF INFINITY RESERVOIR - 18" ABOVE LOWER TERRACE ELEVATION; CONCRETE CAP AND STONE VENEER TO MATCH POOL BATH
- 21. DECORATIVE BOWLS/POTS - OPTION: FIRE BOWLS
- 22. HOUSING FOR AUTOMATIC POOL COVER
- 23. BUILT-IN BENCH WITH BACKREST - OVERALL HT. 30" (6" ABOVE POOL ELEVATION)
- 24. FIREPIT - 12" HT., CONCRETE CAP, PLASTER FINISH - FIREPIT DECK SUNKEN 2' BELOW POOL ELEVATION
- 25. DECORATIVE GRAVEL PAVING, TYP.
- 26. TEAK BENCH, TYP.
- 27. DECORATIVE POT, TYP.
- 28. LAWN AREA FOR PLAY
- 29. LOWER RETAINING WALL - PER ENGINEER AND ARCHITECT
- 30. EXISTING TREES TO REMAIN
- 31. EXISTING WALL TO REMAIN
- 32. POOL BATH BELOW
- 33. RELOCATED MAILBOX
- 34. POOL EQUIPMENT ENCLOSURE



RUTEH RESIDENCE
1061 PALISAIR, LOS ANGELES CA. 90272



REVISIONS		
DATE	INT	DESCRIPTION

L-1.0

SHEET TITLE

DRAWN BY

DATE

SCALE 1"=8'-0"

REVISION NUMBER

SHEET # OF SHEETS

PLANT MATERIAL LEGEND

NCN - NO COMMON NAME, LB - LOW BRANCHING, MULTI - MULTI TRUNK TREES:

T-1 - OLEA EUROPA / OLIVE TREE 1 - 36" BOX, LB, MULTI

SHRUBS:

A - ACACIA COGNATA 'COUSIN ITT' / NCN 6 - 5 GAL.

B - PHORMIUM HYBRIDS 'DUET' / NCN 4 - 5 GAL.

C - RHAPHIOLEPIS UMBELLATA 'MINOR' / NCN 36 - 5 GAL.

D - PYRUS KAWAKAMI - ESPALIER ON STONE WALL / EVERGREEN PEAR

1 - 15 GAL. ESPALIER

E - BERBERIS THUNBERGII 'CRIMSON PYGMY' / JAPANESE BARBERRY 5 - 5 GAL.

F - MISCANTHUS SINENSIS 'GRACILLIMUS' / EULALIA 3 - 5 GAL.

G - LOROPETALUM CHINENSE 'BURGUNDY' / NCN 6 - 5 GAL.

H - PITTOSPORUM CRASSIFOLIUM 'COMPACTUM' / NCN 15 - 5 GAL.

I - CARISSA GRANDIFLORA TUTTLE' / NATAL PLUM 25 - 5 GAL.

J - PHORMIUM HYBRIDS 'DARK DELIGHT' / NCN 4 - 5 GAL.

K - LIGUSTRUM JAPONICUM / JAPANESE PRIVET 53 - 15 GAL., LB,

COLUMNS

L - DIANELLA TASMANICA 'VARIEGATA' / FLAX LILY 30 - 1 GAL.

M - OTATEA ACUMINATA AZTECTORUM / MEXICAN WEEPING

BAMBOO 15 - 24' BOX

N - CITRUS SP. - 1 - 'DWARF VALENCIA' ORANGE, 1 - 'DWARF IMPROVED MEYER LEMON' 2 - 15 GAL.

O - LIRIOPE GIGANTEA / BIG BLUE LILY TURF 7 - 5 GAL.

P - LAURUS NOBILIS / GRECIAN LAUREL 9 - 15 GAL., LB, COLUMNS

Q - FORTUNELLA MARGINATA / NAGAMI KUMQUAT 2 - 15 GAL., LB

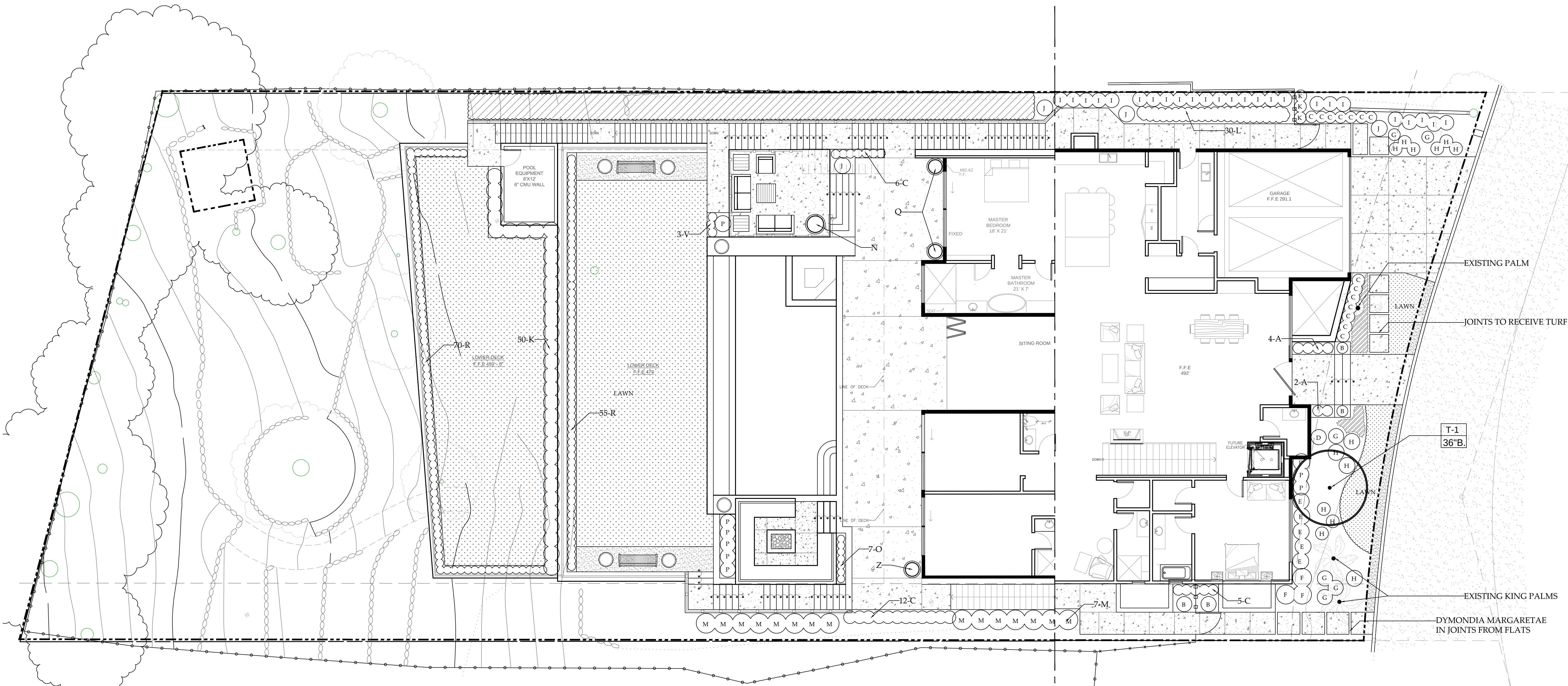
R - EUONYMOUS JAPONICUS 'MICROPHYLLUS' VARIEGATUS' / BOX-LEAF EUONYMOUS 125 - 5 GAL.

GROUND COVER:

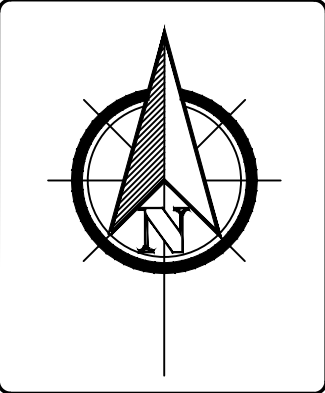
MYOPORUM PARVIFOLIUM / NCN 9" OC FROM FLATS

ANNUAL COLOR - QTS. @ 6" OC, VARIETIES TO BE SELECTED AT TIME OF PLANTING

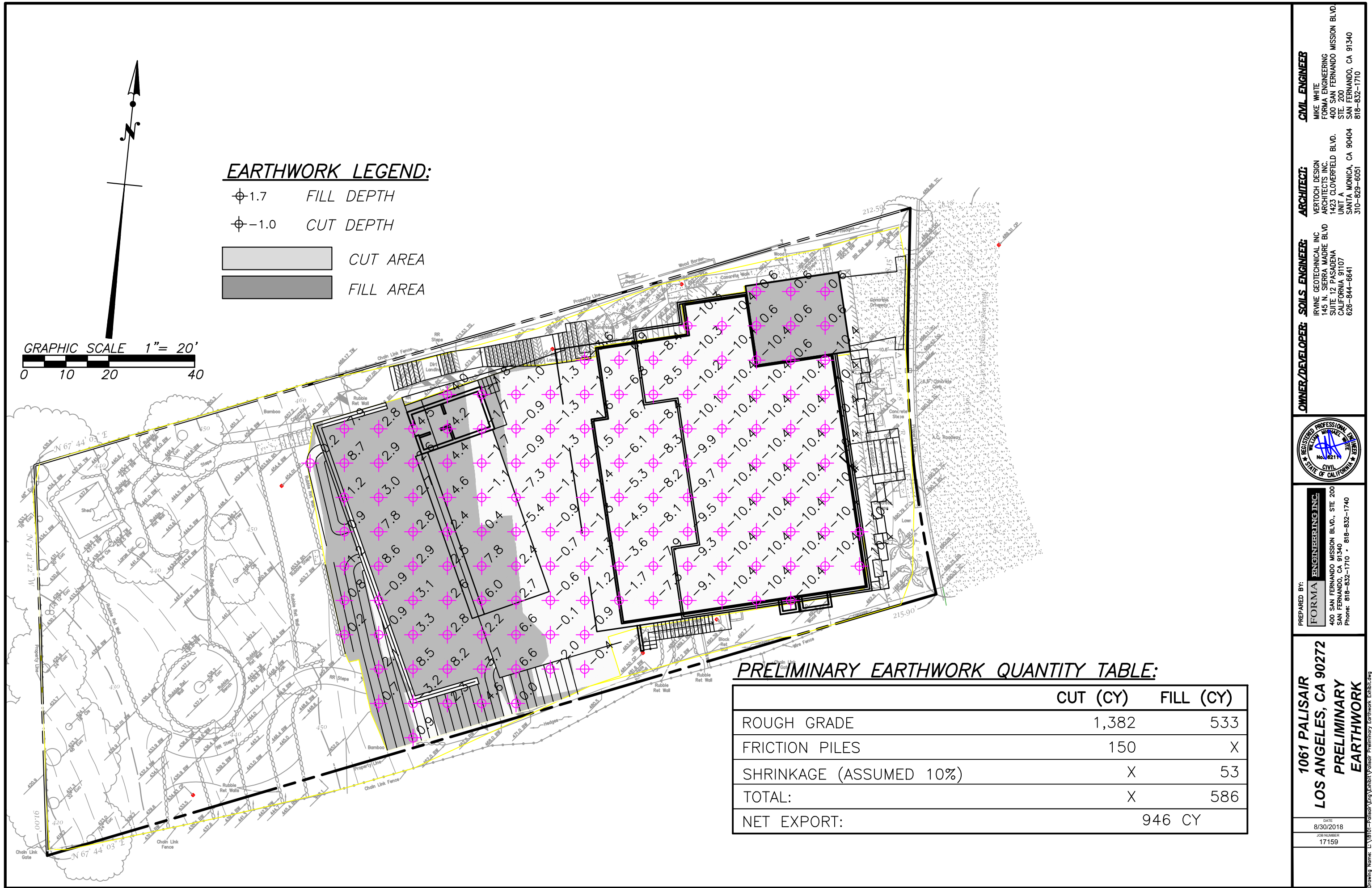
NOTE: TURF AREAS WILL BE MARTHON II SOD.



LOWER FLOOR | UPPER FLOOR



REVISIONS		
DATE	INT	DESCRIPTION



1061 PALISAIR
LOS ANGELES, CA 90272

PRELIMINARY
EARTHWORK

DATE
8/30/2018
JOB NUMBER
17159

PREPARED BY:
FORMA ENGINEERING INC.
400 SAN FERNANDO MISSION BLVD., STE 200
SAN FERNANDO, CA 91340
Phone: 818-832-1710 • 818-832-1740

REGISTERED PROFESSIONAL ENGINEER
MICHAEL J. WHITE
CIVIL
STATE OF CALIFORNIA

OWNER/DEVELOPER: IRVINE GEOTECHNICAL INC
145 N. SIERRA MADRE BLVD
SUITE 12 PASADENA
CALIFORNIA 91107
626-844-6641

ARCHITECT: VERTOCH DESIGN
ARCHITECTS INC.
1423 CLOVERFIELD BLVD.
UNIT A
SANTA MONICA, CA 90404
310-829-6051

CIVIL ENGINEER
MIKE WHITE
FORMA ENGINEERING
400 SAN FERNANDO MISSION BLVD.
STE. 200
SAN FERNANDO, CA 91340
818-832-1710

Drawing Name: 17159-Palissair-Exp-Exhibit-1061-Palissair Preliminary Earthwork Exhibit.dwg
Last Opened: Aug 30, 2018 - 3:07pm by Mark